

# 1300 FANSHAWE PARK RD. EAST. - CRU #6

## ARCHITECTURAL DRAWINGS PROJECT #2023-102

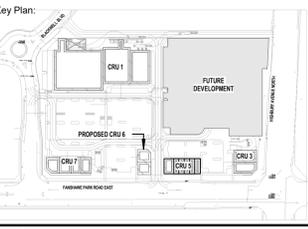
1300 FANSHAWE PARK RD. EAST. LONDON, ON.



### 3D PERSPECTIVE VIEW

SCALE = N.T.S.

SCHEMATIC ONLY - NOT FOR CONSTRUCTION



CS@CREATIVESTR.CA



Seal: North Arrow:

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IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (NAI) PRIOR TO COMMENCING ANY WORK.  
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ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION.  
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CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE.  
CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.  
ANY MATERIAL ALTERATIONS CARRIED OUT DURING CONSTRUCTION BY THE CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WITH THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

No.	Date	Revision
2	Apr 03, 2024	ISSUED FOR TENDER
1	Jan 29, 2024	60% ISSUED FOR CLIENT REVIEW

### ISSUES/REVISION TABLE

Project:  
**WESTDELL**  
DEVELOPMENT CORP  
1300 FANSHAWE PARK RD.  
EAST. - CRU #6  
1300 FANSHAWE PARK RD. EAST. LONDON, ON.

Drawing Title:

### COVER SHEET

Drawn By: D.H. Scale: AS INDICATED

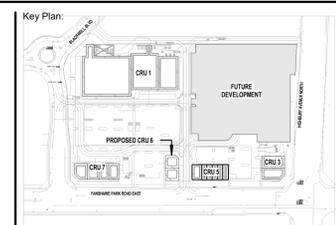
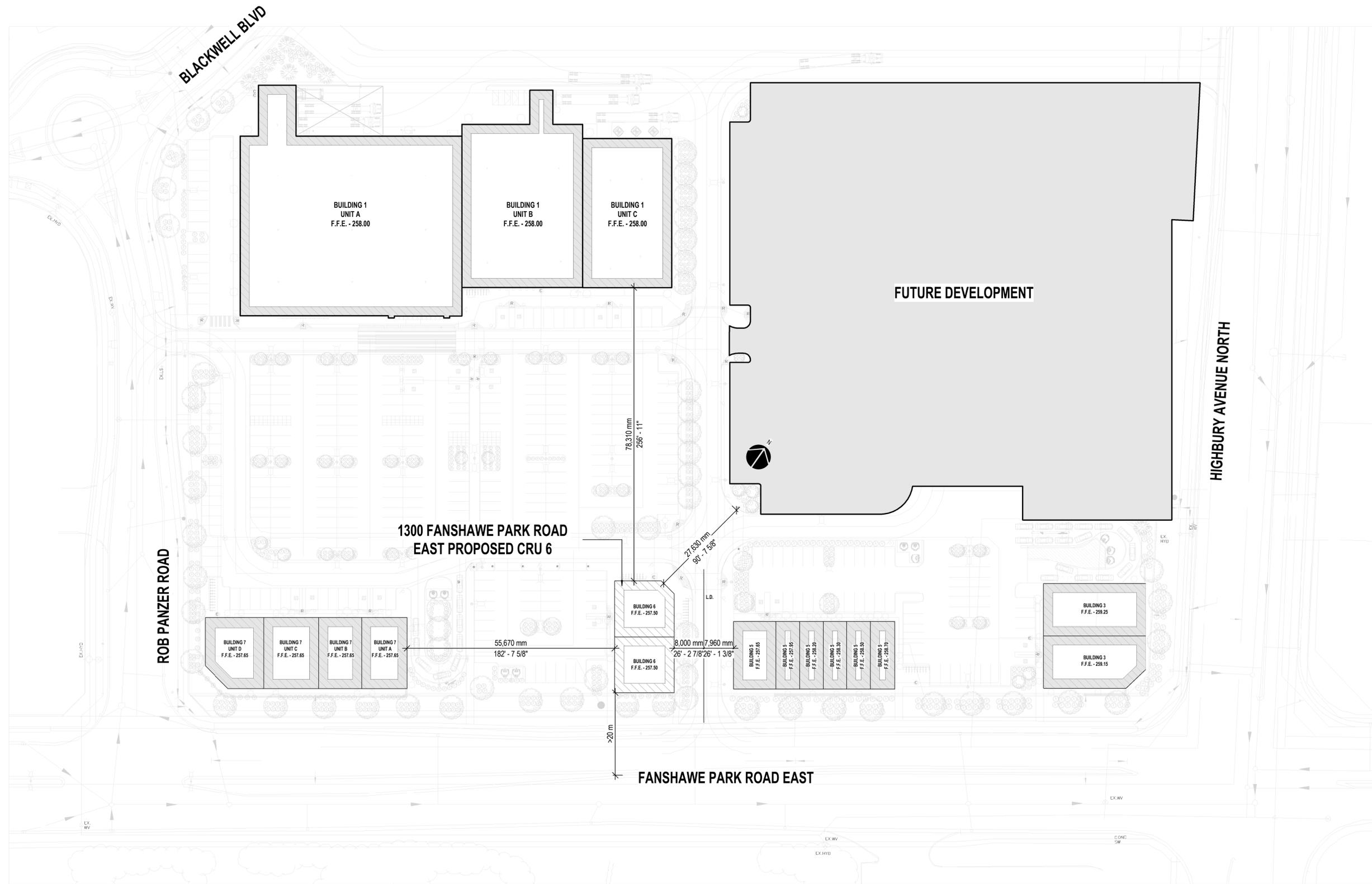
Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: Revision

**A-0.0** | **2**



Consultant:

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Consultant:

**N/A NGACAKU ARCHITECTURE INC**

Seal: \_\_\_\_\_ North Arrow: \_\_\_\_\_

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2	Apr 03, 2024	ISSUED FOR TENDER

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Project:

**WESTDELL**  
DEVELOPMENT CORP

**1300 FANSHAWE PARK RD. EAST. - CRU #6**

1300 FANSHAWE PARK RD. EAST, LONDON, ON

Drawing Title:

**SITE PLAN**

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: \_\_\_\_\_ Revision: \_\_\_\_\_

**SITE PLAN**  
SCALE: 1 : 500

- REFERENCES - SITE PLAN INFORMATION**
- SITE PLAN INFORMATION TAKEN FROM SITE PLAN.
  - LEGEND, ZONING CHART ISSUED ON NOV 02, 2023
  - SITE PLAN PREPARED BY SBM DATED FEBRUARY 14, 2024

**REFERENCED SITE PLAN REFER TO SITE PLAN BY OTHERS FOR INFORMATION REVIEW**

**A-0.1** | **2**

ARCHITECTURAL SPECIFICATIONS	
1.	<b>GENERAL INSTRUCTIONS</b>
11.	THE CONSTRUCTION MANAGER (CONTRACTOR) SHALL VISIT THE SITE TO VERIFY AND FAMILIARIZE HIMSELF WITH ALL EXISTING SITE CONDITIONS. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING SITE CONDITIONS TO CONSULTANT PRIOR TO BEGINNING WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR FROM EXTRA COSTS RESULTING FROM ADDITIONAL WORK.
12.	THE CONTRACTOR SHALL FAMILIARIZE HIMSELF TOTALLY WITH ALL DRAWINGS, SPECIFICATIONS AND ADDENDUMS INDICATING THE SCOPE OF WORK OF ALL TRADES.
13.	SHOULD THE CONTRACTOR FAIL TO NOTIFY CONSULTANT ABOUT CONFLICTS BETWEEN THE DRAWINGS AND EXISTING SITE CONDITIONS, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, ALTER ANY COMPLETED WORK TO THE SATISFACTION OF THE CONSULTANT.
14.	ADDITIONAL CHARGES TO THE CONTRACT RESULTING FROM UNFORESEEN SITE CONDITIONS, CHANGES REQUIRED BY ANY AND ALL GOVERNING AUTHORITIES OR OTHER CHANGES REQUIRED SHALL BE SUBMITTED TO THE CONSULTANT PRIOR TO COMMENCEMENT OF WORK. CLAIMS FOR EXTRAS WITHOUT PRIOR APPROVAL WILL NOT BE ACCEPTED.
15.	ALL PERMITS PERTAINING TO THE WORK SHALL BE APPLIED AND PAID FOR BY THE CONTRACTOR OR HIS SUB-CONTRACTORS UNLESS NOTED OTHERWISE IN WRITING BY THE CONSULTANT. THE GENERAL CONTRACTOR SHALL PROVIDE A COPY OF THE PERMIT CERTIFICATE TO THE CONSULTANTS & POST ON SITE IN A CLEAR LEGIBLE MANNER.
16.	ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS & RECOGNIZED INDUSTRY STANDARDS, MEANING GOOD QUALITY WORKMANSHIP.
17.	ALL CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL LOCAL CODES AND AUTHORITIES HAVING JURISDICTION AND THE ONTARIO BUILDING CODE (OBC).
18.	ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE PRIOR TO COMMENCING ANY WORK. INFORM THE CONSULTANT IMMEDIATELY OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
19.	ALL DRAWINGS REMAIN THE PROPERTY OF THE OWNER.
20.	CONTRACTOR SHALL MAINTAIN ONE SET OF APPROVED UNALTERED PERMIT DRAWINGS ON SITE. PROVIDE PROJECT CHANGES IN RED ON A SEPARATE AS-BUILT SET, MAINTAIN AS-BUILT SET ON SITE. PROVIDE COMPLETED SET TO CONSULTANT AT JOB COMPLETION.
21.	ORDER OF DESIGN DOCUMENT HIERARCHY: SPECIFICATIONS, CONSTRUCTION ASSEMBLIES, LARGE TO SMALL SCALE DRAWINGS.
2.	<b>SCOPE OF WORK</b>
21.	THE CONTRACTOR SHALL SUPPLY ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS, INCLUDING ALL DRAWINGS, SPECIFICATIONS, SCHEDULES AND SUEE ADDENDUMS.
22.	PROVIDE ALL NECESSARY COOPERATION, SCHEDULING, COORDINATION AND SUPERVISION TO SUB-CONTRACTORS WHO ARE INVOLVED IN THE WORK.
3.	<b>CONSTRUCTION DEBRIS</b>
31.	ALL CONSTRUCTION DEBRIS SHALL BE CLEANED UP ON A DAILY BASIS AND REMOVED FROM SITE OR DISCARDED INTO DISPOSAL BINS PROVIDED BY THE CONTRACTOR TO THE SITE FOR REMOVAL OF DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, PAVING FOR AND REMOVING ALL GARBAGE/RECYCLING BINS FOR THE DURATION AND AT THE COMPLETION OF THE CONTRACT.
32.	THE LOCATION OF ANY GARBAGE BINS REQUIRED FOR THE WORK OF THIS CONTRACT SHALL BE APPROVED BY THE OWNER PRIOR TO SETTING ON SITE.
4.	<b>PROTECTION AND MAKING GOOD</b>
41.	THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL WORK COMPLETED AND TO ADJACENT PUBLIC AND PRIVATE SPACES WHERE APPLICABLE FOR THE DURATION OF THE CONTRACT.
42.	DAMAGED WORK AND PROPERTIES SHALL BE MADE GOOD BY THE CONTRACTOR OR HIS SUB-TRADES AT THEIR OWN EXPENSE TO THE SATISFACTION OF THE CONSULTANT/OWNER.
5.	<b>SECURITY AND LOCK-UP</b>
51.	THE CONTRACTOR SHALL LOCK-UP JOB SITE AT THE END OF EACH WORKING DAY TO PROHIBIT ENTRY OF UNAUTHORIZED PERSONNEL & MAINTAIN PUBLIC SAFETY DURING OFF-HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE AND LABEL FOR ARTICLES AND EQUIPMENT BOTH INSTALLED AND ON SITE FOR THE DURATION OF THE CONTRACT AND UNTIL THE OWNERS/SPONSOR TAKES OVER THE SPACE.
6.	<b>SHOP DRAWINGS AND SUBSTITUTIONS</b>
61.	THE CONTRACTOR SHALL SUBMIT DIGITAL DOCUMENTS TO THE CONSULTANT FOR REVIEW PRIOR TO ANY PURCHASE / FABRICATION. ALL COSTS FROM SHOP DRAWINGS ARE TO BE BORNE BY THE CONTRACTOR. TRADES ARE REQUIRED TO SATISFY THE DESIGN DOCUMENTS THRU THEIR SHOP DRAWINGS AT THEIR COST.
62.	ALL WORK PERFORMED PRIOR TO RECEIPT OF REVIEWED SHOP DRAWINGS SHALL BE AT THE CONTRACTORS SOLE RISK AND RESPONSIBILITY. ANY REMEDIAL WORK REQUIRED TO BE PERFORMED TO WORK ALREADY COMPLETED WITHOUT PRIOR APPROVAL BY THE CONSULTANT SHALL BE DONE AT CONTRACTORS OWN EXPENSE.
63.	WHERE A SUBSTITUTION IS REQUESTED, THE CONTRACTOR SHALL SUBMIT AN ACTUAL SAMPLE OF ALTERNATE FINISH OR PRODUCT TO THE CONSULTANT, MANUFACTURER'S SPECIFICATIONS AND TEST RESULTS OF SUCH ALTERNATES MAY ALSO BE SUBMITTED FOR APPROVAL.
7.	<b>PRODUCT AVAILABILITY / PROJECT SCHEDULING:</b>
71.	THE CONTRACTOR SHALL VERIFY AVAILABILITY AND DELIVERY TIME FOR ALL PRODUCTS AND FINISHES AS SOON AS THE PROJECT HAS BEEN AWARDED. THE CONTRACTOR SHALL NOTIFY THE CONSULTANT IMMEDIATELY WHEN THE DELIVERY TIME ON A SPECIFIED PRODUCT OR FINISH THREATENS THE PROJECT COMPLETION.
8.	<b>EXISTING UTILITIES AND TEMPORARY SERVICES</b>
81.	UTILITIES AND SERVICES OF RECORD ARE SHOWN ON THE DRAWINGS IN SO FAR AS IS POSSIBLE TO DO SO. HOWEVER, THEY ARE SHOWN FOR CONVENIENCE ONLY. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR IMPROPER LOCATIONS OR FAILURE TO SHOW UTILITY LOCATIONS ON THE DRAWINGS. CONFIRM ALL UTILITIES AND SERVICES ON SITE WITH SITE CONDITIONS & AUTHORITIES.
82.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING AND ENGAGING ALL REQUIRED TEMPORARY SERVICES AS DEEMED NECESSARY TO PERFORM WORK (I.E. HYDRO, HEAT, TELEPHONE) AS REQUIRED BY AUTHORITIES. CO-ORDINATE WITH BUILDING OWNER.
9.	<b>FIRE PROTECTION AND INSURANCE</b>
91.	THE CONTRACTOR SHALL PROVIDE APPROVED TYPE FIRE EXTINGUISHERS AND FIRE FIGHTING EQUIPMENT ON SITE IN OPEN VIEW FOR THE DURATION OF THE CONTRACT.
92.	TAKE ALL NECESSARY PRECAUTIONS TO ELIMINATE FIRE HAZARDS. REFER TO SECTION 4.
93.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING LIABILITY INSURANCE FOR THE DURATION OF THE CONTRACT UNTIL THE OWNER TAKES POSSESSION OF THE SPACE. PROVIDE STANDARD CONSTRUCTION DOCUMENT COCC.
9.3.1.	WORKMENS COMPENSATION AND EMPLOYERS LIABILITY INSURANCE AS REQUIRED BY ANY EMPLOYEE BENEFIT ACT OR THE STATUTES APPLICABLE WHERE THE WORK IS BEING PERFORMED AS WELL AS PROTECT THE CONTRACTOR FROM ANY AND ALL LIABILITY UNDER THE MENTIONED ACTS.
9.3.2.	BUILDER'S RISK COMPLETED VALUE FORM AFFORDING "ALL RISKS OF PHYSICAL LOSS OR DAMAGE" ON ITS WORK IN THE PREMISES AS IT RELATED TO THE BUILDING IN WHICH THE PREMISES ARE LOCATED, NAMING THE INTERESTS OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AS THEIR RESPECTIVE INTERESTS MAY APPEAR. WITHIN A MINIMUM OF 100 FEET OF THE PREMISES. AMOUNT OF INSURANCE SHALL EQUAL 100% OF THE REPLACEMENT COST.
9.3.3.	ALL SUCH INSURANCE POLICIES SHALL INCLUDE OWNER, THE CONSULTANT, THE GENERAL CONTRACTOR, SUBCONTRACTORS, AS ADDITIONAL INSUREDS. EXCEPT WORKERS' COMPENSATION INSURANCE, WHICH SHALL CONTAIN AN ENDORSEMENT WAIVING ALL RIGHTS OF SUBROGATION AGAINST THE OWNER, ITS CONSULTANT, ITS GENERAL CONTRACTOR AND SUBCONTRACTORS. CERTIFICATES OF INSURANCE SHALL PROVIDE THAT SUCH INSURANCE COVERAGE SHALL NOT BE CANCELED OR ALLOWED TO EXPIRE UNTIL AT LEAST 30 DAYS PRIOR WRITTEN NOTICE HAS BEEN GIVEN TO THE CONSULTANT AND THE OWNER.
10.	<b>PROJECT CLOSEOUT AND CLEAN-UP</b>
10.1.	TWO MATERIALS AND MAINTENANCE MANUALS TO INCLUDE OPERATION AND MAINTENANCE INSTRUCTIONS AND COMPLETE PARTS LISTS AS FURNISHED BY THE MANUFACTURER FOR ALL SYSTEMS, EQUIPMENT, AND FIXTURES. INCLUDE TYPEWRITTEN INDEX AND TAGGED DIVIDERS BETWEEN CATEGORIES. PROVIDE EMERGENCY CONTACT NAMES/PHONE NUMBERS OF MAJOR TRADES. PROVIDE APPROVED SHOP DRAWINGS.
10.2.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE SITE READY FOR OCCUPANCY INCLUDING BUT NOT LIMITED TO THE FOLLOWING ITEMS:
10.2.1.	BROOM CLEAN, WASH, AND SEAL ALL HARD SURFACES AND RESILIENT FLOORING AS PER MANUF.
10.2.2.	VACUUM ALL CARPET SURFACES.
10.2.3.	CLEAN AND POLISH ALL SIGNS, DOORS, FRAMES, WINDOWS, WALLS, MILLWORK. THE FOLLOWING CONSTITUTES SUBSTANTIAL COMPLETION.
10.3.	ALL CONSTRUCTION TO BE COMPLETE, READY FOR USE FOR WHICH THE PROJECT WAS INTENDED.
10.4.	ALL CLEANING, VACUUMING AND DUSTING COMPLETE.
10.5.	ALL DEBRIS, SCAFFOLDS, LADDERS, TOOLS, AND EQUIPMENT REMOVED FROM THE JOB SITE. MECHANICAL/ELECTRICAL 10.5.1. ALL SYSTEMS IN FUNCTIONAL OPERATING CONDITION. ALL CONTROLS, DIFFUSERS, REGISTERS, LIGHTING W/LAMPS & LENSES, SWITCHES COMPLETE. ALL PLUMBING SYSTEMS COMPLETE. GENERAL: ALL CONSTRUCTION KEYS AND DUPLICATES FOR THE SPACE HAVE BEEN TURNED OVER TO OWNER.
10.6.	CERTIFICATE OF OCCUPANCY OBTAINED FROM LOCAL REGULATORY AGENCIES (BUILDING DEPT.) & CONSULTANTS.
10.7.	ALL MANUALS ARE SUBMITTED AND ARE COMPLETE.
11.	<b>PLUMBING: SEE MECHANICAL SPECIFICATIONS.</b>
12.	<b>ACOUSTICAL INSULATION</b>
12.1.	PROVIDE AND INSTALL ACOUSTIC INSULATION AS INDICATED ON CONTRACT DOCUMENTS.
12.2.	ACOUSTIC INSULATION TO CONSIST OF "NOISE BARRIER BATT", ACOUSTIC BATT OR MINERAL WOOL. INSTALL BATTS BETWEEN MEMBERS COMPLETE WITH CLIPS WHERE THICKNESS OF INSULATION IS LESS THAN THAT OF MEMBER.
13.	<b>FIREPROOFING</b>
13.1.	FIRESTOP PRODUCTS, SEPARATIONS AND CLOSURES SHALL BE AS PER OBC 3.1.8 & 3.1.9.
13.2.	SEAL ALL FLOOR, WALL, CEILING FIRE SEPARATIONS AT PERIMETERS OF FINISHED SURFACES & ALL SERVICE PENETRATIONS WITH CONSULTANT APPROVE FIRESTOP PRODUCTS. SEE M1 MECH DESIGN FOR FIRE DAMPERS & LOCATIONS.
14.	<b>SEALANTS</b>
14.1.	<b>MATERIALS</b>
14.1.1.	PRIMER: TYPES RECOMMENDED BY SEALANT MANUFACTURER, COMPATIBLE WITH SEALANTS.
14.1.2.	JOINT BACKING ROD: SEALTIGHT ETHAFOAM SEALANT BACKER ROD BY W.R. MEADOWS OF CANADA LTD.
14.1.3.	BOND BREAKER: PRESSURE SENSITIVE PLASTIC TAPE, TYPE 470 OR 481 TAPE BY 3M CANADA OR EQUAL.
14.1.4.	JOINT CLEANER: XTCOL, METHYLETHYLENETHEN (MET) OR NON-CORROSIVE TYPE RECOMMENDED BY SEALANT MANUFACTURER.
14.2.	<b>SEALANT TYPES:</b>
14.2.1.	TYPE A ONE COMPONENT, ACRYLIC BASE, SOLVENT CURED, CONFORMING TO CANCGSB-19.
14.2.2.	TYPE B MULTICOMPONENT, POLYURETHANE BASE, CHEMICAL CURING, CONFORMING TO CANCGSB-19.2 TYPE 2, CLASS B; TREMCO DYMERIC 240, 853-200.
14.2.3.	TYPE C ONE COMPONENT ELASTOMERIC BASE CHEMICAL CURING CONFORMING TO CANCGSB-19.13 TYPE MCG, CLASS 240; TREMCO SPECTRUM 1X SILICONE SEALANT 946-108 MCG 240-A-L.
14.2.4.	TYPE E ACOUSTIC TYPE, TO CANCGSB 19.21; TREMCO ACOUSTICAL SEALANT 931-70X.
14.2.5.	TYPE F ACRYLIC/LATEX TYPE, FAST SETTING, FLEXIBLE, ACRYLIC EMULSION COMPOUND CONFORMING TO CANCGSB 19.17; TREMCO ACRYLIC LATEX CALK 841-15X.
14.2.6.	TYPE G FIRE RESISTANT TYPE, ONE COMPONENT, NON-SAG, PURPOSE MADE TESTED IN ACCORDANCE WITH CAN4-S115 AND CAN4-S102; SIMILAR TO FRYE SHIELD BY TREMCO.
14.3.	FOR INSTALLATION, APPLY SEALANT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MASK AROUND JOINTS TO PROTECT ADJACENT SURFACES, AND INSTALL BACKER ROD IN JOINTS WHERE REQUIRED TO PROVIDE PROPER DEPTH OF SEALANT.
15.	<b>DOORS, FRAMES &amp; GLASS</b>
15.1.	PROVIDE AND INSTALL ALL DOORS AS SCHEDULED AND CONTAINED/DEPICTED IN CONTRACT DOCUMENTS.
15.2.	INSTALL FRAMES RIGID, PLUMB, LEVEL AND TRUE. BRACE FRAMES TO RETAIN POSITION AND CHECK ALIGNMENT DURING CONSTRUCTION AND ADJUST AS NECESSARY WITH SHIMS PRIOR TO FASTENING TO SUBSTRATE.
15.3.	OBTAIN TEMPLATES FROM HARDWARE MANUFACTURER AND CONFIRM TYPE, LOCATION AND SPECIAL REQUIREMENTS OF HARDWARE FOR EACH DOOR. PRIOR TO CUTTING, WHERE DOORS ARE PREFINISHED, EXERCISE DUE CARE TO PROTECT FINISHES. HANG DOOR FOR 1" CLEARANCE AT HEAD, 3/8" AT BOTTOM, OR OTHERWISE INDICATE TO SUIT FIRE-SMOKE RATING. ADJUST CLEARANCES REQUIRED FOR FLOORING. INSURE ALL DOORS OPERATE FREELY, WITHOUT BINDING, AND WHEN CLOSED WITH MODERATE FORCE, WILL LATCH PROPERLY.
15.4.	ALLOWABLE CLOSURE PRESSURES ALL AS PER OBC REQUIREMENTS.
15.5.	FINISH SPECIFIED DOOR SCHEDULE - ALL DOOR SURFACES.
15.6.	UNLESS SHOWN OTHERWISE, DOOR LOCATIONS SHALL BE HINGE SIDE 3" FROM FINISH WALL.
15.7.	GLASS TYPES: MIN 1/4" CLEAR TEMPERED GLASS FOR ALL INTERIOR DOORS/WINDOWS, INSULATING GLASS 2 LAYERS 1/4 CLEAR TEMPERED IN THERMALLY SEALED UNIT W/ ARGON GAS.
15.8.	HINGES: MIN 3/8" PER DOOR, 30 BARRIER FREE DOORS SHALL C/W MCKINNEY FIVE KNUCKLE STANDARD WEIGHT SWING CLEAR SERIES, MODEL NUMBER T2895, OR APPROVED EQUAL.
16.	<b>GYPSUM BOARD</b>
16.1.	GYPSUM WALL BOARD TO BE 1/2" OR 5/8" AS INDICATED ON CONTRACT DOCUMENTS AND FIRE RATED AS INDICATED OR REQUIRED IN CONFORMANCE WITH FIRE REGULATIONS AND LOCAL AUTHORITIES. PROVIDE AQUA BOARD IN MOIST HUMID AREAS. PROVIDE TILE BACKER BOARD BEHIND CERAMIC/PORCELAIN TILE.
16.2.	PROVIDE JOINT REINFORCING TAPE, ADHESIVE, AND METAL CORNER REINFORCEMENT. STANDARD PRODUCTS AS RECOMMENDED BY THE MANUFACTURER. USE SELF-DRILLING, SELF-TAPPING COUNTERSUNK BUGLE HEAD SCREWS FOR ATTACHMENT OF WALL BOARDS TO STUDS. ALL TAPED/MADE JOINTS & FASTENER FINISHING SHALL BE SMOOTH AND LEVEL TO GOOD QUALITY SURFACE FINISH WITHOUT VISIBLE JOINTS/SEAMS. ALL AS PER CSCC LEVEL 4 FINISHING MATRIX.
16.3.	CEILING MAIN SUSPENSION RUNNERS: 16 GAUGE COLD ROLLED STEEL, 1/2" CHANNELS, HANGING WIRE: 8 GAUGE MINIMUM, GALVANIZED ANNEALED LOW CARBON STEEL WIRE, ASTM C754.
16.4.	INSTALL WALL BOARD IN MAXIMUM SIZE PANELS. ATTACH TO WALL FRAMING WITH LONG EDGES VERTICAL, USING 1-1/4" LONG SCREW FASTENERS AT MAXIMUM OF 12" O.C. IN THE FIELD AND 8" O.C. ALONG EDGES SUPPORTED ON FRAMING MEMBERS.
16.5.	CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL EQUIPMENT SERVING SERVICE & DUCTS, PLUMBING AND ELECTRICAL WORK, FIRE RATED AS REQUIRED.
17.	<b>RESILIENT &amp; VINYL TILE FLOORING</b>
17.1.	INSTALL ALL MATERIALS IN SHAPE, CONFIGURATION AND PATTERN AS SHOWN ON DRAWINGS.
17.2.	STANDSTILL TO BE IN CONFORMANCE WITH TILE COUNCIL OF AMERICA AND/OR TILE AND TERRAZZO INSTITUTE OF CANADA.
17.3.	PROVIDE A 1% EXTRA SUPPLY OF EACH TYPE OF FLOORING USED IN THIS PROJECT FOR FUTURE REPLACEMENT PURPOSES.
17.4.	INSTALL TRANSITION STRIP AT ALL VTL/VTL TO CARPET OR CERAMIC JUNCTIONS.
17.5.	CLEAN AND SEAL TILE SURFACE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
17.6.	INSTALLATION OF TILE SUBSTRATE TO BE LEVEL, AND FREE OF DIRT, CONTAMINANTS, ADHESIVE AND OTHER MATERIALS THAT SHOULD BE DELETERIOUS TO MORTAR ADHESION.
17.7.	INSTALL ALL SHEET GOOD, VINYL COMPOSITE TILE, AND VINYL BASE AS INDICATED ON DRAWINGS. INSTALL IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS. COEMENT DIRECTLY TO SUBSTRATE UNLESS NOTED OR DETAILED OTHERWISE. PROTECT FLOORS FROM ROLLING LOADS FOR FORTY EIGHT (48) HOURS AFTER INITIAL INSTALLATION.
17.8.	VINYL TILE COMPOSITION TO CSA A126.1 EXCEPT THAT FILLER BE NON-ASBESTOS, TYPE A (PLAIN OR MOTTLED SURFACE TYPE) 1/8" THICK, 12"x12" SIZE, UNIFORM DISPERSEMENT OF COLOUR AND TEXTURE THROUGHOUT TILE THICKNESS.
17.9.	PROVIDE MOISTURE LIMITER ON EXISTING POURED CONCRETE FLOORS PRIOR TO NEW FLOORING ASSEMBLY.
18.	<b>CARPET (BROADLOOM &amp; TILES)</b>
18.1.	INSTALL CARPET AS PER MANUFACTURERS INSTALLATION INSTRUCTION.
18.2.	PREP FLOOR TO MANUFACTURERS REQUIREMENTS AS SET OUT IN THE INSTALLATION INSTRUCTIONS.
18.3.	PROVIDE MOISTURE LIMITER ON EXISTING POURED CONCRETE FLOORS PRIOR TO NEW FLOORING ASSEMBLY.
19.	<b>VINYL BASE</b>
19.1.	INSTALL JOHNSONITE OR EQUAL 4" VINYL BASE AROUND PERIMETER OF ALL WALLS, EXISTING AND NEW, COLOUR BY CONSULTANT. USE MANUFACTURERS RECOMMENDED ADHESIVE FOR DRYWALL APPLICATION.
19.2.	PREP BASE OF EXISTING WALLS WHERE EXISTING CARPET BASE HAS BEEN REMOVED. REMOVE ALL GLUE AND PATCH AND REPAIR WALLS DAMAGED WHERE REQUIRED.
20.	<b>PAINTING</b>
20.1.	APPLY PAINT AS PER STANDARD CANCGSB-85 100 LATEST EDITION, AND AS PER CSCC LEVEL 4 PAINT FINISH STANDARDS FOR A STROKE-FREE, SMOOTH, EVEN, SURFACE FINISH.
20.2.	PRIMER TO CANCGSB-119: PRIMER SEALER, WALL, INTERIOR LATEX FINISH.
20.3.	SUBMIT LIST OF PROPOSED PAINT AND COLOURS 10 DAYS PRIOR TO APPLICATION FOR REVIEW BY CONSULTANT/OWNER.
20.4.	STORE PAINT ON SITE IN APPROVED SEALED CONTAINERS AWAY FROM ANY FLAME SOURCE OR SPARK SOURCE.
20.5.	PREP ALL EXISTING PAINTED SURFACES TO ACCEPT NEW PAINT FINISH WHERE APPLICABLE. CLEAN AND PATCH WALLS, SAND SMOOTH ALL ROUGH SURFACES.
20.6.	PRIME NEW DRYWALL SURFACES WITH PRIMER PRIOR TO PAINTING.
20.7.	APPLY MATERIALS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. DO NOT USE ADULTERANTS OR DILUTENTS EXCEPT AS RECOMMENDED BY MANUFACTURE FOR APPLICATION.
20.8.	CLEAN UP AND REMOVE UNUSED PRODUCTS FROM SITE ON COMPLETION OF WORK.
20.9.	PAINT SHEENS: EGGSHELL WALLS; SEMI-GLOSS DOORS/FRAMES; MATT WHITE CEILINGS.
21.	<b>ACOUSTIC CEILINGS</b>
21.1.	PROVIDE NEW CEILING TILE ASSEMBLY AS PER ARCH DRAWINGS. MATCH NEW PRODUCT TO EXISTING PRODUCT IN ALL AREAS WHERE APPLICABLE. REPLACE TILES DAMAGED DURING CONSTRUCTION OR EXECUTION OF WORK WITH NEW TILES.
22.	<b>EXTERIOR INSULATION &amp; FINISHING SYSTEM (EIFS)</b>
22.1.	RAINSCREEN 10MM REAR DRAINAGE PLAN AND VENTED.
22.2.	EIFS TRADE SHALL BE AN ACCREDITED DRYVIT, STO (OR EQUAL) APPLICATOR AS CERTIFIED BY THE MANUFACTURER. VALID CERTIFICATE IS REQUIRED TO BE POSTED ON SITE FOR CONSULTANT REVIEW.
22.3.	THE GENERAL CONTRACTOR SHALL NOTIFY THE CONSULTANT OF THE WATER RESISTIVE BARRIER (WRB) SCHEDULED APPLICATION FOLLOWED BY THE OUTSULATION MO INSULATION BOARD APPLICATION FOR CONSULTANT REVIEW.
23.	<b>MEDIUM DENSITY SPRAYFOAM INSULATION:</b>
23.1.	SHALL MEET CANULC-3705:1-15 STANDARD FOR THERMAL INSULATION, AND CANULC-5770-39 STANDARD TEST METHOD FOR DETERMINING LONG TERM THERMAL RESISTANCE, AND SHALL MEET THE 2021 REQUIRED LOW IMPACT HFO BLOWING TYPE AGENTS. SHALL MEET THE ONTARIO AND NATIONAL BUILDING CODE APPLICATION, COVERAGE & FIRE PROTECTION REQUIREMENTS 3.1.6. COMBUSTIBLE INSULATION & FOAMED PLASTIC INSULATION, AND SECTION 9.25-4.2 (1) VAPOUR BARRIER COMPLIANCE TO ASTM 665.
23.2.	DO NOT APPLY SPRAYFOAM IN GREATER THAN 2" LIFTS, ALLOW CURING TIME BETWEEN LIFTS AS PER MANUFACTURER RECOMMENDATIONS.
23.3.	THE STANDARD FOR SPRAYFOAM INSULATION SHALL BE BASF WALLTITE CM01 (OR EQUAL) R5.91", MIN 2" THICKNESS.
24.	<b>ROOFING &amp; INSULATION:</b>
24.1.	INSTALL ROOFING ASSEMBLY AS PER MANUFACTURERS RECOMMENDED PRODUCT TYPES, SEQUENCING AND FASTENERS/ADHESIVES.
24.2.	ONLY INSTALL IN DRY WEATHER AND ONLY INSTALL A QTY OF ROOFING AREA MANAGEABLE FOR THE DAY OF WORK.
24.3.	PROVIDE WATER-TIGHT SEAL PERIMETER ON UNFINISHED ROOF FOR NEXT WORK DAY CONTINUATION.
24.4.	ROOFING INSTALLATION SHALL BE AS PER CANADIAN ROOFING CONTRACTORS ASSOCIATION (CRC) STANDARDS, INCLUDING 8" STAGGERED EA W/ INSULATION BOARD JOINTS & 1/4" WIDE JOINTS SHALL BE FILLED WITH NON-EXPANDING SPRAYFOAM INSULATION.
24.5.	PROVIDE A 20 YEAR UNLIMITED LABOUR AND PRODUCTS WARRANTY. PROVIDE 3RD PARTY QUALIFIED INDEPENDENT ROOFING CONSULTANT TO REVIEW THE ROOFING INSTALLATION TO CURRENT ROOFING INDUSTRY STANDARDS, GC SHALL FOLLOW THEIR RECOMMENDATIONS. COST FOR CONSULTANT SHALL BE BY OWNER.

### REQUIRED SUBMITTALS

1.	THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION. SUBMIT ONE DIGITAL COPY UNLESS NOTED OTHERWISE.
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ITEM	REQUIRED SUBMITTAL?	P ENG STAMP REQUIRED?
WINDOW SHOP DRAWINGS	YES	YES
OR CONNECTION NOTED	YES	YES
DOOR SHOP DRAWINGS	YES	NO
OR B/F CLEARANCES NOTED	YES	NO
DOOR HARDWARE	YES	YES
STEEL ERECTION DRAWINGS	YES	YES
STEEL STUD ERECTION DRAWINGS	YES	YES
MISC. STEEL HANDGUARD RAIL/LADDER	YES	YES
SLOPED INSULATION	YES	NO
FIRESTOP PRODUCTS	YES	NO
ROOFING MEMBRANE	YES	YES
MARQUEE CANOPY DRAWINGS	YES	YES

## ONTARIO BUILDING CODE 2012

### PART 3 - FIRE PROTECTION, OCCUPANT SAFETY AND ACCESSIBILITY

3.00	BUILDING CODE VERSION	O.REG. 332/12		OBC REFERENCE <sup>(1)</sup>						
3.01	PROJECT TYPE	NEW CONSTRUCTION		[A] 1.1.2.2.						
3.02	MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY		USE						
		E	MERCANTILE	COMMERCIAL RETAIL UNIT (CRU)						
3.03	SUPERIMPOSED MAJOR OCCUPANCIES	N/A		3.2.2.7.						
		N/A		[A] 1.4.1.2.						
3.04	BUILDING AREA (m <sup>2</sup> )	DESCRIPTION		EXISTING	NEW	TOTAL	[A] 1.4.1.2.			
		NEW CONSTRUCTION		-	462.97	462.97				
TOTAL				-	462.97	462.97				
3.05	GROSS AREA (m <sup>2</sup> )	DESCRIPTION		EXISTING	NEW	TOTAL	[A] 1.4.1.2.			
		NEW CONSTRUCTION		-	462.97	462.97				
TOTAL				-	462.97	462.97				
3.06	MEZZANINE AREA (m <sup>2</sup> )	DESCRIPTION		EXISTING	NEW	TOTAL	3.2.1.1.			
		N/A		-	-	-				
TOTAL				-	-	-				
3.07	BUILDING HEIGHT	1	STOREYS ABOVE GRADE	6.7 (m) ABOVE GRADE		[A] 1.4.1.2. & 3.2.1.1.				
		0	STOREYS BELOW GRADE							
3.08	HIGH BUILDING	NO		3.2.6.						
3.09	NUMBER OF STREETS/FIREFIGHTER ACCESS	3		STREET(S)						
3.10	BUILDING CLASSIFICATION	3.2.2.61.	GROUP E, UP TO 2 STOREYS	3.2.2.20-83.						
3.11	SPRINKLER SYSTEM	NOT REQUIRED	PROVIDED:	NONE		3.2.1.5., 3.2.9.				
3.12	STANDPIPE SYSTEM	NOT REQUIRED		3.2.4.						
3.13	FIRE ALARM SYSTEM	NOT REQUIRED		TYPE PROVIDED N/A						
3.14	WATER SERVICE/SUPPLY IS ADEQUATE	YES		3.2.5.7.						
3.15	CONSTRUCTION TYPE	BASED ON 3.2.2.61.		3.2.2.20-83.						
		RESTRICTIONS	COMB. PERMITTED							
ACTUAL	NONCOMB.	HEAVY TIMBER CONSTRUCTION N/A		3.2.1.4.						
3.16	IMPORTANCE CATEGORY	NORMAL		-		4.1.2.1 (3), T4.1.2.1.B				
3.18	OCCUPANT LOAD (SHELL PERMIT ONLY)	FLOOR LEVEL / AREA	OCCUPANCY TYPE	OCCUPANT LOAD	BASED ON	POSTED LIMIT REQUIRED	3.1.17., 3.1.17.1(2)			
		CRU	E - MERCANTILE	125	m <sup>2</sup> PER PERSON	NO				
TOTAL				125						
3.19	BARRIER-FREE DESIGN	YES		3.8.						
3.20	HAZARDOUS SUBSTANCES	BARRIER-FREE ENTRANCES	2	2 NEW BARRIER-FREE ENTRANCES		3.1.8.2.				
		HAZARDOUS SUBSTANCES	NO	3.3.1.2. & 3.3.1.19.						
3.21	REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY	RATING (H)	SUPPORTING ASSEMBLY (H)	NONCOMB. IN LIEU OF RATING?	3.2.2.20-83., 3.2.1.2., 3.2.1.4., 3.2.2.15.				
		STOREYS BELOW GRADE	N/A	N/A	N/A					
FLOORS OVER BASEMENT	N/A	N/A	N/A							
FLOORS	3/4	3/4	NO							
MEZZANINE	N/A	N/A	N/A							
ROOF	0	0	N/A							
3.22	SPATIAL SEPARATION	EXPOSING BUILDING FACE	EBF AREA (m <sup>2</sup> )	L.D. (m)	L/H OR H/L	% UPO PERMITTED / ACTUAL	REQUIRED FRR (h)	CONSTRUCTION TYPE	CLADDING TYPE	3.2.3.
		NORTH	78.32	> 14.00	LESS THAN 3:1	100.0 / 47.6	N/A	COMB. PERMITTED	COMB. PERMITTED	
EAST (A)	63.54	8.77	LESS THAN 3:1	31.4 / 28.18	1	COMB. PERMITTED	NONCOMB. REQ'D			
EAST (B)	78.37	8.77	3:1 to 10:1	25.85 / 22.85	1	COMB. PERMITTED	NONCOMB. REQ'D			
SOUTH	78.40	22.00	3:1 to 10:1	100.0 / 36.8	N/A	COMB. PERMITTED	COMB. PERMITTED			
WEST	142.00	27.00	3:1 to 10:1	100.0 / 20.7	N/A	COMB. PERMITTED	COMB. PERMITTED			
3.23	PLUMBING FIXTURE REQUIREMENTS	RATIO:	MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE		3.7.4., 3.8.2.3. & T.3.8.2.3.A., T.3.8.2.3.B.					
		FLOOR LEVEL / AREA	OCCUPANT LOAD	OBC SENTENCE	WATER CLOSETS REQUIRED	WATER CLOSETS PROVIDED	BARRIER-FREE WATER CLOSETS REQUIRED / PROVIDED	UNIVERSAL WASHROOMS REQUIRED / PROVIDED		
(SHELL PERMIT ONLY)		CRU	125	N/A	N/A	N/A	N/A	N/A		
3.26	NOTES	IS AN ALTERNATIVE SOLUTION USED?		NO						

## WALL ASSEMBLIES SCHEDULE GENERAL NOTES

- FIRESTOP CAULKING TO SEAL JOINTS WHERE GYPSUM BOARD PARTITION ABUTTS FLOOR, U/S OF STRUCTURE, CONCRETE MASONRY UNIT (CMU) AND ALL PENETRATIONS THRU FIRE SEPARATIONS. TYP.
- REFER TO FLOOR PLANS FOR LOCATION OF WALLS BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- CONFIRM WALL THICKNESS WITH STRUCTURAL DRAWINGS.
- ALL GYPSUM BOARD SURFACES SHALL BE PAINTED 1 COAT PRIMER, 2 COATS FINISH.
- EGGSHELL SHEEN ON WALLS; SEMI-GLOSS IN KITCHENS ABOVE COUNTER, BATHROOM WALLS, AND DOORS/FRAMES; FLAT SHEEN CEILINGS.
- REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL CONCRETE WALL TYPES, MATERIALS, THICKNESS. TYP. MAX 2" THICK LIFT OF SPRAYFOAM INSULATION PER PASS.
- CONC. BLOCK TOP LATERAL SUPPORT METAL CLIP ANGLES REQUIRED. REFER TO STRUCTURAL DWGS. TYP.
- PROVIDE SAME THICKNESS WATER RESISTANT GYPSUM BOARD BEHIND & BESIDE WATER FIXTURES TYP.
- ALL PARTITIONS SHALL BE PROVIDED WITH LATERAL STABILITY/CROSS BRACING AT TOPS OF FRAMING FOR LATERAL SECUREMENT.
- PAINT ALL STEEL EXPOSED TO VIEW. NEW STRUCTURAL STEEL SHALL BE PRIMED AND PAINTED.
- PROVIDE TILE BACKER BOARD BEHIND ALL WALL TILE.
- PROVIDE ADEQUATE BLOCKING IN WALLS/PARTITIONS TO SUPPORT/SECURE ALL ITEMS FIXED TO WALL. TYP. UNLESS OTHERWISE NOTED, ALL PARTITIONS SHALL BE CONSTRUCTED UP TO U/S STRUCTURE ABOVE. FOLLOW TYP. DETAIL FOR FIRE RATED PARTITION FINISHING.
- REFER TO GEOTECHNICAL REPORT FOR ALL EARTH, MOISTURE, BEARING AND METHANE GAS PROTECTION DESIGN RELATED INFORMATION THAT MAY AFFECT BUILDING ASSEMBLIES AND CONSTRUCTION PROCESSES. TYP.
- REFER TO GEOTECHNICAL REPORT FOR ALL GROUND WATER CONTROL AND WEEP TILE @ FOOTINGS RECOMMENDATIONS.

## FLOOR/ROOF ASSEMBLIES SCHEDULE GENERAL NOTES

- REFER TO SECTIONS FOR LOCATION OF FLOOR/ROOF BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- CONFIRM FLOOR/ROOF THICKNESS WITH STRUCTURAL DRAWINGS, REPORT ANY DISCREPANCIES TO THE ARCHITECT (IF REQUIRED).

## EXTERIOR WALLS TYPE SCHEDULE

**EW1**

- 3-1/2" WHITE STONE BLOCK (SEE ELEVATION LEGEND FOR MATERIAL INFO & LOCATION) c/w GAL. MASONRY TIES (SEE STRUCT.)
- 1" AIR SPACE
- 2-0" RIGID INSULATION (R-12)
- AIR MOISTURE BARRIER CONTINUOUS
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

**EW1b**

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

\* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

**EW2**

- 3-1/2" DARK GREY STONE VENEER (SEE ELEVATION LEGEND FOR MATERIAL INFO & LOCATION) c/w GAL. MASONRY TIES (SEE STRUCT.)
- 1" AIR SPACE
- 2-0" RIGID INSULATION (R-12)
- AIR MOISTURE BARRIER CONTINUOUS
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

**EW2b**

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

\* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

**EW3**

- DRYVIT OUTSULATION MD - SEE ELEVATION FOR COLOUR AND INFO. PROVIDE PLASTIC WEEP VENTS, CAULKING AT WALL BASE
- 4" EXPANDED POLYSTYRENE INSULATION WITH P.U.C.C DRAINAGE SYSTEM DRYVIT BACKSTOP NT-TEXTURE AIR BARRIER APPLIED OVER ENTIRE SUBSTRATE SURFACE
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

PROVIDED REINFORCED, HIGH IMPACT ARMOUR MESH TO 4'-0" AFF TO ALL STUCCO TREATMENT. REFER TO ELEVATIONS FOR EIFS COLOUR

**EW3b**

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

\* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

**EW4**

- DRYVIT OUTSULATION MD - SEE ELEVATION FOR COLOUR AND INFO. PROVIDE PLASTIC WEEP VENTS, CAULKING AT WALL BASE
- 4" EXPANDED POLYSTYRENE INSULATION WITH P.U.C.C DRAINAGE SYSTEM DRYVIT BACKSTOP NT-TEXTURE AIR BARRIER APPLIED OVER ENTIRE SUBSTRATE SURFACE
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

PROVIDED REINFORCED, HIGH IMPACT ARMOUR MESH TO 4'-0" AFF TO ALL STUCCO TREATMENT. REFER TO ELEVATIONS FOR EIFS COLOUR

**EW4b**

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

\* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

**EW5**

- DRYVIT OUTSULATION C/W V-GROOVES - SEE ELEVATION FOR COLOUR AND INFO. PROVIDE PLASTIC WEEP VENTS, CAULKING AT WALL BASE
- 4" EXPANDED POLYSTYRENE INSULATION WITH P.U.C.C DRAINAGE SYSTEM DRYVIT BACKSTOP NT-TEXTURE AIR BARRIER APPLIED OVER ENTIRE SUBSTRATE SURFACE
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

PROVIDED REINFORCED, HIGH IMPACT ARMOUR MESH TO 4'-0" AFF TO ALL STUCCO TREATMENT. REFER TO ELEVATIONS FOR EIFS COLOUR

**EW5b**

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

\* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

**EW6**

- DRYVIT OUTSULATION C/W V-GROOVES - SEE ELEVATION FOR COLOUR AND INFO. PROVIDE PLASTIC WEEP VENTS, CAULKING AT WALL BASE
- 4" EXPANDED POLYSTYRENE INSULATION WITH P.U.C.C DRAINAGE SYSTEM DRYVIT BACKSTOP NT-TEXTURE AIR BARRIER APPLIED OVER ENTIRE SUBSTRATE SURFACE
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

PROVIDED REINFORCED, HIGH IMPACT ARMOUR MESH TO 4'-0" AFF TO ALL STUCCO TREATMENT. REFER TO ELEVATIONS FOR EIFS COLOUR

**EW6b**

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

\* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

## INTERIOR WALLS TYPE SCHEDULE

**W1**

- 1/2" TYPE 'X' GYPSUM BOARD
- SOUND ATTENUATING BATT INSULATION
- 6" STEEL STUDS @ 16" o/c MAX. (SEE STRUCT.)
- 1/2" TYPE 'X' GYPSUM BOARD

WALL TYPE	REFR.	F.R.	S.T.C.	R (R.S.I)
W1 INTERIOR - 6" METAL STUD 1/2" GWB - 1HR	ULC-U407	1 HR	51	

**W2**

- (2) 1/2" TYPE 'X' GYPSUM BOARD
- SOUND ATTENUATING BATT INSULATION
- 6" STEEL STUDS @ 16" o/c MAX. (SEE STRUCT.)
- (2) 1/2" TYPE 'X' GYPSUM BOARD

WALL TYPE	REFR.	F.R.	S.T.C.	R (R.S.I)
W2 INTERIOR - 6" METAL STUD 1/2" GWB - 1HR	ULC-U411	2 HR	51	

## FLOOR TYPE SCHEDULE

**FL1**

- C.I.P. CONC. SLAB-ON-GRADE WITH W.W.M.
- 10 MIL POLY VAPOUR BARRIER w/4" LAPPED JOINTS, TYP. ALL APPLICATIONS BENEATH CONC. S.O.G.
- R15 RIGID INSULATION 48" WIDE @ PERIMETER TYPE EXTRUDED POLYSTYRENE TYPE 3 OR 4
- 8" (MIN.) COMPACTED GRANULAR (SEE STRUCT. DWGS)

TO BE INSTALLED AS A SINGLE PLANE LEVEL SLAB W/ SMOOTH TROWELED FINISH READY TO ACCEPT TENANT FLOOR FINISH (COORDINATE WITH TENANT FITUP DWGS PRIOR TO INSTALLATION).

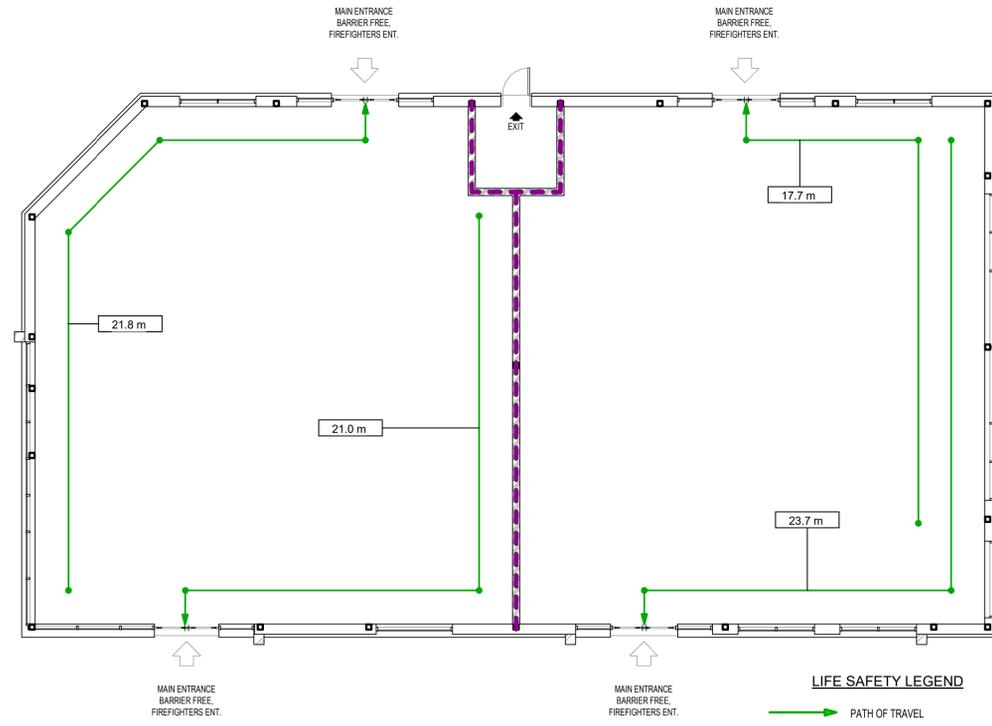
WALL TYPE	REFR.	F.R.	S.T.C.	R (R.S.I)
FL1 FLOOR - C.I.P. CONCRETE & R15 INSUL.				

## ROOF TYPE SCHEDULE

**RF1**

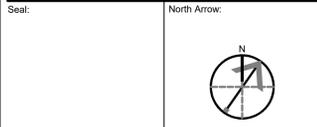
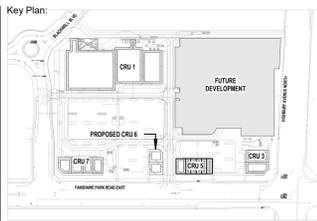
- 60MIL TPO ROOF MEMBRANE SYSTEM (FIRESTONE OR APPROVED EQUAL)
- BONDING AGENT
- MIN. R-35 RIGID INSULATION, ACHIEVE ROOF SLOPE THROUGH STEEL SLOPES
- 6 mil VAPOUR BARRIER CONT. over
- 3" METAL DECK (SEE STRUCT.)
- BEAM AND OSW/ SLOPED FOR DRAINAGE (SEE STRUCT.)

WALL TYPE	REFR.	F.R.	S.T.C.	R (R.S.I)
RF1 ROOF - MIN. R-35 INSUL. & 1-1/2" METAL DECK				



## LIFE SAFETY PLAN

SCALE: 1 : 100



**General Notes:**

IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (NAJ) PRIOR TO COMMENCING ANY WORK.

DO NOT SCALE DRAWING. FOR CONSTRUCTION DRAWINGS MUST HAVE ORIGINAL CONSULTANT'S STAMP AND SIGNATURE. ALL CONSTRUCTION AND MATERIALS MUST CONFORM WITH APPLICABLE CODES AND C.M.I.C. STANDARDS AND BE APPROVED BY OWNER.

THE CONTENTS OF THIS DRAWING REMAIN THE COPYRIGHT PROPERTY OF CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (NAJ) AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF CREATIVE STRUCTURES.

THESE DRAWINGS AND ALL DETAILS ARE FOR THIS PROJECT ONLY AND SHOULD NOT BE USED FOR ANY OTHER WORK.

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO CREATIVE STRUCTURES LTD. AND NGACAKU ARCHITECTURE INC. PRIOR TO COMMENCING WORK. ALL DIMENSIONS AND LEVELS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY OWNER AND GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNTIL IT HAS BEEN STAMPED BY CREATIVE STRUCTURES LTD. OR NGACAKU ARCHITECTURE INC. (NAJ) AND A BUILDING PERMIT HAS BEEN ISSUED AND MARKED 'ISSUED FOR CONSTRUCTION'. THE DRAWINGS SHALL NOT BE USED FOR PRICING, COSTING, OR TENDER UNLESS INDICATED IN THE REVISION COLUMN AND THESE DRAWINGS ARE NOT COMPLETE AND ANY PRICES BASED ON THESE DRAWINGS MUST INCLUDE ALLOWANCES FOR THIS WITH NO LIABILITY ON CREATIVE STRUCTURES LTD AND NGACAKU ARCHITECTURE INC.

CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE. CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.

ANY MATERIAL ALTERATIONS CARRIED OUT DURING CONSTRUCTION BY THE CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WITH THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

**ISSUES/REVISION TABLE**

No.	Date	Revision
2	Apr 03, 2024	ISSUED FOR TENDER
1	Jan 29, 2024	60% ISSUED FOR CLIENT REVIEW

No.	Date	Revision
2	Apr 03, 2024	ISSUED FOR TENDER
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**Westdell** DEVELOPMENT CORP  
1300 FANSHAWE PARK RD. EAST. - CRU #6  
1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:

## ASSEMBLY TYPES

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

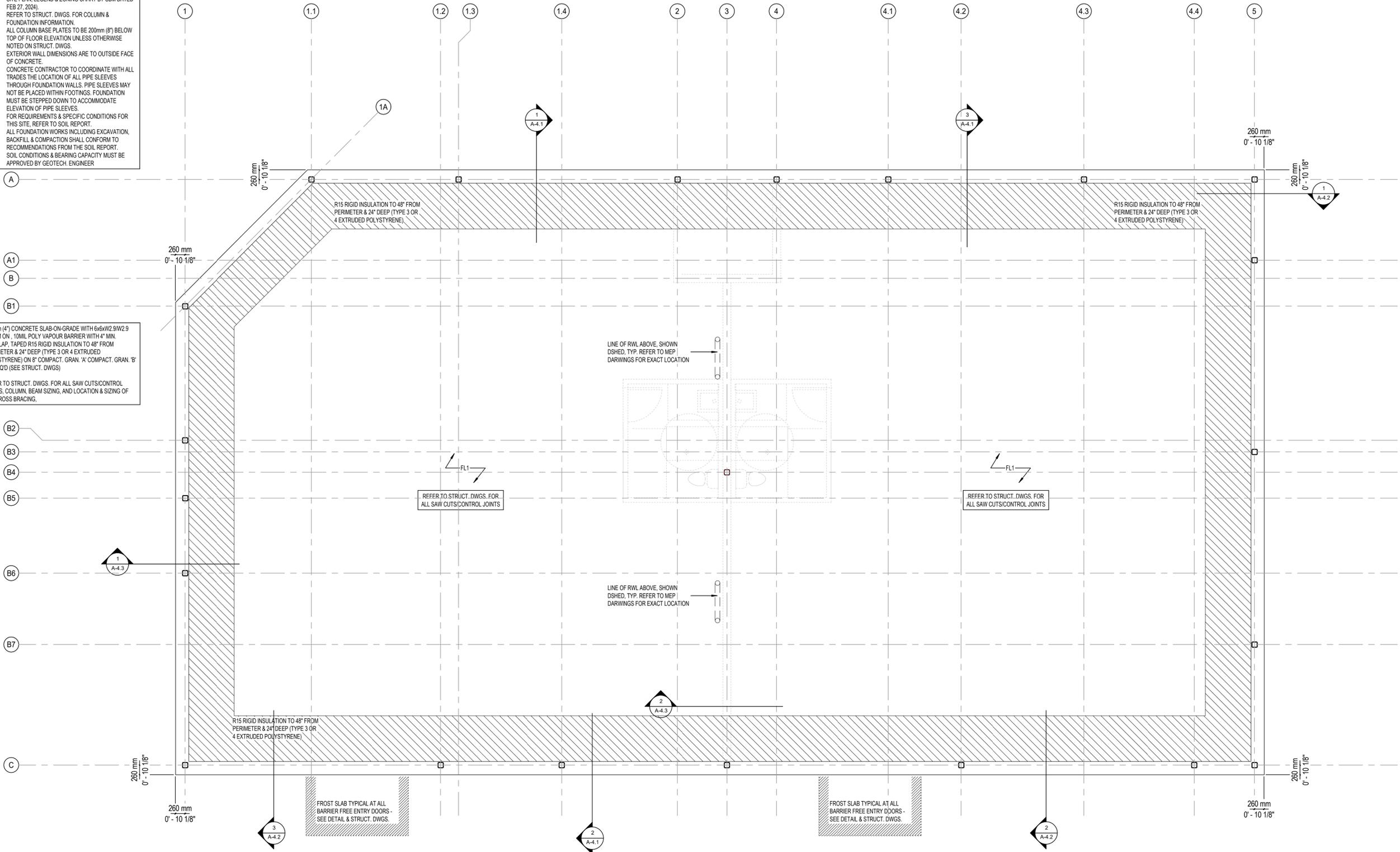
Project Date: JAN 2024

Project No: 2023-102

Drawing No: A-1.1 Revision: 2

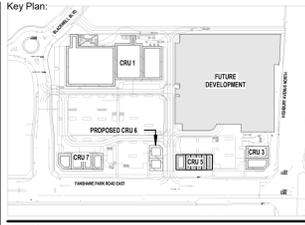
NOTE:  
 1. TOP OF SLAB-ON-GRADE IS AT 0' - 0" (257.50 GEODETIC - TO BE CONFIRMED ON SITE REFER TO SITE PLAN, LEGEND & ZONING CHART BY SBM DATED FEB 27, 2024).  
 2. REFER TO STRUCT. DWGS. FOR COLUMN & FOUNDATION INFORMATION.  
 3. ALL COLUMN BASE PLATES TO BE 200mm (8") BELOW TOP OF FLOOR ELEVATION UNLESS OTHERWISE NOTED ON STRUCT. DWGS.  
 4. EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE.  
 5. CONCRETE CONTRACTOR TO COORDINATE WITH ALL TRADES THE LOCATION OF ALL PIPE SLEEVES THROUGH FOUNDATION WALLS. PIPE SLEEVES MAY NOT BE PLACED WITHIN FOOTINGS. FOUNDATION MUST BE STEPPED DOWN TO ACCOMMODATE ELEVATION OF PIPE SLEEVES.  
 6. FOR REQUIREMENTS & SPECIFIC CONDITIONS FOR THIS SITE, REFER TO SOIL REPORT.  
 7. ALL FOUNDATION WORKS INCLUDING EXCAVATION, BACKFILL & COMPACTION SHALL CONFORM TO RECOMMENDATIONS FROM THE SOIL REPORT.  
 8. SOIL CONDITIONS & BEARING CAPACITY MUST BE APPROVED BY GEOTECH. ENGINEER

100mm (4") CONCRETE SLAB-ON-GRADE WITH 6x6xW2.9 W.W.M ON 10MIL POLY VAPOUR BARRIER WITH 4" MIN. OVERLAP, TAPED R15 RIGID INSULATION TO 48" FROM PERIMETER & 24" DEEP (TYPE 3 OR 4 EXTRUDED POLYSTYRENE) ON 8" COMPACT GRAN. 'A' COMPACT GRAN. 'B' AS REQ'D (SEE STRUCT. DWGS)  
 REFER TO STRUCT. DWGS. FOR ALL SAW CUTS/CONTROL JOINTS, COLUMN, BEAM SIZING, AND LOCATION & SIZING OF ALL CROSS BRACINGS.



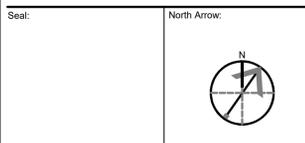
**FOUNDATION PLAN**  
 SCALE: 1 : 50

NOTE:  
 TO BE READ IN CONJUNCTION WITH THE STRUCTURAL FOUNDATION PLAN. REFER TO STRUCTURAL DWGS. FOR ALL REINFORCING, FOUNDATION WALL & PIERS SIZES & US OF FOOTING ELEVATIONS.



Consultant:  
**CREATIVE STRUCTURES**  
 CS@CREATIVESTR.CA

Consultant:  
**N/AJ NGACAKU ARCHITECTURE INC**



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No.	Date	Revision
2	Apr 03, 2024	ISSUED FOR TENDER
1	Jan 29, 2024	60% ISSUED FOR CLIENT REVIEW

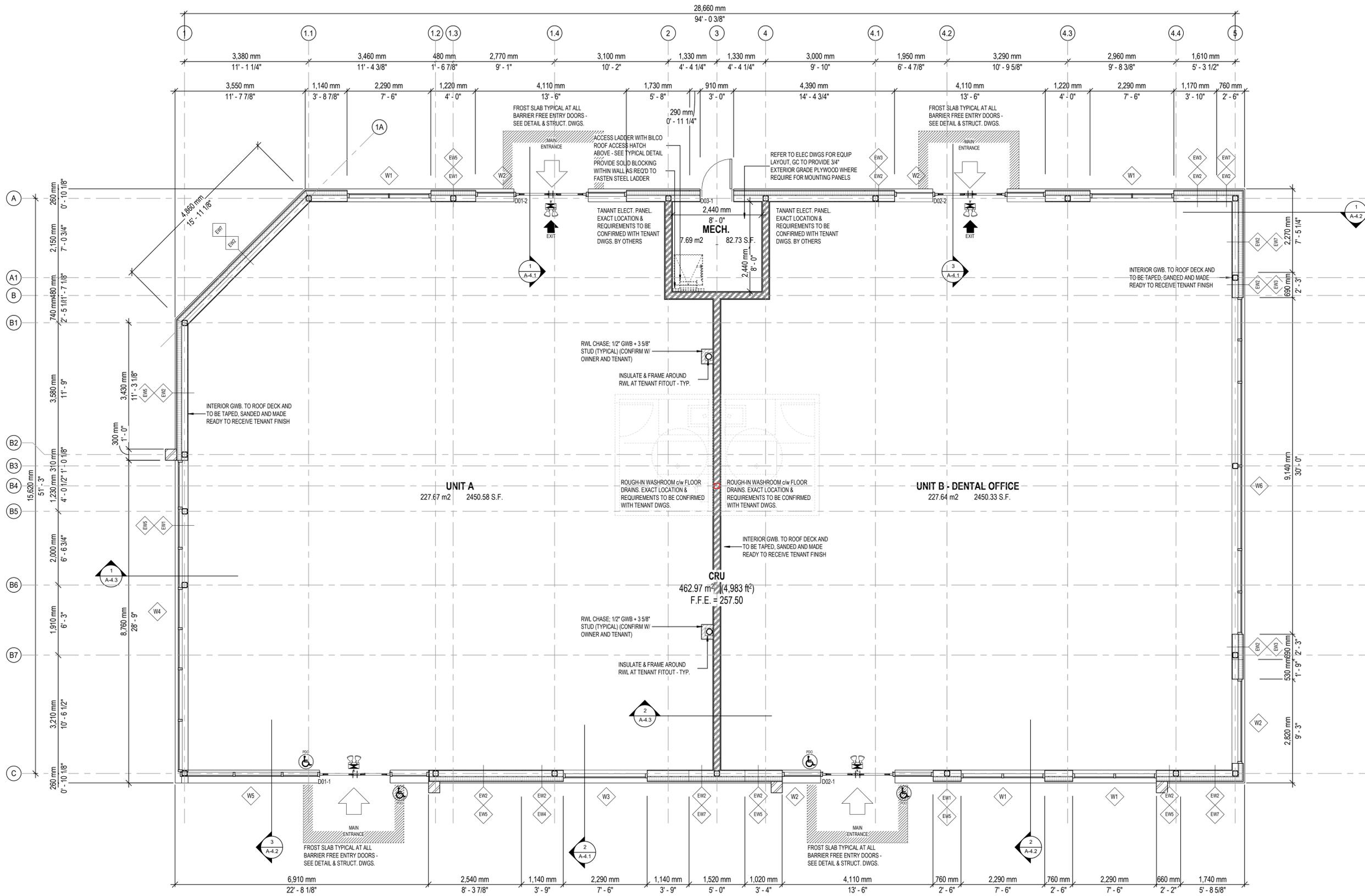
**ISSUES/REVISION TABLE**

Project:  
**WESTDELL DEVELOPMENT CORP**  
 1300 FANSHAW PARK RD. EAST. - CRU #6  
 1300 FANSHAW PARK RD. EAST, LONDON, ON

Drawing Title:  
**FOUNDATION PLAN**

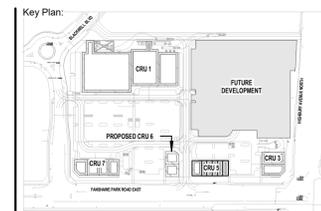
Drawn By: D.H. Scale: AS INDICATED  
 Checked By: K.N. Plot Date: APR 02, 2024  
 Project Date: JAN 2024  
 Project No: 2023-102

Drawing No: **A-2.1** Revision: **2**



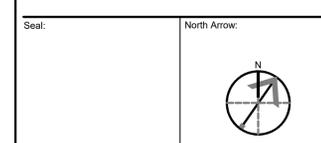
**FLOOR PLAN**

SCALE: 1 : 50



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 CS@CREATIVESTR.CA

Consultant:  
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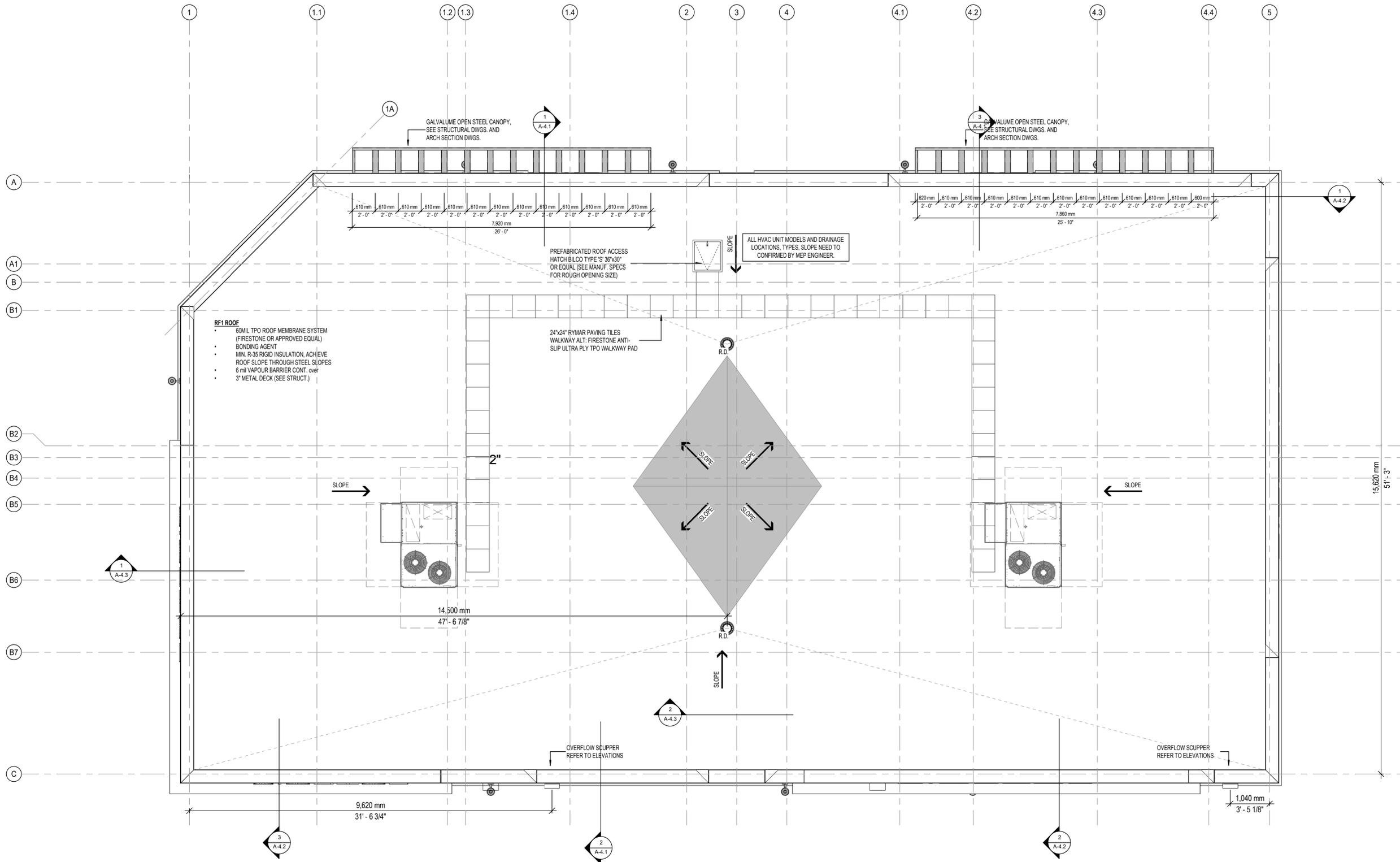
Project:  
**WESTDELL DEVELOPMENT CORP**  
**1300 FANSHAWE PARK RD. EAST. - CRU #6**  
 1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:

**FLOOR PLAN**

Drawn By: D.H. Scale: AS INDICATED  
 Checked By: K.N. Plot Date: APR 02, 2024  
 Project Date: JAN 2024  
 Project No: 2023-102  
 Drawing No: Revision

**A-2.2 2**



**ROOF PLAN**

SCALE: 1 : 50

- RF1 ROOF**
- 50MIL TPO ROOF MEMBRANE SYSTEM (FIRESTONE OR APPROVED EQUAL)
  - BONDING AGENT
  - MIN. R-35 RIGID INSULATION, ACHIEVE ROOF SLOPE THROUGH STEEL SLOPES
  - 6 mil VAPOUR BARRIER CONT. over
  - 3" METAL DECK (SEE STRUCT.)

24"x24" RYMAR PAVING TILES  
WALKWAY ALT. FIRESTONE ANTI-SLIP ULTRA FLY TPO WALKWAY PAD

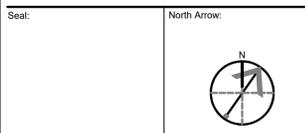
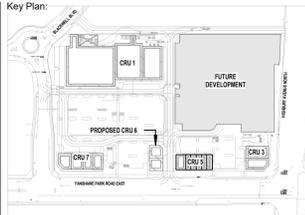
ALL HVAC UNIT MODELS AND DRAINAGE LOCATIONS, TYPES, SLOPE NEED TO BE CONFIRMED BY MEP ENGINEER.

PREFABRICATED ROOF ACCESS HATCH BILCO TYPE 'S' 36"x30" OR EQUAL (SEE MANUF. SPECS FOR ROUGH OPENING SIZE)

OVERFLOW SCUPPER REFER TO ELEVATIONS

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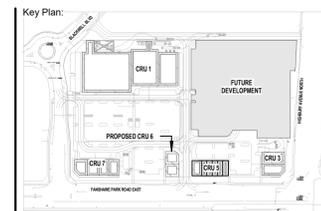
Project:  
**WESTDELL**  
 DEVELOPMENT CORP  
 1300 FANSHAWE PARK RD. EAST. - CRU #6  
 1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:

**ROOF PLAN**

Drawn By: D.H. Scale: AS INDICATED  
 Checked By: K.N. Plot Date: APR 02, 2024  
 Project Date: JAN 2024  
 Project No: 2023-102  
 Drawing No: Revision

**A-2.3**      **2**



Scale: North Arrow

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**Westdell**  
 DEVELOPMENT CORP  
 1300 FANSHAWE PARK RD.  
 EAST. - CRU #6  
 1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:

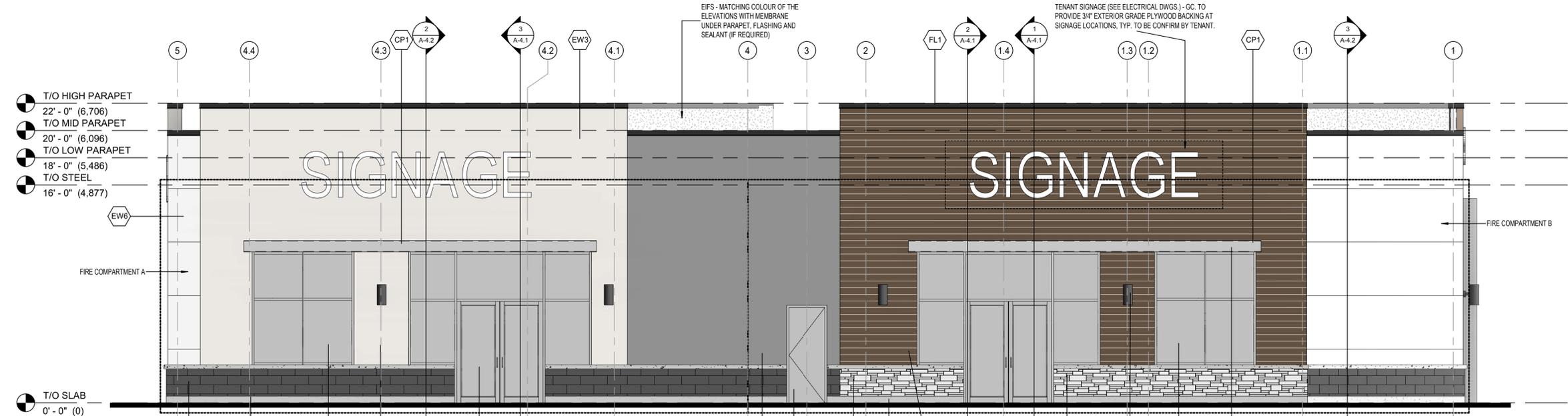
**ELEVATIONS I**

Drawn By: D.H. Scale: AS INDICATED  
 Checked By: K.N. Plot Date: APR 03, 2024

Project Date: JAN 2024  
 Project No: 2023-102

Drawing No: Revision

**A-3.1 2**

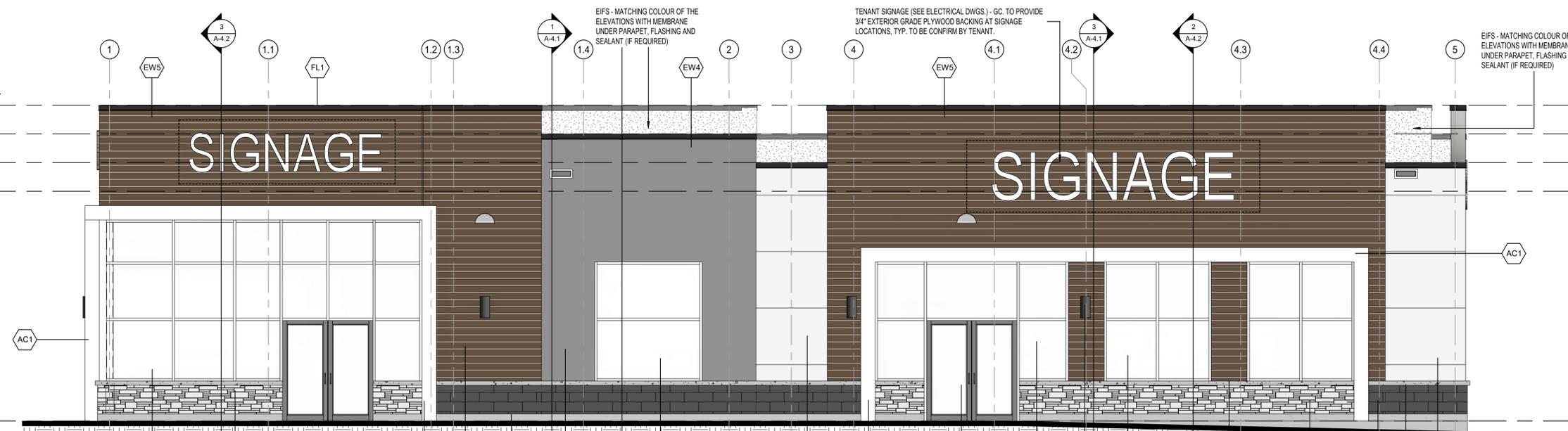


**EAST ELEVATION**

SCALE: 1 : 50

- T/O HIGH PARAPET 22' - 0" (6,706)
- T/O MID PARAPET 20' - 0" (6,096)
- T/O LOW PARAPET 18' - 0" (5,486)
- T/O STEEL 16' - 0" (4,877)

T/O SLAB 0' - 0" (0)



**WEST ELEVATION**

SCALE: 1 : 50

**MATERIAL LEGEND**

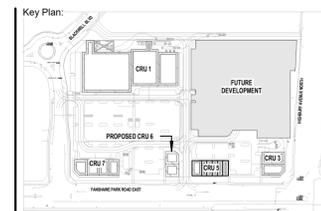
FL1 PRE-FINISHED METAL CAP FLASHING MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: BLACK TBC BY OWNER	EW4 EXTERIOR INSULATION FINISH MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: DARK GREY TBC BY OWNER	FW1 EXPOSED FOUNDATION WALL MANUFACTURER: N/A (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: N/A	CP1 STEEL C-CHANNEL CANOPY W/ TENSION RODS SIZE: REFER TO STR DWGS. COLOUR: BLACK TBC BY OWNER
EW1 STONE BLOCK MANUFACTURER: SHOULDICE OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: 190MM X 590 MM COLOUR: WHITE TBC BY OWNER	EIV5 EXTERIOR INSULATION C/W V-GROOVES MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: BROWN TBC BY OWNER	GL1 EXTERIOR WINDOW MANUFACTURER: KAWNEER OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: CLEAR TBC BY OWNER	CP2 MOMENT CONNECTED STEEL C-CHANNEL SIZE: REFER TO STR DWGS. COLOUR: BLACK TBC BY OWNER
EW2 STONE BLOCK MANUFACTURER: SHOULDICE OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: 190MM X 590 MM COLOUR: DARK GREY TBC BY OWNER	EW6 EXTERIOR INSULATION C/W V-GROOVES MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: LIGHT GREY TBC BY OWNER	SP1 SPANDREL PANEL MANUFACTURER: KAWNEER OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: TO MATCH GL-1 TBC BY OWNER	MD1 INSULATED METAL DOOR SIZE: REFER TO SHEET A-0.0 COLOUR: BLACK TBC BY OWNER
EW3 EXTERIOR INSULATION FINISH MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: WHITE TBC BY OWNER	PS1 PRE-CAST SOTNE SILL MANUFACTURER: SHOULDICE OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: GREY TBC BY OWNER	AC1 ALUMINUM CLADDING PANEL SIZE: REFER TO ELEVATION AND STR. DWGS. COLOUR: BLACK TBC BY OWNER	LF1 EXTERIOR WALL MOUNTED LIGHTING FIXTURE SIZE: REFER TO PHOTO METRIC DWGS. AND ELEC DWGS. FOR INFO

- NOTE:**
- GC TO PROVIDE SAMPLES OF ALL FINISHES FOR OWNER/ARCHITECT APPROVAL
  - SHOP DWGS. TO BE PROVIDED FOR APPROVAL FOR ALL LIGHT FIXTURES. REFER TO ELEC. DWGS. FOR ALL WALL MOUNTED UTILITY/SECURITY LIGHTING & CAMERAS (IF REQUIRED).
  - MASONRY CONTROL JOINTS (CJ) TO BE PLACED AS SHOWN. CAULKING COLOURS TO MATCH MASONRY UNIT MORTAR COLOUR.
  - CAULKING AT ALL WINDOWS TO MATCH WINDOW FRAMES.
  - ALL SILLS TO COME WITH DRIP EDGE.
  - TBC - TO BE CONFIRMED

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Seal: North Arrow

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2	Apr 03, 2024	ISSUED FOR TENDER
1	Jan 29, 2024	60% ISSUED FOR CLIENT REVIEW

**ISSUES/REVISION TABLE**

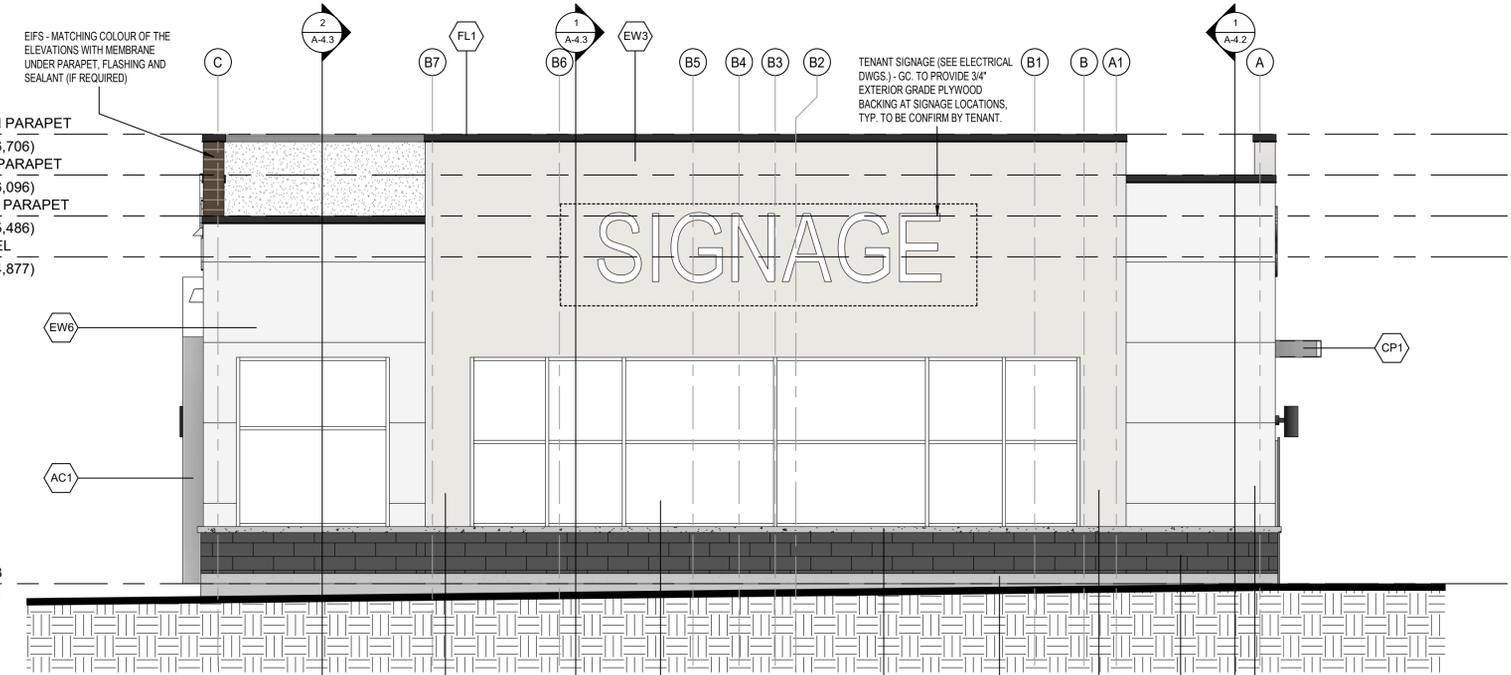
Project:  
**Westdell** DEVELOPMENT CORP  
 1300 FANSHAWE PARK RD.  
 EAST. - CRU #6  
 1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:

**ELEVATIONS II**

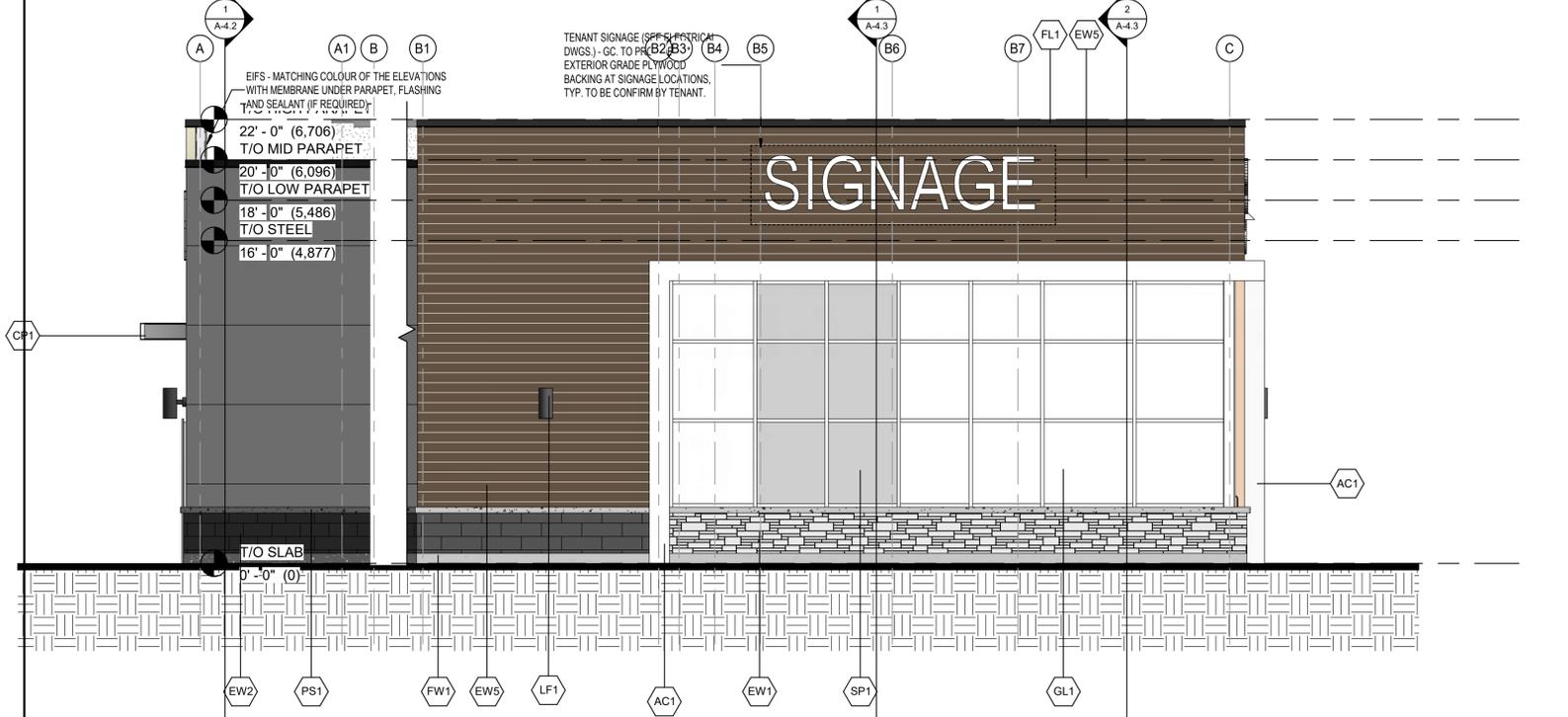
Drawn By: D.H. Scale: AS INDICATED  
 Checked By: K.N. Plot Date: APR 02, 2024  
 Project Date: JAN 2024  
 Project No: 2023-102  
 Drawing No: Revision

**A-3.2 2**



**SOUTH ELEVATION (FANSHAWE PARK ROAD)**

SCALE: 1 : 50



**NORTH ELEVATION**

SCALE: 1 : 50

**MATERIAL LEGEND**

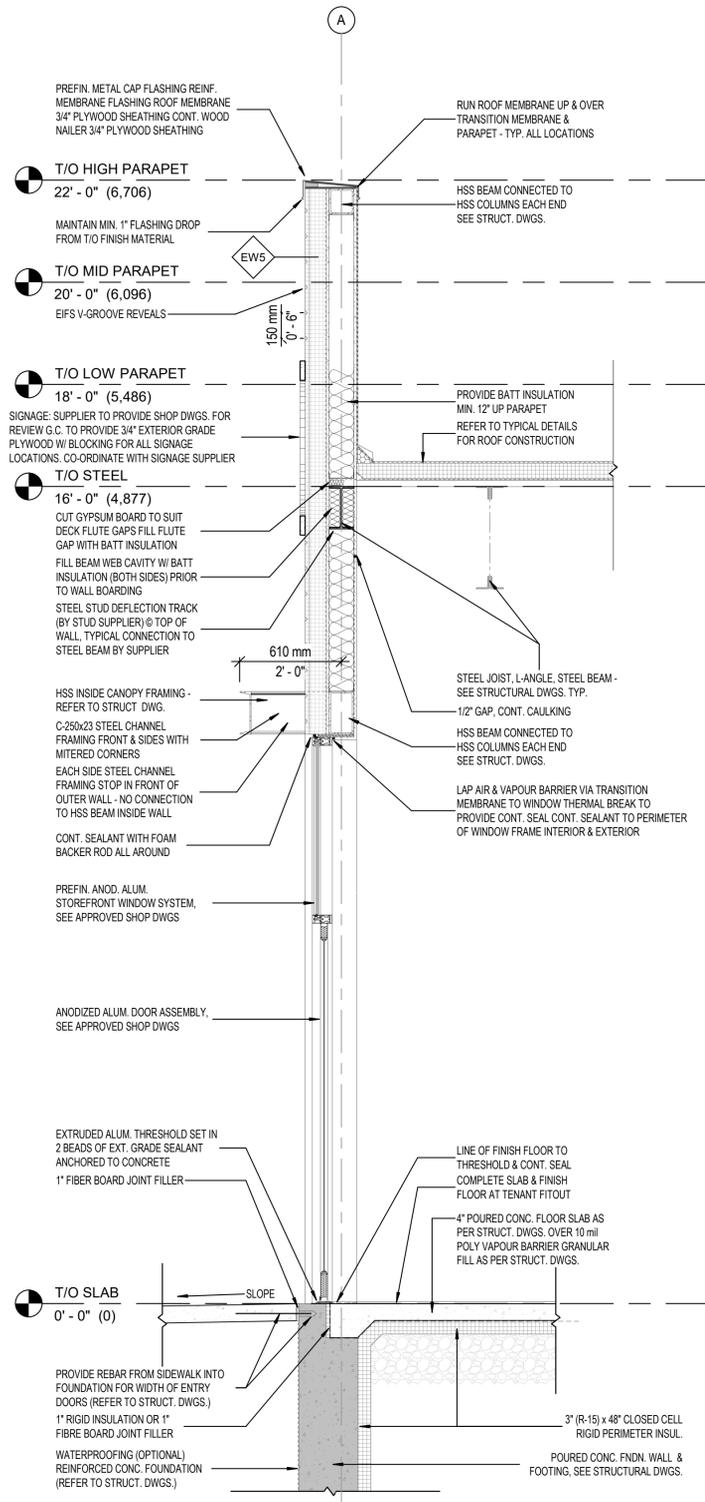
FL1 PRE-FINISHED METAL CAP FLASHING EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: BLACK TBC BY OWNER	EW4 EXTERIOR INSULATION FINISH MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: DARK GREY TBC BY OWNER	FW1 EXPOSED FOUNDATION WALL MANUFACTURER: N/A (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: N/A	CP1 STEEL C-CHANNEL CANOPY W/ TENSION RODS SIZE: REFER TO STR DWGS. COLOUR: BLACK TBC BY OWNER
EW1 STONE BLOCK MANUFACTURER: SHOULDICE OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: 190MM X 590 MM COLOUR: WHITE TBC BY OWNER	EW5 EXTERIOR INSULATION C/W V-GROOVES MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: BROWN TBC BY OWNER	GL1 EXTERIOR WINDOW MANUFACTURER: KAWNEER OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: CLEAR TBC BY OWNER	CP2 MOMENT CONNECTED STEEL C-CHANNEL SIZE: REFER TO STR DWGS. COLOUR: BLACK TBC BY OWNER
EW2 STONE BLOCK MANUFACTURER: SHOULDICE OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: 190MM X 590 MM COLOUR: DARK GREY TBC BY OWNER	EW6 EXTERIOR INSULATION C/W V-GROOVES MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: LIGHT GREY TBC BY OWNER	SP1 SPANDREL PANEL MANUFACTURER: KAWNEER OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: TO MATCH GL-1 TBC BY OWNER	MD1 INSULATED METAL DOOR SIZE: REFER TO SHEET A-0.0 COLOUR: BLACK TBC BY OWNER
EW3 EXTERIOR INSULATION FINISH MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: WHITE TBC BY OWNER	PS1 PRE-CAST SOTNE SILL MANUFACTURER: SHOULDICE OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: GREY TBC BY OWNER	AC1 ALUMINUM CLADDING PANEL SIZE: REFER TO ELEVATION AND STR. DWGS. COLOUR: BLACK TBC BY OWNER	LF1 EXTERIOR WALL MOUNTED LIGHTING FIXTURE SIZE: REFER TO PHOTO METRIC DWGS. AND ELEC DWGS. FOR INFO

- NOTE:**
- GC TO PROVIDE SAMPLES OF ALL FINISHES FOR OWNER/ARCHITECT APPROVAL
  - SHOP DWGS. TO BE PROVIDED FOR APPROVAL FOR ALL LIGHT FIXTURES. REFER TO ELEC. DWGS. FOR ALL WALL MOUNTED UTILITY/SECURITY LIGHTING & CAMERAS (IF REQUIRED).
  - MASONRY CONTROL JOINTS (CJ) TO BE PLACED AS SHOWN. CAULKING COLOURS TO MATCH MASONRY UNIT MORTAR COLOUR.
  - CAULKING AT ALL WINDOWS TO MATCH WINDOW FRAMES.
  - ALL SILLS TO COME WITH DRIP EDGE.
  - TBC - TO BE CONFIRMED

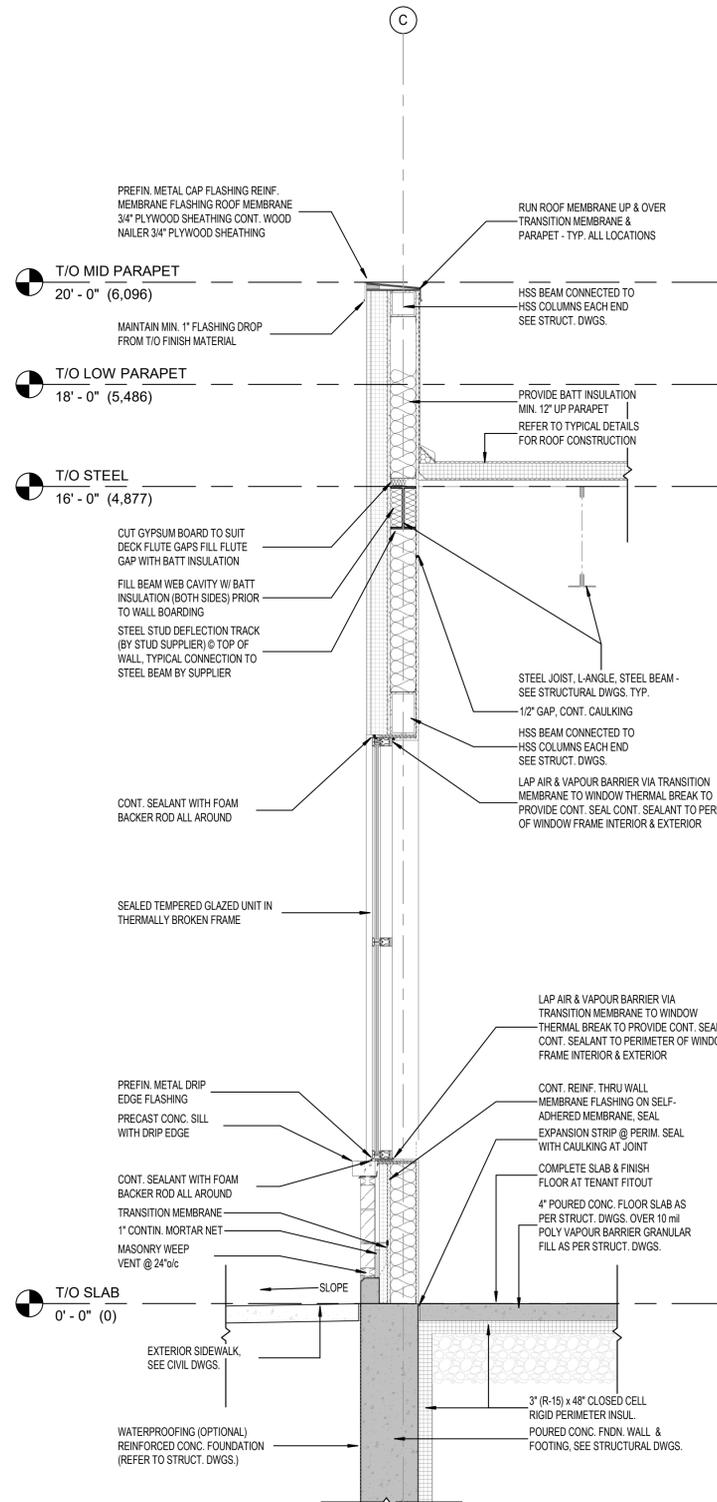
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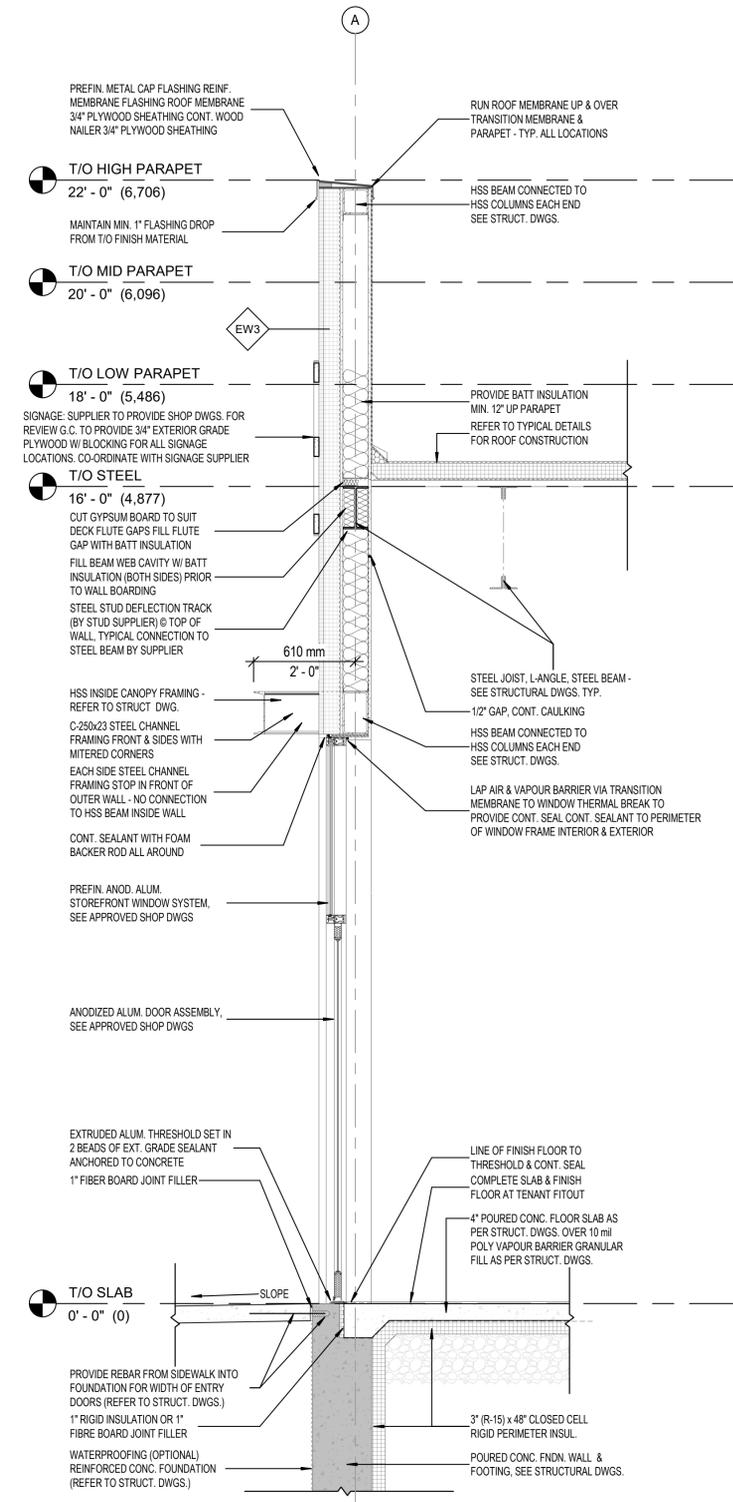
**NOTE:**  
 CREATIVE STRUCTURES IS NOT RESPONSIBLE FOR FUTURE CHANGES.  
 IF SIZES ARE NOT SPECIFIED REFER TO WALL ASSEMBLYS.



1 SECTION 1  
N.T.S.

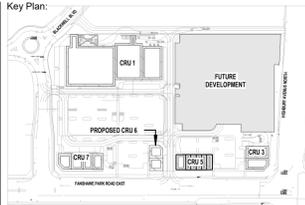


2 SECTION 2  
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3 SECTION 3  
N.T.S.

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Consultant:  
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Scale: North Arrow

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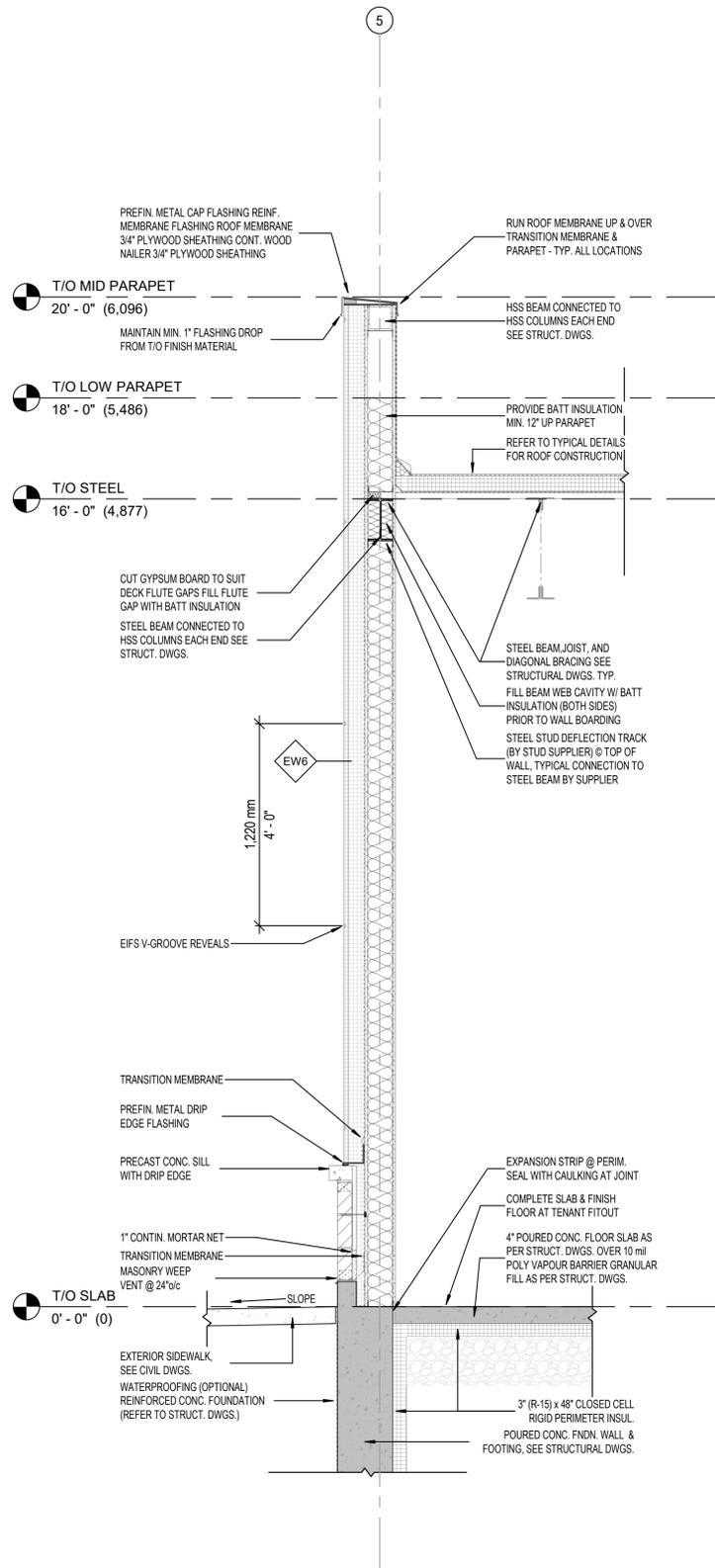
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**Westdell DEVELOPMENT CORP**  
1300 FANSHAWE PARK RD.  
EAST. - CRU #6  
1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:

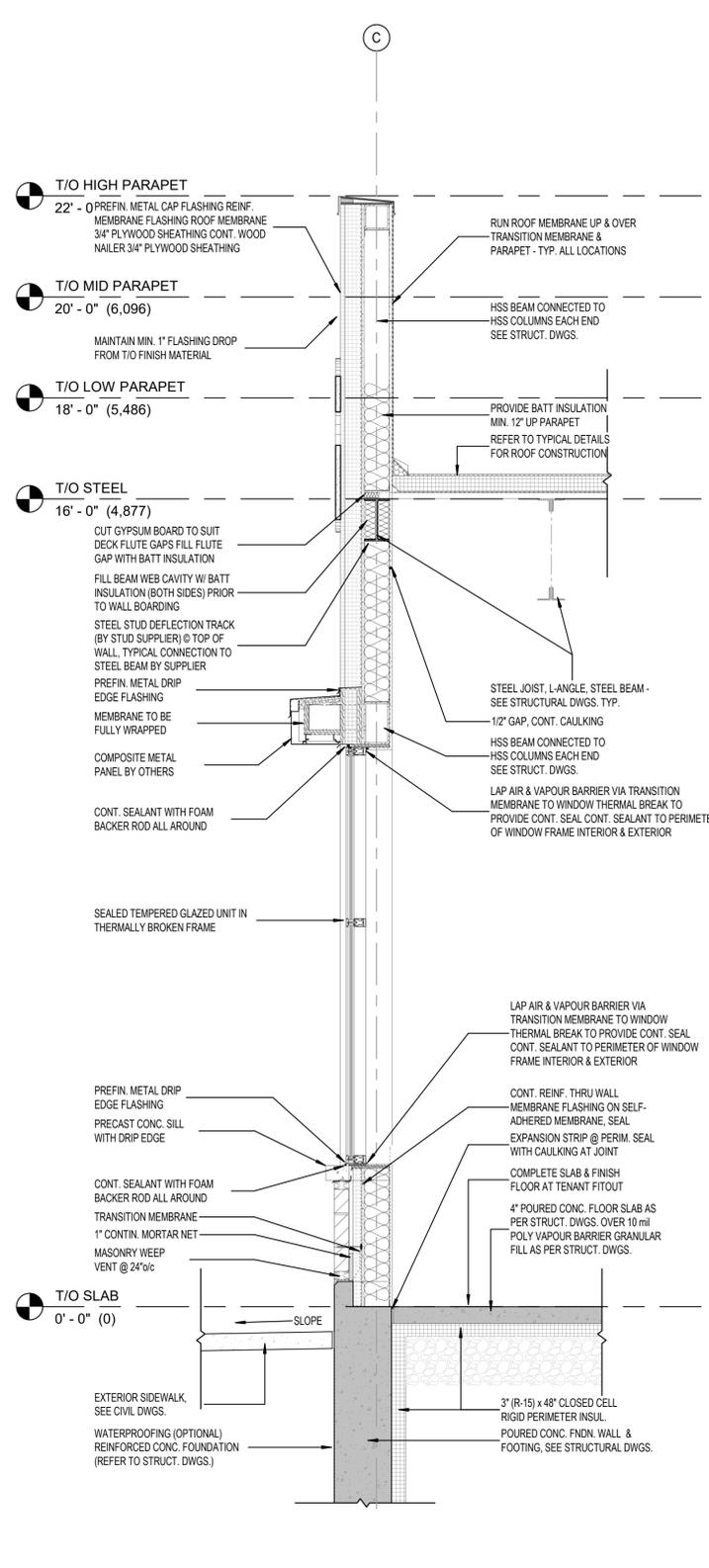
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Drawn By: D.H. Scale: AS INDICATED  
Checked By: K.N. Plot Date: APR 02, 2024  
Project Date: JAN 2024  
Project No: 2023-102  
Drawing No: Revision

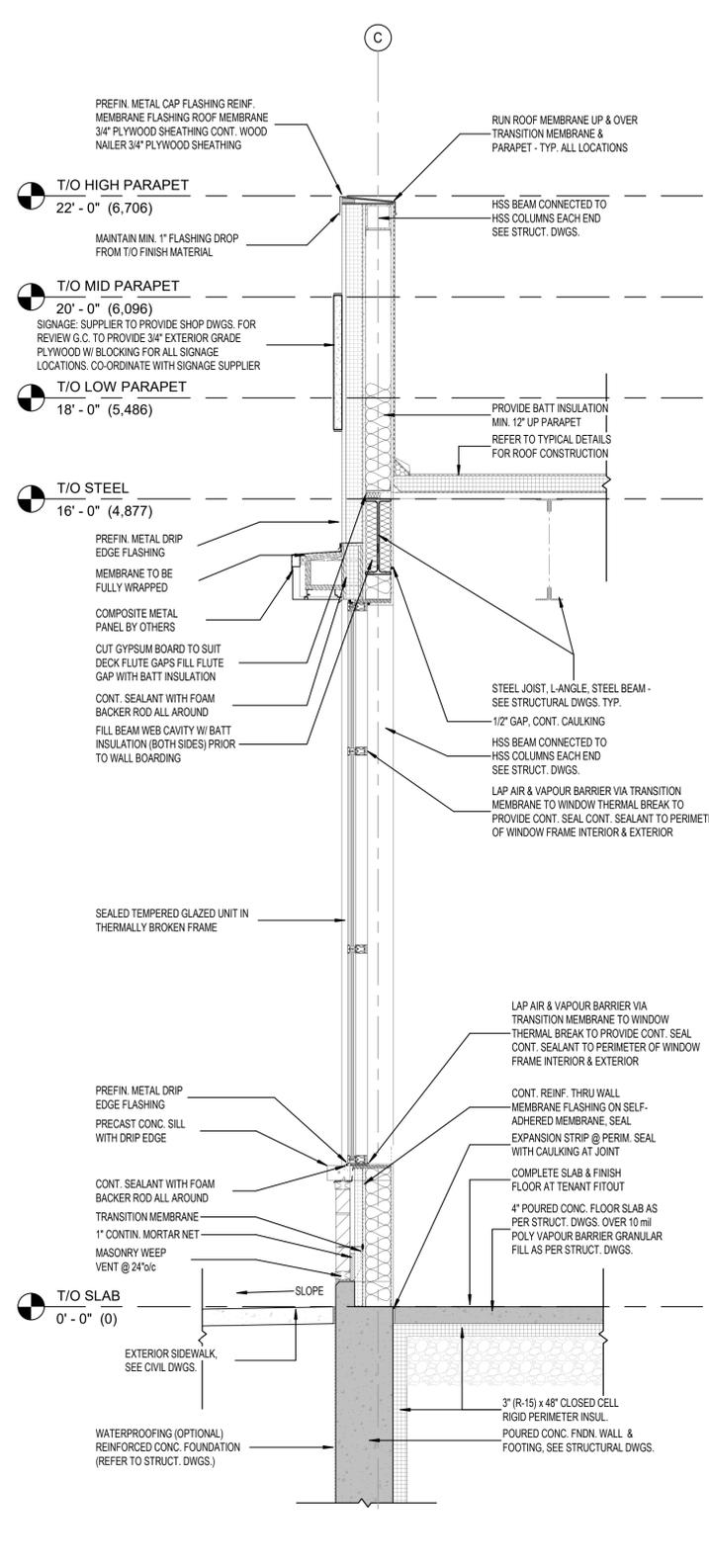
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1 SECTION 1  
N.T.S.



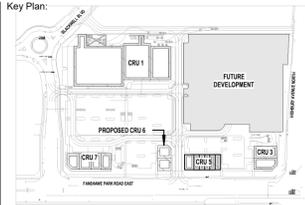
2 SECTION 2  
N.T.S.



3 SECTION 3  
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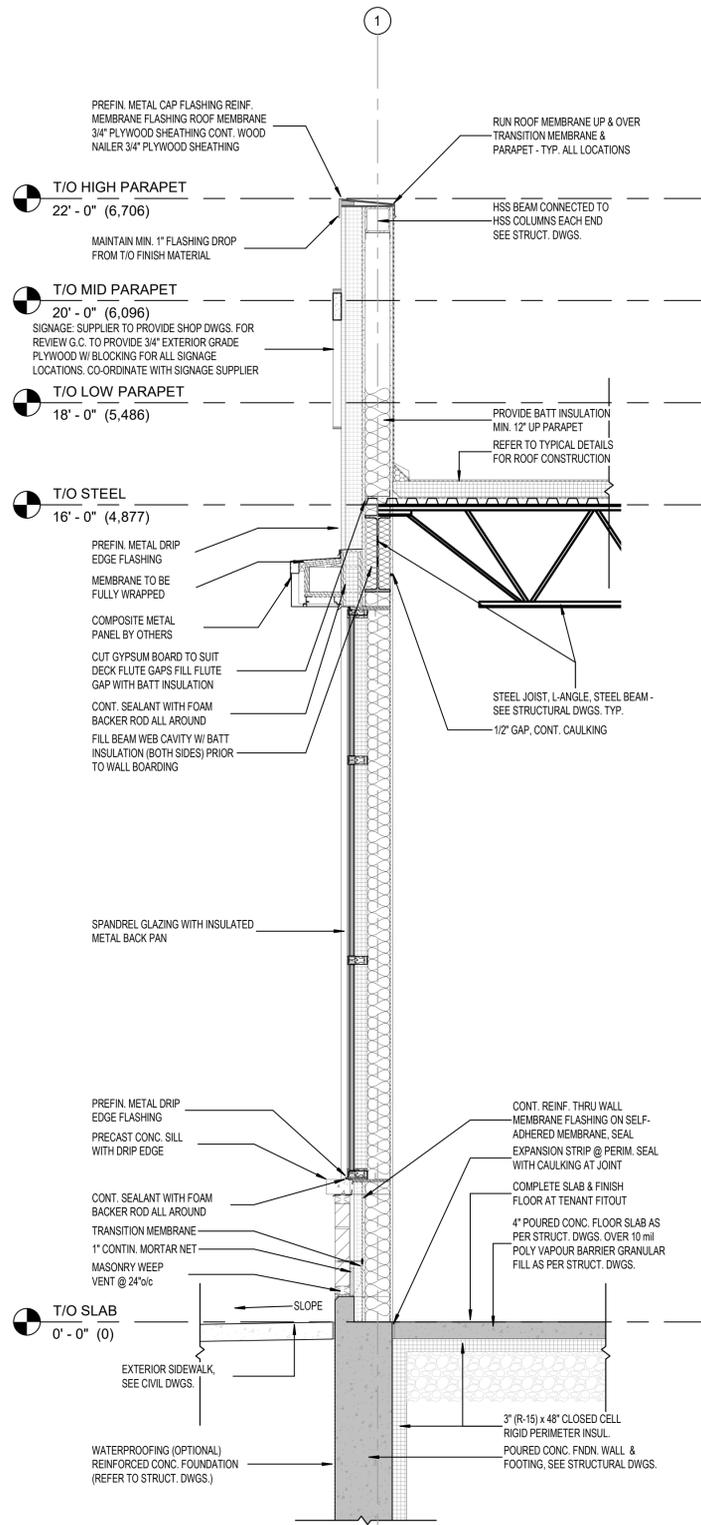
Project:  
**WESTDELL DEVELOPMENT CORP**  
1300 FANSHAWE PARK RD.  
EAST. - CRU #6  
1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:

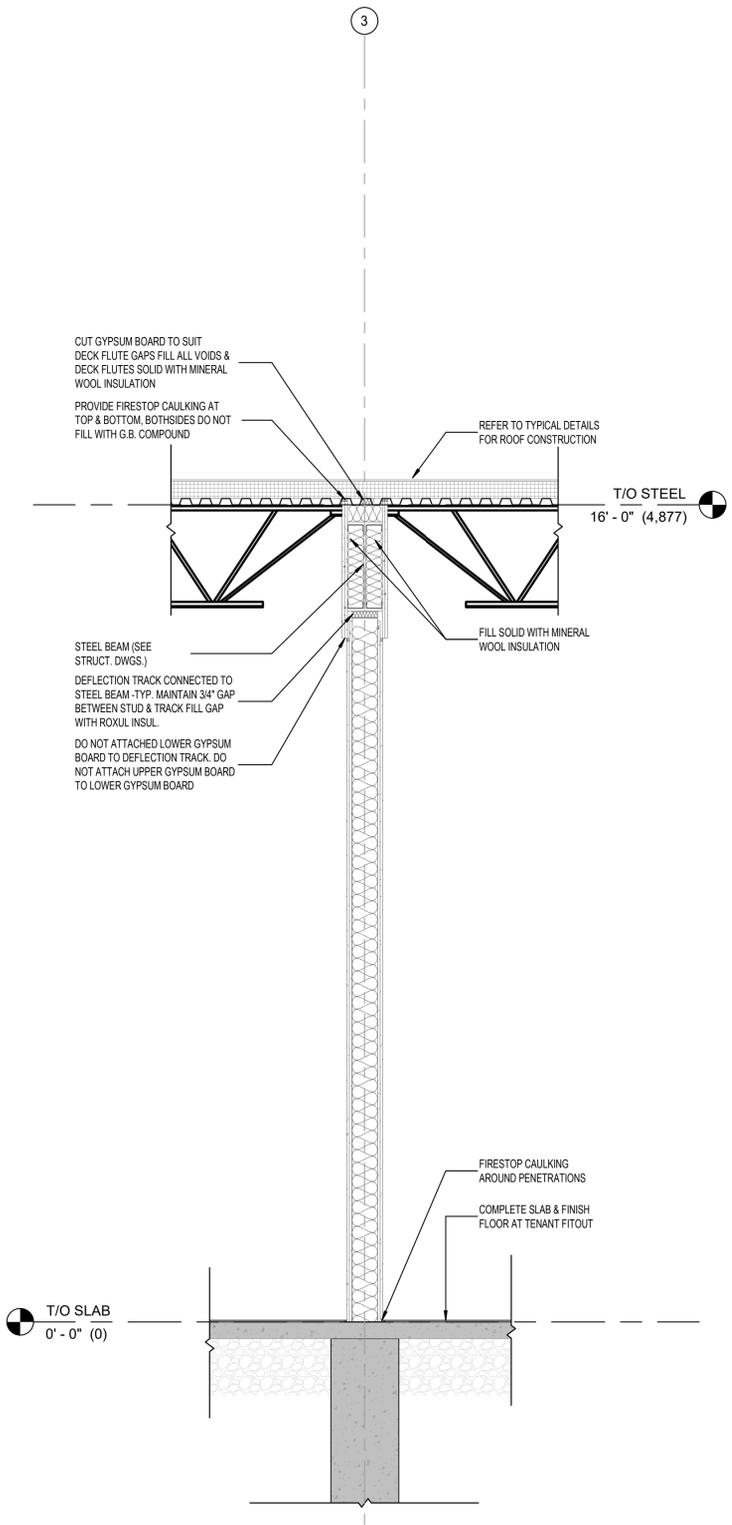
**WALL SECTION II**

Drawn By: D.H. Scale: AS INDICATED  
Checked By: K.N. Plot Date: APR 02, 2024  
Project Date: JAN 2024  
Project No: 2023-102  
Drawing No: Revision

**A-4.2 2**

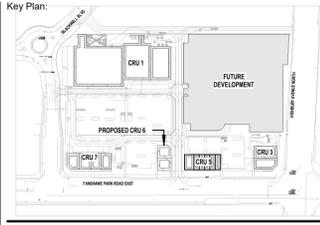


1 SECTION 7  
N.T.S.



2 SECTION 8  
N.T.S.

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Scale: North Arrow:

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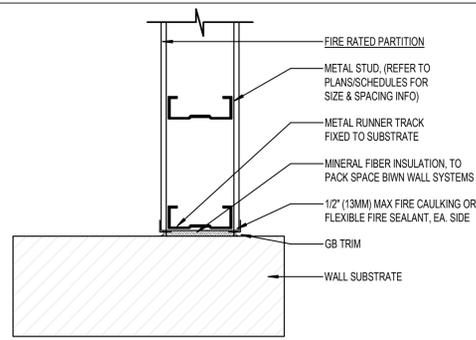
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 EAST. - CRU #6  
 1300 FANSHAWE PARK RD. EAST. LONDON, ON

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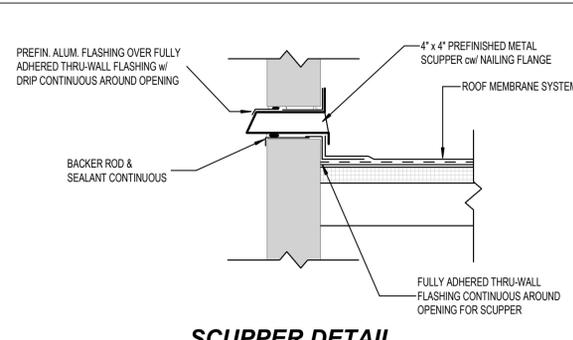
**WALL SECTION III**

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 Checked By: K.N. Plot Date: APR 02, 2024  
 Project Date: JAN 2024  
 Project No: 2023-102  
 Drawing No: Revision

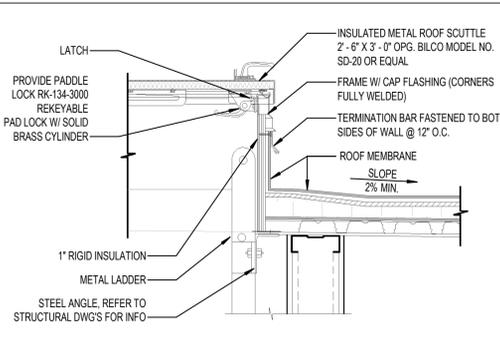
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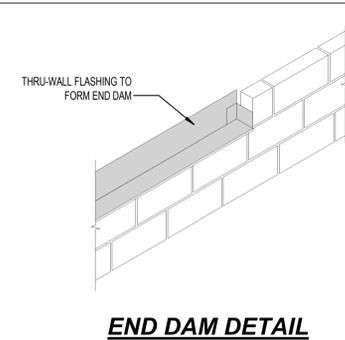
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SCALE= N.T.S.



**SCUPPER DETAIL**  
SCALE= N.T.S.



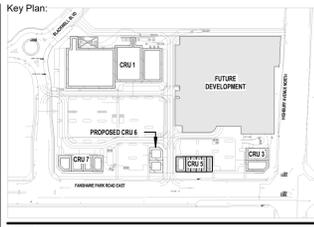
**ROOF ACCESS HATCH CURB DETAIL**  
SCALE= N.T.S.



**END DAM DETAIL**  
SCALE= N.T.S.

- NOTE:**
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  3. REFER TO ELEVATIONS FOR COLOR, MANUFACTURER AND WARRANTY.
  4. REFER TO WALL ASSEMBLYS FOR THICKNESSES AND SIZES OF THE MATERIALS.

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North Arrow.

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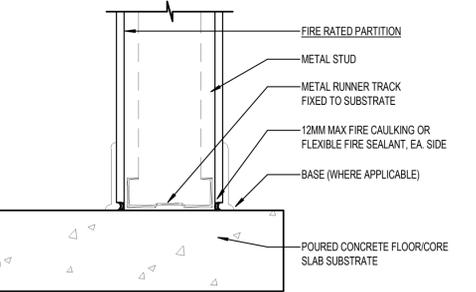
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ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION.

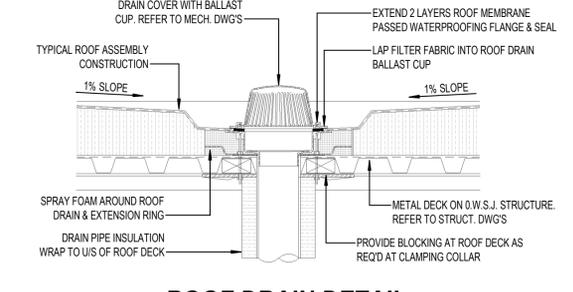
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNTIL IT HAS BEEN STAMPED BY CREATIVE STRUCTURES LTD. OR NGACAKU ARCHITECTURE INC. (N/A) AND A BUILDING PERMIT HAS BEEN ISSUED AND MARKED 'ISSUED FOR CONSTRUCTION'. THE DRAWINGS SHALL NOT BE USED FOR PRICING, COSTING, OR TENDER UNLESS INDICATED IN THE REVISION COLUMN AND THESE DRAWINGS ARE NOT COMPLETE AND ANY PRICES BASED ON THESE DRAWINGS MUST INCLUDE ALLOWANCES FOR THIS WITH NO LIABILITY ON CREATIVE STRUCTURES LTD AND NGACAKU ARCHITECTURE INC.

CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE. CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.

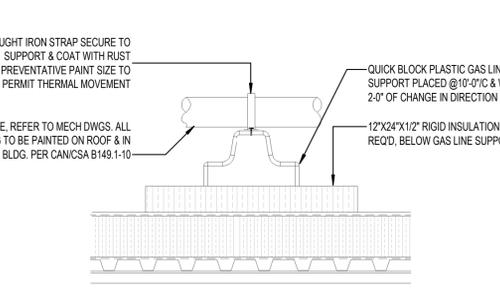
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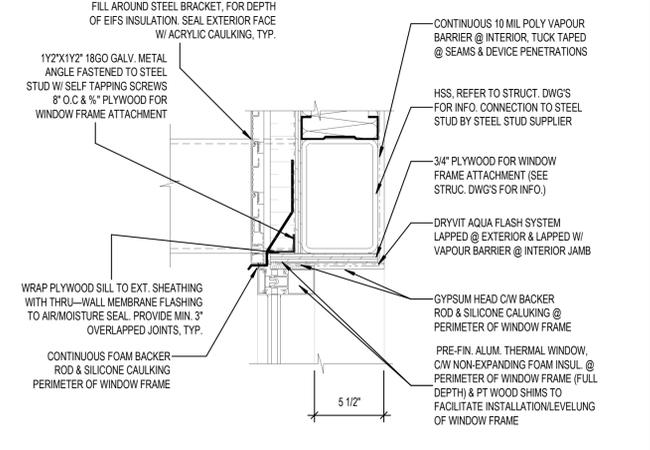
**FIRE SEPARATION TERMINATION @ WALL BASE**  
SCALE= N.T.S.



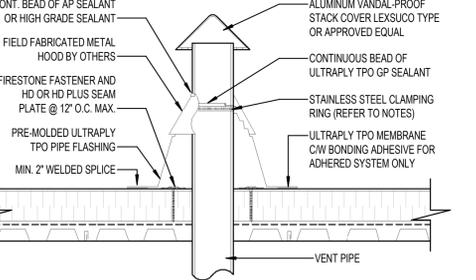
**ROOF DRAIN DETAIL**  
SCALE= N.T.S.



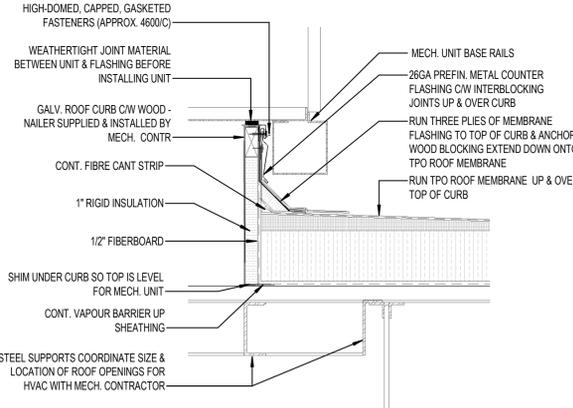
**GAS PIPE ROOF SUPPORT DETAIL**  
SCALE= N.T.S.



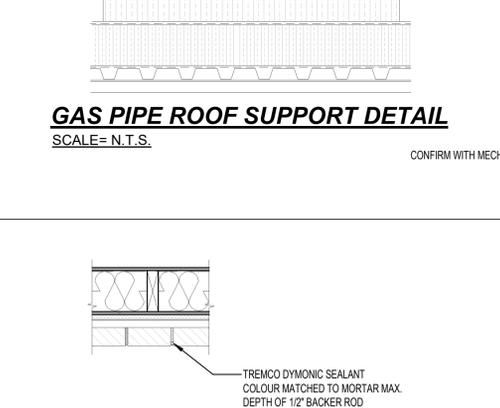
**WINDOW HEAD FLASHING DETAIL**  
SCALE= N.T.S.



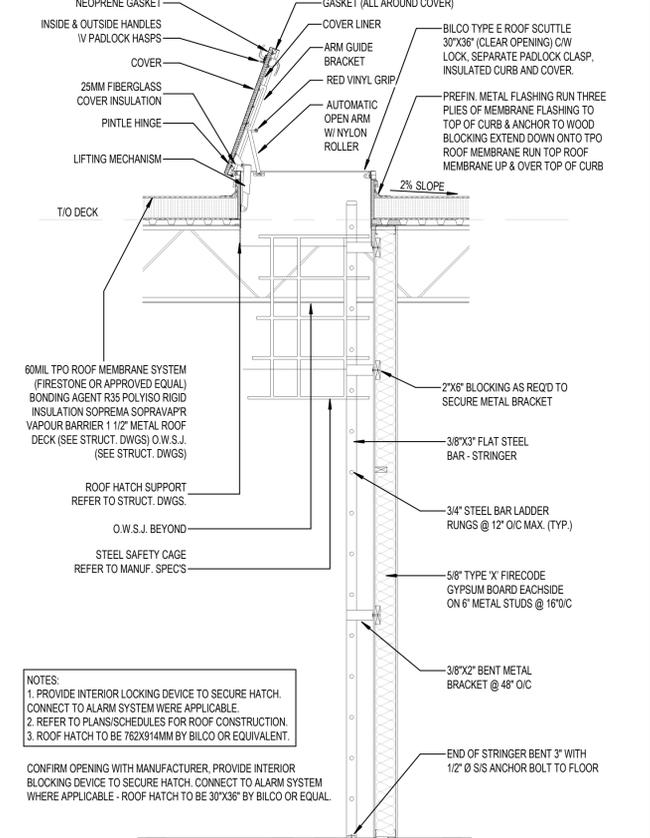
**VENT PIPE DETAIL**  
SCALE= N.T.S.



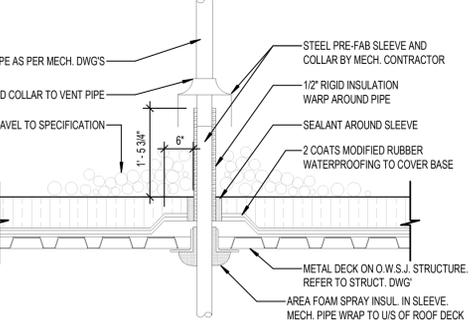
**HVAC ROOF CURB DETAIL**  
SCALE= N.T.S.



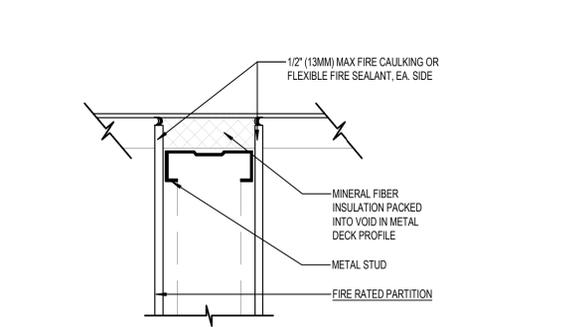
**CONTROL JOINT (CJ)**  
SCALE= N.T.S.



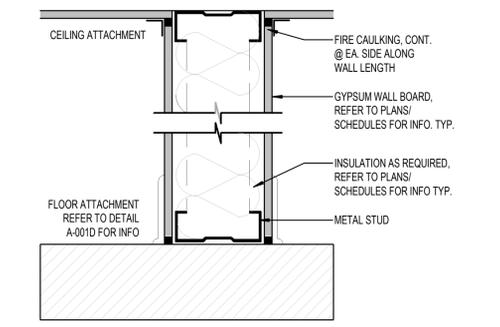
**SECTION AT ACCESS HATCH**  
SCALE= N.T.S.



**VENT STACK DETAIL**  
SCALE= N.T.S.



**FIRE SEPARATION TERMINATION @ WALL BASE**  
SCALE= N.T.S.



**FIRE RESISTANT ASSEMBLYS PARTITION SECTION**  
SCALE= N.T.S.

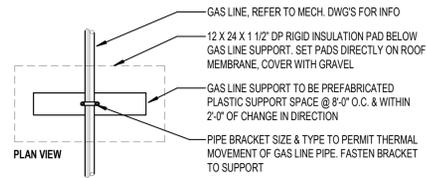
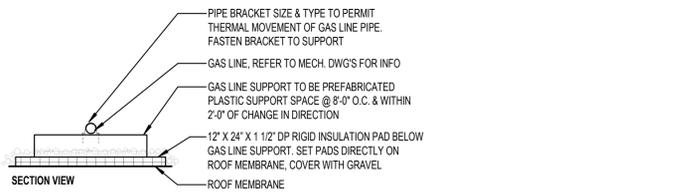
No.	Date	Revision
2	Apr 03, 2024	ISSUED FOR TENDER
1	Jan 29, 2024	60% ISSUED FOR CLIENT REVIEW

**ISSUES/REVISION TABLE**

Project: **Westdell** DEVELOPMENT CORP  
1300 FANSHAWE PARK RD. EAST. - CRU #6  
1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title: **TYPICAL DETAILS I**

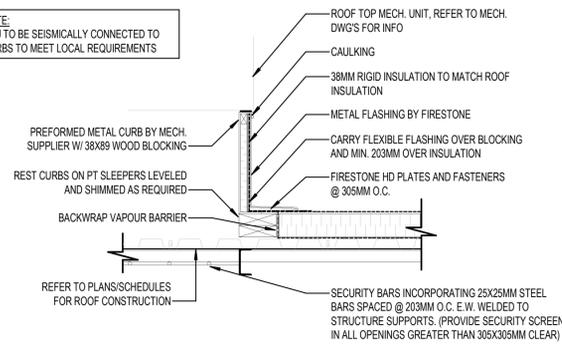
Drawn By: D.H. Scale: AS INDICATED  
Checked By: K.N. Plot Date: APR 02, 2024  
Project Date: JAN 2024  
Project No: 2023-102  
Drawing No: Revision



**GAS PIPE ROOF SUPPORT DETAIL**

SCALE= N.T.S.

NOTE:  
RTU TO BE SEISMICALLY CONNECTED TO CURBS TO MEET LOCAL REQUIREMENTS

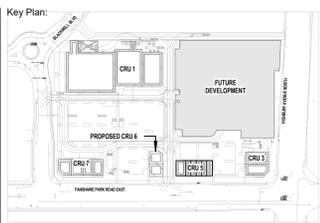


**MECH. UNIT ROOF CURB DETAIL**

SCALE= N.T.S.

**NOTE:**

1. DETAILS, CONNECTIONS, AND DETAILED SHAPES PROVIDED ARE SCHEMATIC ONLY.
2. ALL ELEVATION DECORATION (INCLUDING BUT NOT LIMITED) SIGNAGE, CANOPY DETAILS CONNECTIONS, AND OTHERS ARE DESIGNED BY OTHERS - PROVIDE STAMPED SHOP DRAWINGS PRIOR TENDERING, FABRICATION, AND CONSTRUCTION.
3. REFER TO ELEVATIONS FOR COLOR, MANUFACTURER AND WARRANTY.
4. REFER TO WALL ASSEMBLYS FOR THICKNES AND SIZES OF THE MATERIALS.



Consultant:



CS@CREATIVESTR.CA

Consultant:



Seal: North Arrow:

**General Notes:**

IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (NAI) PRIOR TO COMMENCING ANY WORK.

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CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.

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2	Apr 03, 2024	ISSUED FOR TENDER
1	Jan 29, 2024	60% ISSUED FOR CLIENT REVIEW
No.	Date	Revision

**ISSUES/REVISION TABLE**

Project:

**WESTDELL**  
DEVELOPMENT CORP  
1300 FANSHAWE PARK RD.  
EAST. - CRU #6  
1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:

**TYPICAL DETAILS II**

Drawn By: D.H. Scale: AS INDICATED

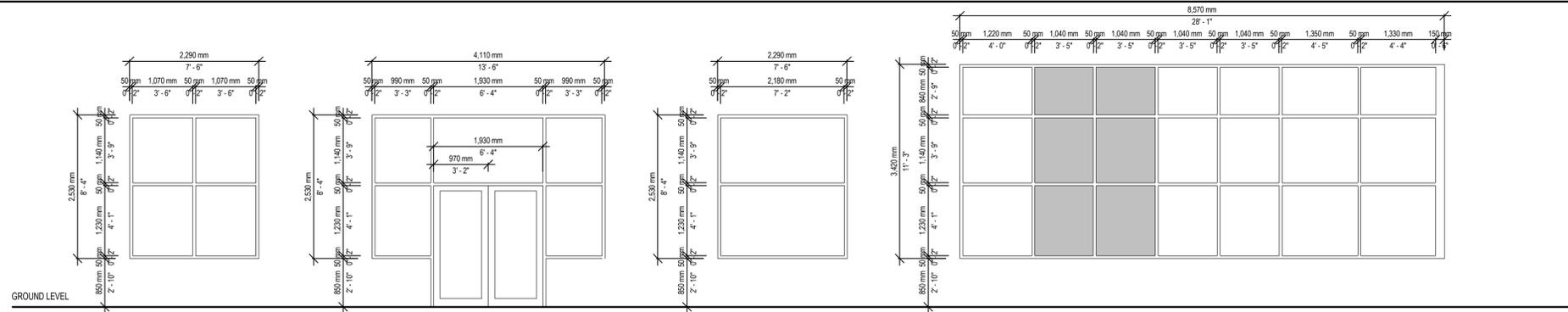
Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: Revision

**A-5.2** | **2**

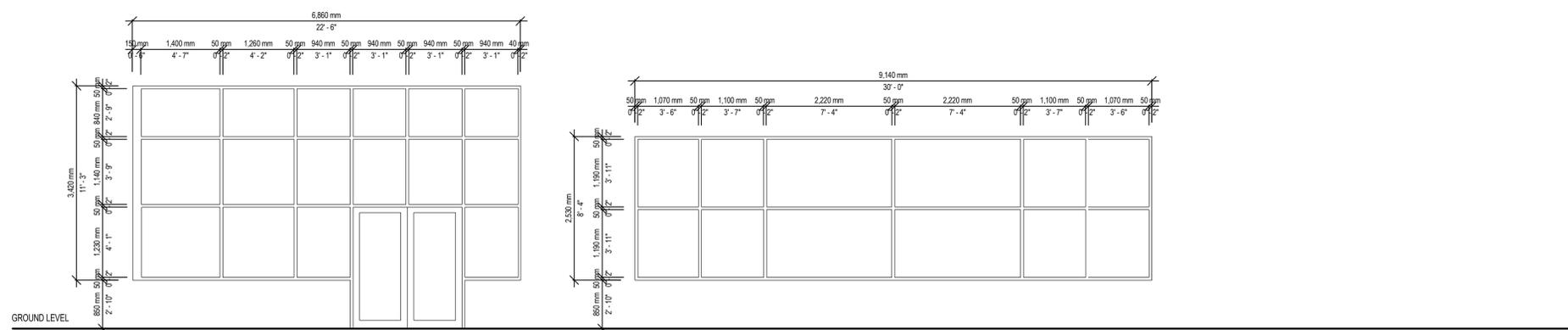


**W1** CLEAR, LOW E THERMOPANE GLAZING WITH ANODIZED ALUM. FRAMES KAWNEER 451T OR APPROVED EQUAL

**W2** CLEAR, LOW E THERMOPANE GLAZING WITH ANODIZED ALUM. FRAMES KAWNEER 451T OR APPROVED EQUAL

**W3** CLEAR, LOW E THERMOPANE GLAZING WITH ANODIZED ALUM. FRAMES KAWNEER 451T OR APPROVED EQUAL

**W4** CLEAR, LOW E THERMOPANE GLAZING AND SPANDREL GLAZING WITH INSULATED METAL BACK PAN IN CLEAR ANODIZED WITH ANODIZED ALUM. FRAMES KAWNEER 451T OR APPROVED EQUAL



**W5** CLEAR, LOW E THERMOPANE GLAZING WITH ANODIZED ALUM. FRAMES KAWNEER 451T OR APPROVED EQUAL

**W6** CLEAR, LOW E THERMOPANE GLAZING WITH ANODIZED ALUM. FRAMES KAWNEER 451T OR APPROVED EQUAL

**GENERAL WINDOW NOTES**

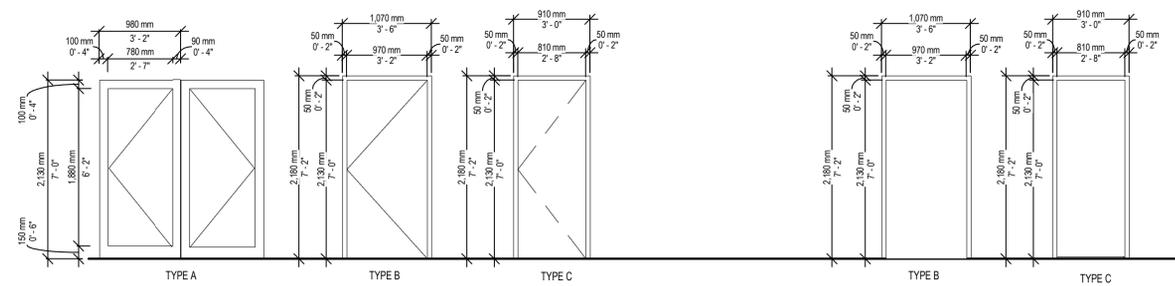
- WINDOW SUPPLIER SHALL SITE MEASURE ALL OPENINGS & REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO WINDOW FABRICATION.
- OPENINGS DIMENSIONED ON FLOOR PLANS, SECTIONS, DETAILS & WINDOW SCHEDULE ARE NOMINAL.
- WINDOW SUPPLIER SHALL PROVIDE PREFINISHED ALUMINUM CLOSURE TRIM TO SUIT OPENINGS AS REQUIRED. COLOUR OF TRIM TO MATCH COLOUR OF WINDOW FRAMES.
- PROVIDE CAULKING AROUND ALUMINUM WINDOW FRAMES INSIDE & OUT. CAULKING COLOUR TO MATCH COLOUR OF FRAMES.
- LOW E GLAZING TO MEET ALL REQUIREMENTS FOR ENERGY EFFICIENCY OF SB-10, ASHRAE 9.01.
- WINDOW FRAME FINISH & GLASS TINT TO BE CONFIRMED BY OWNER PRIOR TO ORDERING.

SUBMIT SHOP DRAWINGS AS REQUIRED BY THIS WORK. THE CONSULTANTS OR BY AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR SHALL CHECK, SIGN AND MAKE NOTATIONS HE CONSIDERS NECESSARY ON SHOP DRAWINGS BEFORE EACH SUBMISSION TO CONSULTANTS. SHOP DRAWING REVIEW BY CONSULTANTS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT AND IS A PRECAUTION AGAINST OVERSIGHT OR ERROR. THIS REVIEW SHALL NOT MEAN THAT THE CONSULTANT APPROVES THE DETAIL DESIGN INHERENT IN THE SHOP DRAWINGS, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS, OMISSIONS OR MEETING ALL THE REQUIREMENTS OF THIS CONTRACT.

GL: DENOTES GLAZING  
 SP: DENOTES GLASS SPANDREL  
 AC: DENOTES PREFIN. ALUM. CLOSURE FINISH TO MATCH WINDOW FRAME.

**DOOR TYPE**

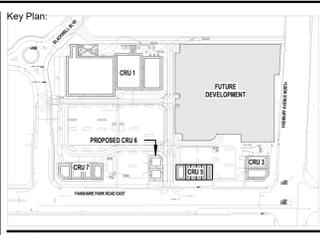
**FRAME TYPE**



DOOR SCHEDULE												
No.	LOCATION	TYPE	DOOR				FRAME				REMARKS	
			DOOR SIZES	MATERIAL	FINISH	FIRE RATING	GLAZING	TYPE	MATERIAL	FINISH		FIRE RATING
D01-1	MAIN ENTRANCE	A	2 - 3'-2" x 7'-0" x 1 3/4"	ALUM	ANOD	-	SDG/TEMP	W5	ALUM	ANOD	-	
D01-2	RECEIVING	B	2 - 3'-2" x 7'-0" x 1 3/4"	ALUM	ANOD	-	SDG/TEMP	W2	ALUM	ANOD	-	
D02-1	MAIN ENTRANCE	A	2 - 3'-2" x 7'-0" x 1 3/4"	ALUM	ANOD	-	SDG/TEMP	W2	ALUM	ANOD	-	
D02-2	RECEIVING	B	2 - 3'-2" x 7'-0" x 1 3/4"	ALUM	ANOD	-	SDG/TEMP	W2	ALUM	ANOD	-	
D03-1	UTILITY ROOM	C	3'-0" x 7'-0" x 1 3/4"	H.M.	PRIME/PAINT	-	-	C	H.M.	PRIME/PAINT	-	

**GENERAL DOOR NOTES**

- DOOR & FRAME SUPPLIER (HOLLOW METAL & ALUMINUM) SHALL PROVIDE ALL REQUIRED CLOSURE TRIM FOR ALL EXTERIOR FRAMES TO SUIT CORRESPONDING OPENINGS.
- PROVIDE WEATHERSTRIPPING TO ALL EXTERIOR & FIRE RATED DOORS.
- EXTERIOR HOLLOW METAL DOORS & FRAMES TO BE 18g AND HAVE G90 GALVANIZED FINISH OR APPROVED EQUAL.
- PROVIDE CAULKING AROUND ALL EXTERIOR HOLLOW METAL & ALUMINUM DOOR FRAMES INSIDE & OUT. CAULKING COLOUR TO MATCH COLOUR OF FRAMES.
- ALL COLOURS TO BE CHOSEN BY OWNER.
- ALUMINUM DOOR SUPPLIER SHALL PROVIDE REQUIRED HARDWARE AS LISTED ON THE DOOR SCHEDULE FOR ALUMINUM DOORS.
- EXTERIOR AND INTERIOR DOOR SUPPLIERS SHALL SITE MEASURE AND CONFIRM OPENINGS PRIOR TO FABRICATION AND INSTALLATION. CONTRACTOR MUST CONFIRM ALL DOOR TYPES, MATERIAL & FINISHES WITH OWNER PRIOR TO CONSTRUCTION.
- GLASS IN ALL DOORS SHALL BE 1/4" CLEAR TEMPERED OR LAMINATED SAFETY GLASS.
- ALL HARDWARE TO BE MEDIUM DOTY, COMMERCIAL GRADE.
- DOOR CLOSER TO BE MOUNTED ON DOOR FRAME.
- PROVIDE 3 KEYS PER LOCKSET.
- BARRIER FREE DOOR ACCESS PADDLES MOUNTED ON WINDOW OR DOORS MULLIONS ARE TO BE REMOTELY CONNECTED TO DOOR OPERATOR BIF DOOR PADDLE MOUNTED ON INTERIOR WALL TO BE FLUSH MOUNTED IN WALL & HARDWIRED TO DOOR OPERATOR.
- ALL HARDWARE TO BE SUPPLIED WITH ALL REQUIRED ACCESSORIES.

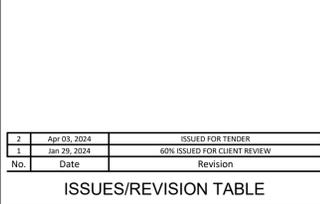


Seal: North Arrow.

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No.	Date	Revision
2	Apr 03, 2024	ISSUED FOR TENDER
1	Jan 29, 2024	60% ISSUED FOR CLIENT REVIEW

**ISSUES/REVISION TABLE**



1300 FANSHAWE PARK RD.  
 EAST. - CRU #6  
 1300 FANSHAWE PARK RD. EAST. LONDON, ON

**DOOR & WINDOW SCHEDULE**

Drawn By: D.H. Scale: AS INDICATED  
 Checked By: K.N. Plot Date: APR 02, 2024  
 Project Date: JAN 2024  
 Project No: 2023-102  
 Drawing No: A-6.0 Revision: 2