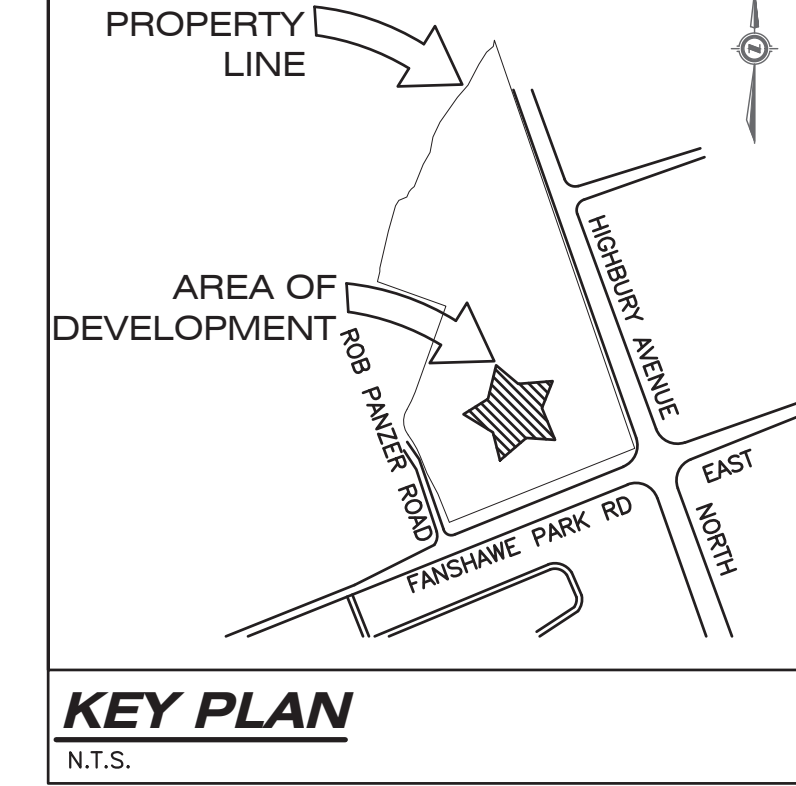


ZONING DATA CHART PHASE 1A

ITEM	CSAS	REQUIRED	PROVIDED
1	PERMITTED USES	SEE PERMITTED USE NOTE ON SHEET SP1	SEE PERMITTED USE NOTE ON SHEET SP1
2	LOT FRONTAGE (m MIN)	100.0	257.6
3	LOT DEPTH (m MIN)	75.0	607.8
4	FRONT YARD AND EXTERIOR SIDE YARD SETBACK (m MIN)	15.0 15.0	1.5 1.05
5	REAR YARD AND INTERIOR SIDE YARD SETBACK (m MIN)	3.0 3.0	99.77 4.43
6	LANDSCAPED OPEN SPACE (%) MINIMUM	10	74.0%
7	LOT COVERAGE (%) MAX	30	11.6%
8	HEIGHT MAXIMUM (m)	12	<12
9	GROSS FLOOR AREA (m² MAX)	30 000	13,046.5
10	LOADING SPACE REQUIREMENTS	SEE LOADING REQUIREMENTS NOTE	SEE LOADING REQUIREMENTS NOTE
11	BIKE SPACE REQUIREMENTS	SEE PARKING REQUIREMENTS NOTE	SEE PARKING REQUIREMENTS NOTE
12	VEHICLE PARKING	SEE PARKING REQUIREMENTS NOTE	SEE PARKING REQUIREMENTS NOTE



LEGAL INFORMATION

PART OF
LOT 9,
CONCESSION 5
IN THE
CITY OF LONDON
COUNTY OF MIDDLESEX

LOADING ZONE REQUIREMENTS

LOADING SPACES MUST BE MINIMUM 3.6mX9.0m WITH VERTICAL CLEARANCE OF 4.25m FOR CSA ZONING

TOTAL SPACES REQUIRED ON LOT 13,046.5m² = 3 SPACES REQUIRED
TOTAL SPACES PROVIDED ON LOT = 7 SPACES PROVIDED

PARKING REQUIREMENTS (AREA 3):

MINIMUM PARKING SPACE DIMENSIONS 2.7mX5.5m, TYPE A 3.4mX5.5m, TYPE B 2.4mX5.5m

SHOPPING CENTRE 1/50m² 13,368m² = 268 SPACES
TOTAL PROVIDED PARKING = 327 SPACES
± 24 STACKED SPACES = 351 SPACES

B/F PARKING REQUIRED: 2+2% OF TOTAL PARKING REQUIRED = 10 SPACES PROVIDED
BICYCLE PARKING: 3 + 0.3/100m² GROSS FLOOR AREA = 43 SPACES PROVIDED

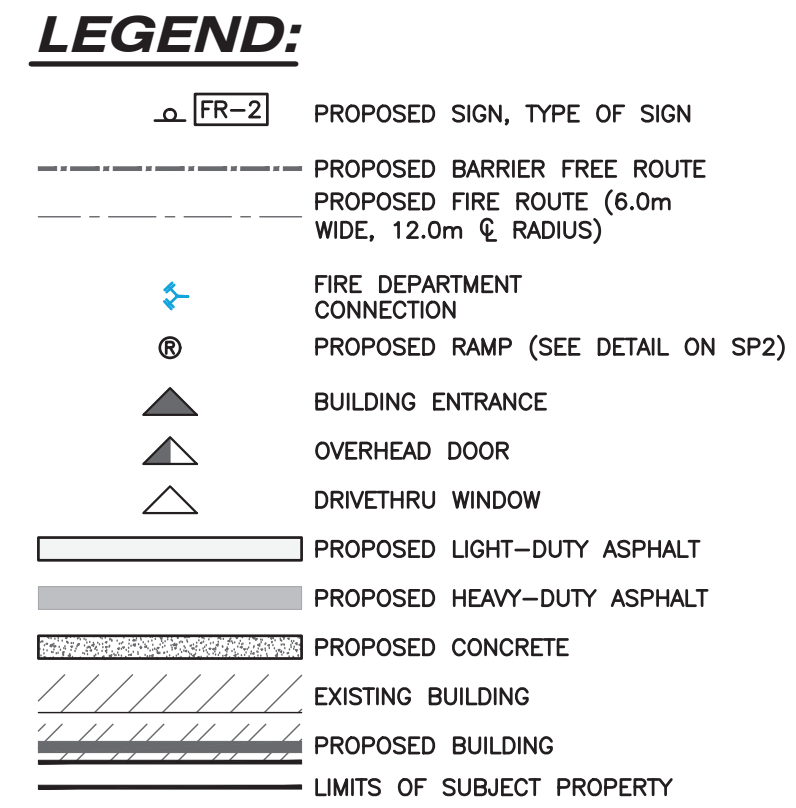
REFERENCE DOCUMENTS:

- AGM DRAFT PLAN (FILE No: LT-05-09-14, DATE: JAN. 18, 2024)
- CONCEPTUAL SITE PLAN PROVIDED BY WESTDELL CORP. (DATE: May 17, 2023)

SITE BENCHMARK:

BENCHMARK #1:
MONUMENT TYPE: BOLT
LOCATION: NORTH PARK COMMUNITY CHURCH
GEODETIC ELEVATION: 260.029m

BENCHMARK #2:
MONUMENT TYPE: BOLT
LOCATION: CONCRETE BOX CULVERT CROSSING SUNNINGDALE ROAD EAST.
GEODETIC ELEVATION: 260.902
(CONTRACTOR TO CONFIRM BENCHMARK ELEVATIONS)



- ### PERMITTED USES
- CSAS(6) ZONE (SITE SPECIFIC BY-LAW No. 7-1-152386):
- ASSEMBLY HALLS;
 - AUTOMOTIVE USES, RESTRICTED;
 - BAKE SHOPS;
 - CLINICS;
 - COMMERCIAL PARKING STRUCTURES AND/OR LOTS;
 - COMMERCIAL RECREATIONAL ESTABLISHMENTS;
 - CONVENIENCE SERVICE ESTABLISHMENTS;
 - DAY CARE CENTRES;
 - DUPLICATING SHOPS;
 - FINANCIAL INSTITUTIONS;
 - HOME AND AUTO SUPPLY STORES;
 - INSTITUTIONS;
 - MEDICAL/DENTAL OFFICES;
 - OFFICES;
 - PATIENT TESTING CENTRE LABORATORIES;
 - PERSONAL SERVICE ESTABLISHMENTS;
 - PRIVATE CLUBS;
 - RESTAURANTS;
 - RETAIL STORES;
 - SERVICE AND REPAIR ESTABLISHMENTS;
 - STUDIOS;
 - SUPERMARKETS;
 - TAVERNS;
 - VIDEO RENTAL ESTABLISHMENTS;
 - BREWING ON PREMISES ESTABLISHMENT
 - CINEMAS
 - COMMERCIAL SCHOOLS
 - PRIVATE SCHOOLS

WASTE REMOVAL

GARBAGE TO BE STORED EXTERNALLY IN DEEP WELL GARBAGE CONTAINERS AND OWNER TO ARRANGE SITE PICK-UP AND REMOVAL.

BUILDING CLASS.

COMMERCIAL - GROUP E OCCUPANCY, PART 3 OF THE ONTARIO BUILDING CODE

CANADA POST

CANADA POST TO CONFIRM MAIL DELIVERY SERVICE.

#	ISSUED FOR	DATE
15	ISSUED FOR SITE PLAN APPROVAL	2023.07.07
16	ISSUED FOR CLIENT REVIEW	2023.09.12
17	ISSUED FOR SITE PLAN APPROVAL 3	2023.10.02
18	ISSUED FOR CLIENT REVIEW	2023.10.24
19	ISSUED FOR SITE PLAN APPROVAL 4	2023.11.30
20	ISSUED FOR SITE PLAN APPROVAL 5	2024.01.26
21	ISSUED FOR CLIENT REVIEW	2024.02.07
22	ISSUED FOR SITE PLAN APPROVAL 6	2024.02.27
23	ISSUED FOR SITE PLAN APPROVAL	2024.03.20

PROJECT:
COMMERCIAL DEVELOPMENT
1300 FANSHAW PARK RD. EAST
LONDON, ON.

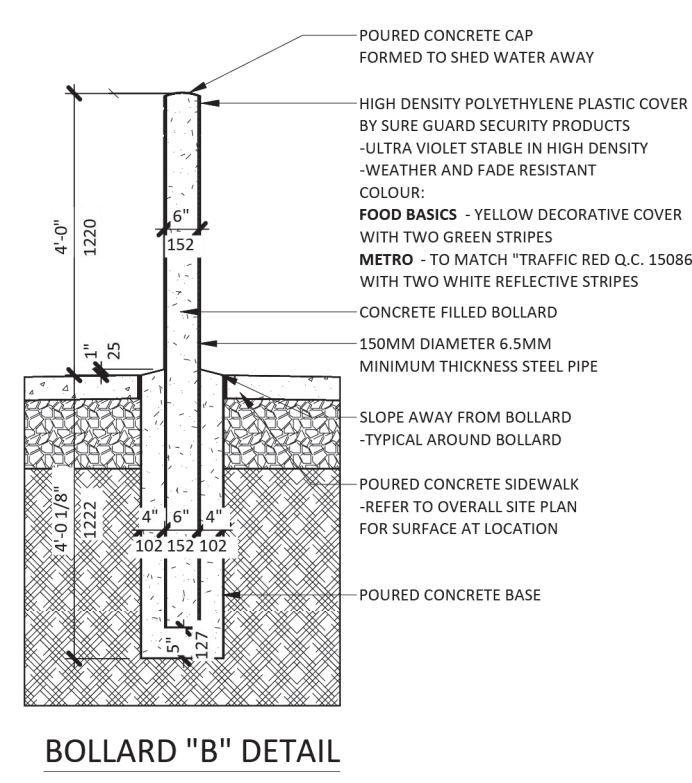
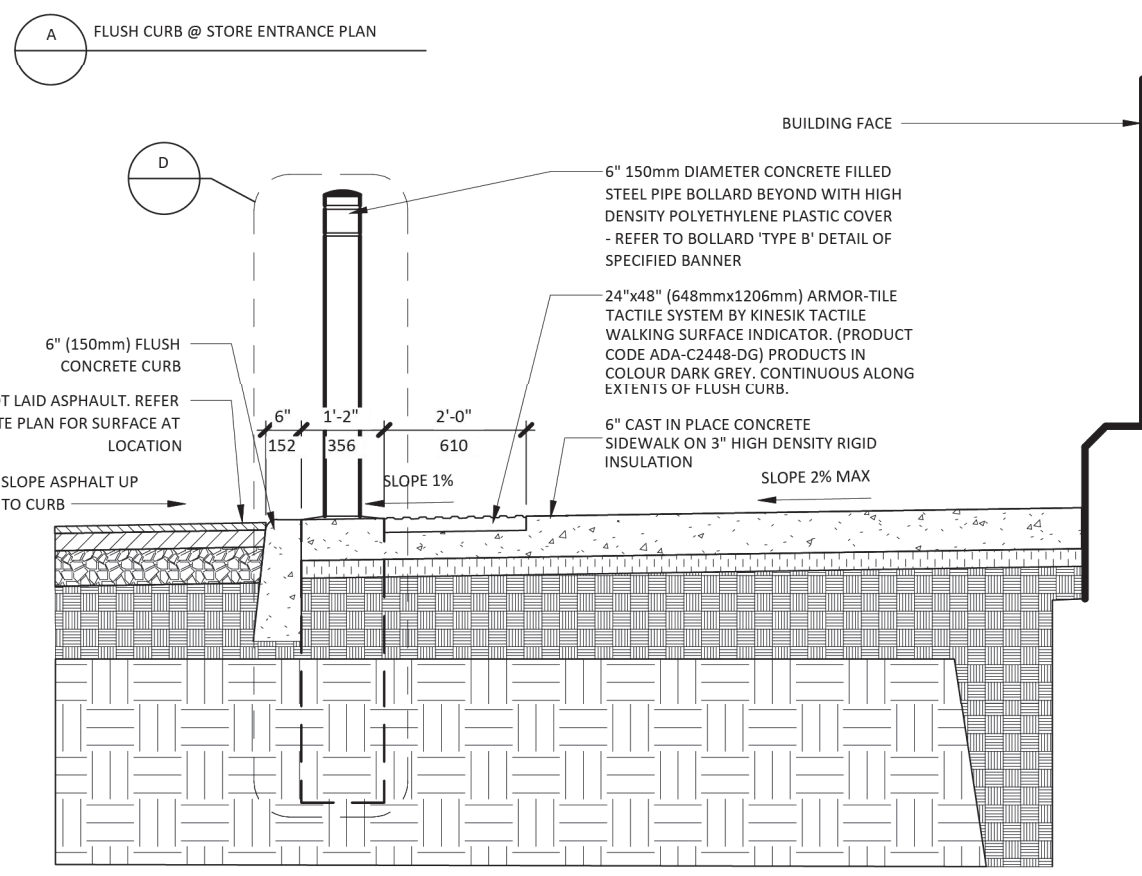
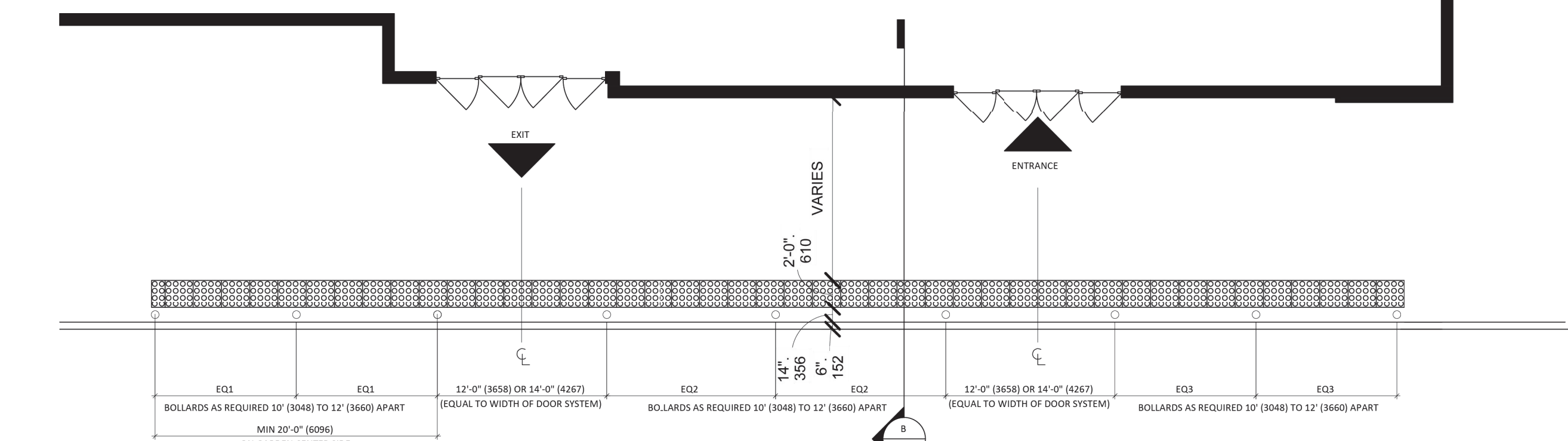
CLIENT:
STONE CREEK COMMONS INC.
1701 RICHMOND ST. UNIT 3B
LONDON, ON.



DRAWING DESCRIPTION
SITE PLAN, LEGEND & ZONING CHART

SCALE - 1:500
5.0 0 10.0m

PROJECT #22-16 PDA
SBM-22-1747
SCALE: AS INDICATED
REVIEWED: PDA
DRAWN: DJB
DWG # **SP1**



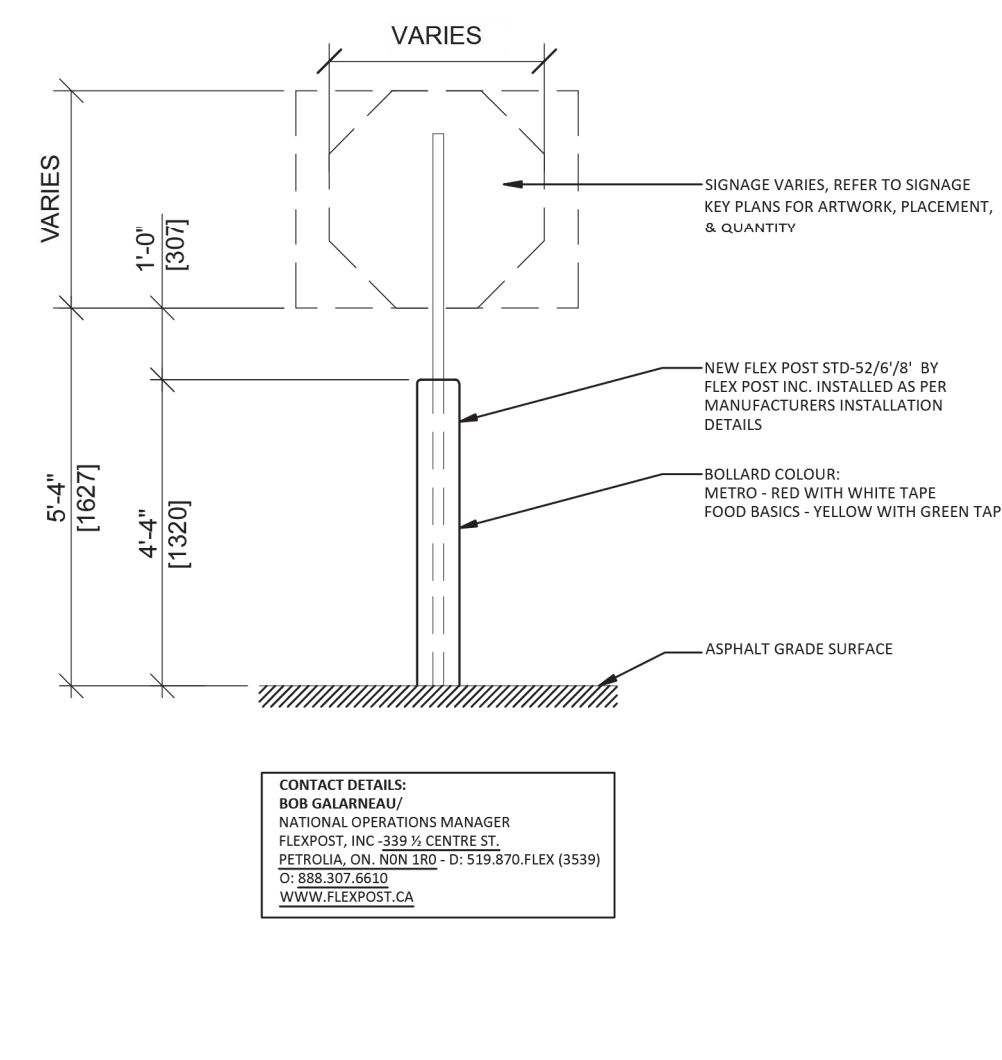
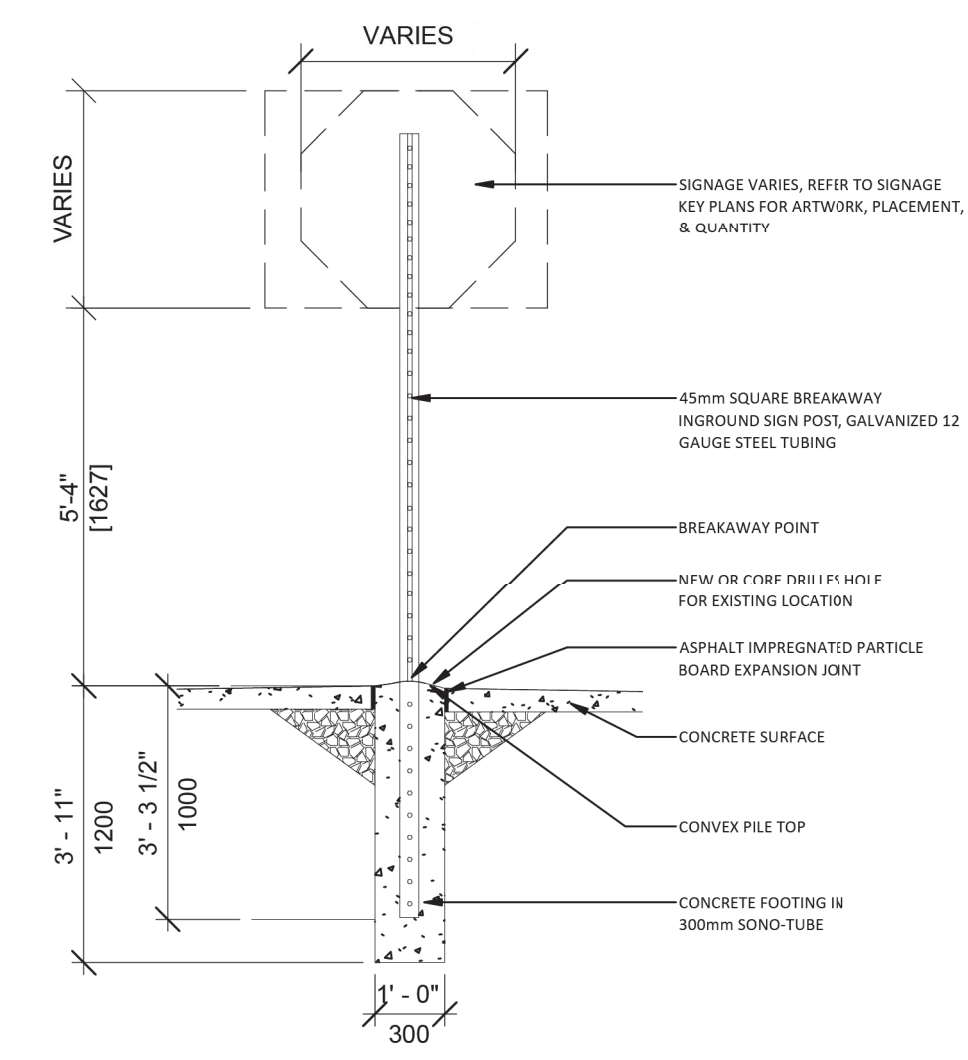
NO.	DATE:	REV. DATE:	REV. BY:	DATE MODIFIED	DETAIL NO.
01	2019-03-13	ISSUED DETAIL TO METRO	MSH	2022-11-23	NTA #25
02	2019-03-27	REVISED AS PER METRO COMMENTS	MSH		
03	2022-11-23	REVISED FOR CLARIFICATION AND ADD INSULATION	EC		

FLUSH CURB AT STORE ENTRANCE
BANNER: ALL
DETAIL DRAWN BY TURNER FLEISCHER ARCHITECTS INC. ON BEHALF OF METRO ONTARIO INC

SYMBOL	SIGN	DESCRIPTION
A		"DISABLE PARKING PERMIT" SIGN Rb-93 (300x450)mm RED REFL. INTERDICTIONARY SYMBOL, BLUE REFL. SYMBOL OF ACCESS & SYMBOL BORDER, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
B		"FIRE ROUTE" SIGN (300x450)mm RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, WHITE REFL. "FIRE ROUTE" ON BLACK BACKGROUND, BLACK LEGEND & BORDER, WHITE REFL. BACKGROUND
C		"STOP" SIGN Rb-1 (600x600)mm WHITE REFL. LEGEND & BORDER, RED REFL. BACKGROUND
D		"FAMILY PARKING" SIGN (12x18)mm BLUE GRAPHIC SYMBOL, BLUE LEGEND & BORDER, WHITE REFL. BACKGROUND
E		"EV PARKING" SIGN (12x18)mm GREEN GRAPHIC SYMBOL, GREEN LEGEND & BORDER, WHITE REFL. BACKGROUND

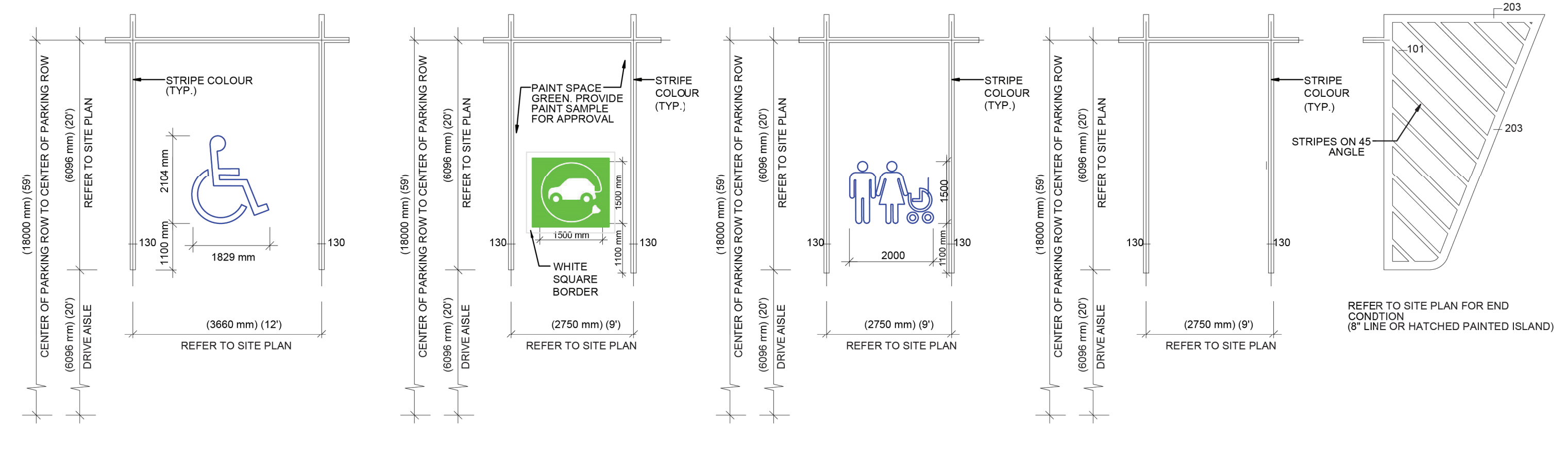
NO.	DATE:	ISSUED/REVISION	REV. BY:	DATE MODIFIED	DETAIL NO.
01	2020-07-17	DETAIL AS PER REQUEST BY SARA HANNA DATED 2020-07-17	SC	2020-07-17	NTA #38
-	-	-	-		
-	-	-	-		

TRAFFIC SIGNAGE
BANNER: ALL
DETAIL DRAWN BY METRO ONTARIO INC



NO.	DATE:	REV. DATE:	REV. BY:	DATE MODIFIED	DETAIL NO.
01	2022-03-14	UPDATED DETAIL AS PER REQUEST BY SARA HANNA		2022-03-14	NTA #35
02	2022-07-27	REVISED TO FLEX POST SPEC			
-	-	-	-		

SIGNAGE POSTS
BANNER: ALL
DETAIL DRAWN BY TURNER FLEISCHER ARCHITECTS INC. ON BEHALF OF METRO ONTARIO INC



NOTES:

- REFER TO SITE PLAN FOR SPECIFIC PROJECT SITE PLANNING DIMENSIONS.
- ALL PARKING LOT LINE STRIPING TO BE PAINTED WITH PARA PAINT 8 MPI - YELLOW OR EQUAL.
- ALL PARKING DIMENSIONS SHOWN ARE MINIMUM. CONFIRM REQUIRED SIZES WITH LOCAL AUTHORITY HAVING JURISDICTION.
- THE INTERNATIONAL SYMBOL OF ACCESS PAINTED ON THE PAVEMENT OF THE STALL. SYMBOL OF ACCESS ON THE PAVEMENT SHALL BE: - AT LEAST 1000mm (3'-4") LONG - LOCATED AT THE CENTRE OF THE STALL - IN WHITE PAINTED ON BACKGROUND FILLED WITH BLUE
- FAMILY PARKING AND ELECTRIC VEHICLE SYMBOLS TO BE PAINTED WHITE

DIMENSIONS ON THIS DESIGN GUIDELINE REPRESENT METRO MINIMUM STANDARDS, ARCHITECT IS RESPONSIBLE TO REVIEW THE CITY REQUIREMENTS AND AUTHORITIES HAVING JURISDICTIONS AND REPORT BACK TO METRO.

NO.	DATE:	ISSUED/REVISION	REV. BY:	DATE MODIFIED	DETAIL NO.
01	2020-07-17	DETAIL AS PER REQUEST BY SARA HANNA DATED 2020-07-17	SC	2020-07-17	NTA #38
-	-	-	-		
-	-	-	-		

STANDARD PARKING DETAIL
BANNER: ALL
DETAIL DRAWN BY METRO ONTARIO INC

#	ISSUED FOR	DATE
15	ISSUED FOR SITE PLAN APPROVAL	2023.07.07
16	ISSUED FOR CLIENT REVIEW	2023.09.12
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PROJECT:
COMMERCIAL DEVELOPMENT
1300 FANSHAWE PARK RD. EAST
LONDON, ON.

CLIENT:
STONE CREEK COMMONS INC.
1701 RICHMOND ST. UNIT 3B
LONDON, ON.



DRAWING DESCRIPTION
METRO ONTARIO DETAILS

PROJECT #22-16 POTA
SM-22-1747
SCALE: AS INDICATED
REVIEWED: PDTA
DRAWN: DJB

SP3