1300 FANSHAWE PARK ROAD. EAST. -**CRU #5**

ARCHITECTURAL DRAWINGS

PROJECT #2023-102

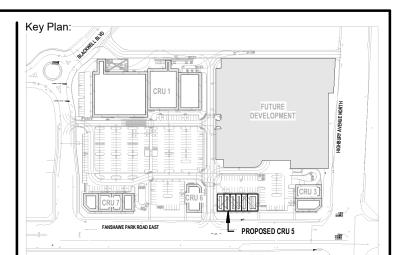
1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.



3D PERSPECTIVE VIEW

SCALE = N.T.S.

SCHEMATIC ONLY - NOT FOR CONSTRUCTION







IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND

CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (N'AI) AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT

CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.

CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WITH THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD. EAST. - CRU #5

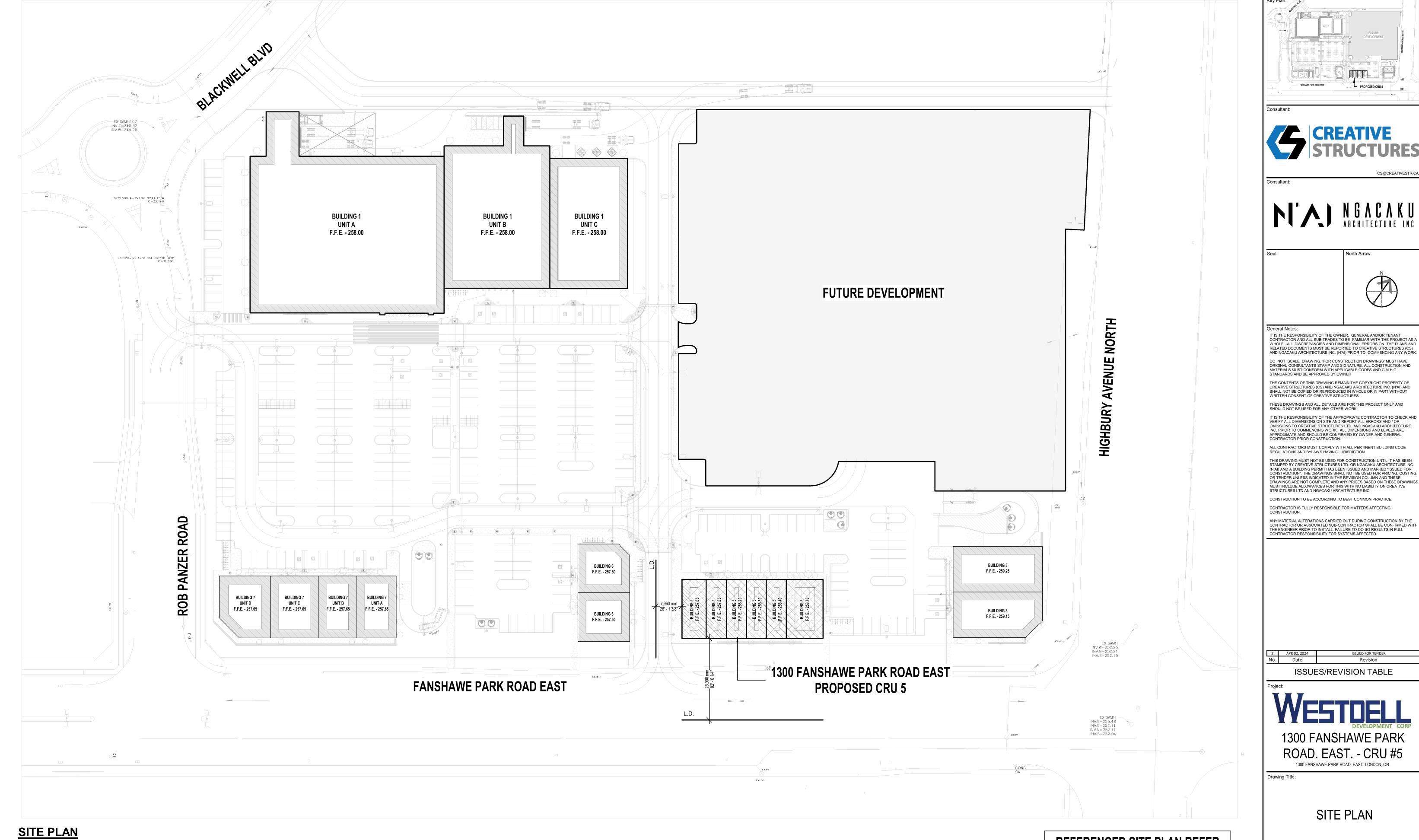
1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

COVER SHEET

Scale: AS INDICATED Drawn By: D.H. Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

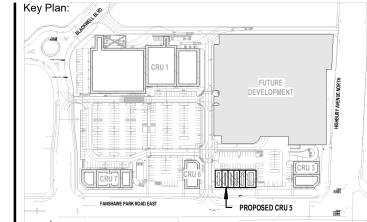


SCALE: 1:500

REFERENCES - SITE PLAN INFORMATION

SITE PLAN INFORMATION TAKEN FROM SITE PLAN,

LEGEND, ZNONING CHART ISSUED ON NOV 02, 2023 • SITE PLAN PREPARED BY SBM DATED FEBUARY 14, 2024 REFERENCED SITE PLAN REFER TO SITE PLAN BY OTHERS FOR **INFORMATION REVIEW**



Consultant:





CS@CREATIVESTR.CA

IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (N'AI) PRIOR TO COMMENCING ANY WORK. DO NOT SCALE DRAWING. 'FOR CONSTRUCTION DRAWINGS' MUST HAVE ORIGINAL CONSULTANTS STAMP AND SIGNATURE. ALL CONSTRUCTION AND MATERIALS MUST CONFORM WITH APPLICABLE CODES AND C.M.H.C. STANDARDS AND BE APPROVED BY OWNER

THE CONTENTS OF THIS DRAWING REMAIN THE COPYRIGHT PROPERTY OF CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (N'AI) AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF CREATIVE STRUCTURES.

THESE DRAWINGS AND ALL DETAILS ARE FOR THIS PROJECT ONLY AND SHOULD NOT BE USED FOR ANY OTHER WORK.

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO CREATIVE STRUCTURES LTD. AND NGACAKU ARCHITECTURE INC. PRIOR TO COMMENCING WORK. ALL DIMENSIONS AND CIVILED AND COMMENCING WORK. APPROXIMATE AND SHOULD BE CONFIRMED BY OWNER AND GENERAL CONTRACTOR PRIOR CONSTRUCTION.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNTIL IT HAS BEEN STAMPED BY CREATIVE STRUCTURES LTD. OR NGACAKU ARCHITECTURE INC. (N'AI) AND A BUILDING PERMIT HAS BEEN ISSUED AND MARKED "ISSUED FOR CONSTRUCTION". THE DRAWINGS SHALL NOT BE USED FOR PRICING, COSTING, OR TENDER UNLESS INDICATED IN THE REVISION COLUMN AND THESE

STRUCTURES LTD AND NGACAKU ARCHITECTURE INC. CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.

CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WITH THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD. EAST. - CRU #5 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

SITE PLAN

	Orawn By:	D.H.	Scale: AS INDICAT	ΕΙ
(Checked By:	K.N.	Plot Date: APR 02, 202	24

Project Date: JAN 2024 Project No: 2023-102

ARCHITECTURAL SPECIFICATIONS

GENERAL INSTRUCTIONS

- THE CONSTRUCTION MANAGER (CONTRACTOR) SHALL VISIT THE SITE TO VERIFY AND FAMILIARIZE HIMSELF WITH ALL EXISTING SITE CONDITIONS. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING SITE CONDITIONS TO CONSULTANT PRIOR TO BEGINNING WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR FROM EXTRA COSTS RESULTING FROM ADDITIONAL WORK.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF TOTALLY WITH ALL DRAWINGS, SPECIFICATIONS AND ADDENDUMS INDICATING THE SCOPE OF WORK OF ALL TRADES.
- SHOULD THE CONTRACTOR FAIL TO NOTIFY CONSULTANT ABOUT CONFLICTS BETWEEN THE DRAWINGS AND EXISTING SITE CONDITIONS, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, ALTER ANY COMPLETED WORK TO THE SATISFACTION OF THE
- ADDITIONAL CHARGES TO THE CONTRACT RESULTING FROM UNFORESEEN SITE CONDITIONS, CHANGES REQUIRED BY ANY AND ALL GOVERNING AUTHORITIES OR OTHER CHANGES REQUIRED SHALL BE SUBMITTED TO THE CONSULTANT PRIOR TO COMMENCEMENT OF WORK. CLAIMS FOR EXTRAS WITHOUT PRIOR APPROVAL WILL NOT BE ACCEPTED. ALL PERMITS PERTAINING TO THE WORK SHALL BE APPLIED AND PAID FOR BY THE CONTRACTOR OR HIS SUB-CONTRACTORS
- UNLESS NOTED OTHERWISE IN WRITING BY THE CONSULTANT. THE GENERAL CONTRACTOR SHALL PROVIDE A COPY OF THE PERMIT CERTIFICATE TO THE CONSULTANTS & POST ON SITE IN A CLEAR LEGIBLE MANNER.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS & RECOGNIZED INDUSTRY STANDARDS, MEANING GOOD QUALITY WORKMANSHIP ALL CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL LOCAL CODES AND AUTHORITIES HAVING
- JURISDICTION AND THE ONTARIO BUILDING CODE (OBC). ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE PRIOR TO COMMENCING ANY WORK. INFORM THE CONSULTANT IMMEDIATELY OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS. ALL DRAWINGS REMAIN THE PROPERTY OF THE OWNER
- CONTRACTOR SHALL MAINTAIN ONE SET OF APPROVED UNALTERED PERMIT DRAWINGS ON SITE. PROVIDE PROJECT CHANGES IN RED ON A SEPARATE AS-BUILT SET, MAINTAIN AS-BUILT SET ON SITE. PROVIDE COMPLETED SET TO
- ORDER OF DESIGN DOCUMENT HIERARCHY: SPECIFICATIONS, CONSTRUCTION ASSEMBLIES, LARGE TO SMALL SCALE

SCOPE OF WORK

THE CONTRACTOR SHALL SUPPLY ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS, INCLUDING ALL DRAWINGS, SPECIFICATIONS, SCHEDULES AND ISSUED ADDENDUMS. PROVIDE ALL NECESSARY COOPERATION, SCHEDULING, COORDINATION AND SUPERVISION TO SUB-CONTRACTORS WHO ARE INVOLVED IN THE WORK.

CONSTRUCTION DEBRIS

- ALL CONSTRUCTION DEBRIS SHALL BE CLEANED UP ON A DAILY BASIS AND REMOVED FROM SITE OR DISCARDED INTO DISPOSAL BINS PROVIDED BY THE CONTRACTOR TO THE SITE FOR REMOVAL OF DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, PAYING FOR AND REMOVING ALL GARBAGE/RECYCLING BINS FOR THE DURATION AND AT THE
- THE LOCATION OF ANY GARBAGE BINS REQUIRED FOR THE WORK OF THIS CONTRACT SHALL BE APPROVED BY THE OWNER PRIOR TO SETTING ON SITE.

PROTECTION AND MAKING GOOD

- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL WORK COMPLETED AND TO ADJACENT PUBLIC AND PRIVATE SPACES WHERE APPLICABLE FOR THE DURATION OF THE CONTRACT.
- DAMAGED WORK AND PROPERTIES SHALL BE MADE GOOD BY THE CONTRACTOR OR HIS SUB-TRADES AT THEIR OWN EXPENSE TO THE SATISFACTION OF THE CONSULTANT/OWNER.

SECURITY AND LOCK-UP

THE CONTRACTOR SHALL LOCK-UP JOB SITE AT THE END OF EACH WORKING DAY TO PROHIBIT ENTRY OF UNAUTHORIZED PERSONNEL & MAINTAIN PUBLIC SAFETY DURING OFF-HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ARTICLES AND EQUIPMENT BOTH INSTALLED AND ON SITE FOR THE DURATION OF THE CONTRACT AND UNTIL THE OWNER/SPONSOR TAKES OVER THE SPACE.

SHOP DRAWINGS AND SUBSTITUTIONS

- THE CONTRACTOR SHALL SUBMIT DIGITAL DOCUMENTS TO THE CONSULTANT FOR REVIEW PRIOR TO ANY PURCHASE / FABRICATION. ALL COSTS FROM SHOP DRAWINGS ARE TO BE BORNE BY THE CONTRACTOR. TRADES ARE REQUIRED TO SATISFY THE DESIGN DOCUMENTS THRU THEIR SHOP DRAWINGS AT THEIR COST.
- ALL WORK PERFORMED PRIOR TO RECEIPT OF REVIEWED SHOP DRAWINGS SHALL BE AT THE CONTRACTOR'S SOLE RISK AND RESPONSIBILITY. ANY REMEDIAL WORK REQUIRED TO BE PERFORMED TO WORK ALREADY COMPLETED WITHOUT PRIOR APPROVAL BY THE CONSULTANT SHALL BE DONE AT CONTRACTOR'S OWN EXPENSE.
- WHERE A SUBSTITUTION IS REQUESTED, THE CONTRACTOR SHALL SUBMIT AN ACTUAL SAMPLE OF ALTERNATE FINISH OR PRODUCT TO THE CONSULTANT, MANUFACTURER'S SPECIFICATIONS AND TEST RESULTS OF SUCH ALTERNATES MAY ALSO BE SUBMITTED FOR APPROVAL.

PRODUCT AVAILABILITY / PROJECT SCHEDULING:

THE CONTRACTOR SHALL VERIFY AVAILABILITY AND DELIVERY TIME FOR ALL PRODUCTS AND FINISHES AS SOON AS THE PROJECT HAS BEEN AWARDED. THE CONTRACTOR SHALL NOTIFY THE CONSULTANT IMMEDIATELY WHEN THE DELIVERY TIME ON A SPECIFIED PRODUCT OR FINISH THREATENS THE PROJECT COMPLETION.

EXISTING UTILITIES AND TEMPORARY SERVICES

- UTILITIES AND SERVICES OF RECORD ARE SHOWN ON THE DRAWINGS IN SO FAR AS IS POSSIBLE TO DO SO. HOWEVER, THEY ARE SHOWN FOR CONVENIENCE ONLY. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR IMPROPER LOCATIONS OR FAILURE TO SHOW UTILITY LOCATIONS ON THE DRAWINGS. CONFIRM ALL UTILITIES AND SERVICES ON SITE WITH SITE
- CONDITIONS & AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING AND ENGAGING ALL REQUIRED TEMPORARY SERVICES AS DEEMED NECESSARY TO PERFORM WORK (I.E. HYDRO, HEAT, TELEPHONE) AS REQUIRED BY AUTHORITIES. CO-ORDINATE WITH BUILDING OWNER.

FIRE PROTECTION AND INSURANCE

- THE CONTRACTOR SHALL PROVIDE APPROVED TYPE FIRE EXTINGUISHERS AND FIRE FIGHTING EQUIPMENT ON SITE IN OPEN VIEW FOR THE DURATION OF THE CONTRACT.
- TAKE ALL NECESSARY PRECAUTIONS TO ELIMINATE FIRE HAZARDS, REFER TO SECTION 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING LIABILITY INSURANCE FOR THE DURATION OF THE CONTRACT
- UNTIL THE OWNER TAKES POSSESSION OF THE SPACE AS PER STANDARD CONSTRUCTION DOCUMENT CCDC. 9.3.1. WORKMEN'S COMPENSATION AND EMPLOYER'S LIABILITY INSURANCE AS REQUIRED BY ANY EMPLOYEE BENEFIT ACT OR THE STATUES APPLICABLE WHERE THE WORK IS BEING PERFORMED AS WELL AS PROTECT THE CONTRACTOR FROM ANY AND ALL LIABILITY UNDER THE AFOREMENTIONED ACTS.
- BUILDER'S RISK COMPLETED VALUE FORM AFFORDING "ALL RISKS OF PHYSICAL LOSS OR DAMAGE" ON ITS WORK IN THE PREMISES AS IT RELATED TO THE BUILDING IN WHICH THE PREMISES ARE LOCATED, NAMING THE INTERESTS OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AS THEIR RESPECTIVE INTERESTS MAY APPEAR, WITHIN A RADIUS OF 100 FEET OF THE PREMISES. AMOUNT OF INSURANCE SHALL EQUAL 100% OF THE REPLACEMENT COST
- ALL SUCH INSURANCE POLICIES SHALL INCLUDE OWNER, THE CONSULTANT, THE GENERAL CONTRACTOR. SUBCONTRACTORS, AS ADDITIONAL INSUREDS: EXCEPT WORKERS' COMPENSATION INSURANCE, WHICH SHALL CONTAIN AN ENDORSEMENT WAIVING ALL RIGHTS OF SUBROGATION AGAINST THE OWNER ITS CONSULTANT. ITS GENERAL CONTRACTOR AND SUBCONTRACTORS. CERTIFICATES OF INSURANCE SHALL PROVIDE THAT SUCH INSURANCE COVERAGE SHALL NOT BE CANCELED OR ALLOWED TO EXPIRE UNTIL AT LEAST 30 DAYS PRIOR WRITTEN NOTICE HAS BEEN GIVEN TO THE CONSULTANT AND THE OWNER.

PROJECT CLOSEOUT AND CLEAN-UP

- TWO MATERIALS AND MAINTENANCE MANUALS TO INCLUDE OPERATION AND MAINTENANCE INSTRUCTIONS AND COMPLETE PARTS LISTS AS FURNISHED BY THE MANUFACTURER FOR ALL SYSTEMS, EQUIPMENT, AND FIXTURES, INCLUDE TYPEWRITTEN INDEX AND TAGGED DIVIDERS BETWEEN CATEGORIES. PROVIDE EMERGENCY CONTACT NAMES/PHONE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE SITE READY FOR OCCUPANCY INCLUDING BUT NOT LIMITED TO THE FOLLOWING ITEMS: 10.2.1. BROOM CLEAN, WASH, AND SEAL ALL HARD SURFACES AND RESILIENT FLOORING AS PER MANUF.
- 10.2.2. VACUUM ALL CARPET SURFACES. 10.2.3. CLEAN AND POLISH ALL SIGNS, DOORS, FRAMES, WINDOWS, WALLS, MILLWORK. THE FOLLOWING CONSTITUTES
- SUBSTANTIAL COMPLETION:
- ALL CONSTRUCTION TO BE COMPLETE, READY FOR USE FOR WHICH THE PROJECT WAS INTENDED.

NUMBERS OF MAJOR TRADES. PROVIDE APPROVED SHOP DRAWINGS.

- ALL CLEANING. VACUUMING AND DUSTING COMPLETE. ALL DEBRIS. SCAFFOLDS, LADDERS, TOOLS, AND EQUIPMENT REMOVED FROM THE JOB SITE, MECHANICAL/ELECTRICAL
- 10.5.1. ALL SYSTEMS IN FUNCTIONAL, OPERATING CONDITION. ALL CONTROLS, DIFFUSERS. REGISTERS, LIGHTING W/ LAMPS & LENSES, SWITCHES COMPLETE. ALL PLUMBING SYSTEMS COMPLETE. GENERAL: ALL CONSTRUCTION
- KEYS AND DUPLICATES FOR THE SPACE HAVE BEEN TURNED OVER TO OWNER. CERTIFICATE OF OCCUPANCY OBTAINED FROM LOCAL REGULATORY AGENCIES (BUILDING DEPT.) & CONSULTANTS. ALL MANUALS ARE SUBMITTED AND ARE COMPLETE.
- PLUMBING: SEE MECHANICAL SPECIFICATIONS.

12. ACOUSTICAL INSUI ATIOI4

& LOCATIONS

PROVIDE AND INSTALL ACOUSTIC INSULATION AS INDICATED ON CONTRACT DOCUMENTS. ACOUSTIC INSULATION TO CONSIST OF "NOISE BARRIER BATT", ACOUSTIC BATT OR MINERAL WOOL. INSTALL BATTS BETWEEN MEMBERS COMPLETE WITH CLIPS WHERE THICKNESS OF BATT IS LESS THAN THAT OF MEMBER.

FIRESTOP PRODUCTS, SEPARATIONS AND CLOSURES SHALL BE AS PER OBC 3.1.8. & 3.1.9.. SEAL ALL FLOOR, WALL, CEILING FIRE SEPARATIONS AT PERIMETERS OF FINISHED SURFACES & 0 ALL SERVICE PENETRATIONS WITH CONSULTANT APPROVE FIRESTOP PRODUCTS. SEE M MECH DESIGN FOR FIRE DAMPERS

14. SEALANTS

- 14.1.1. PRIMER: TYPES RECOMMENDED BY SEALANT MANUFACTURER, COMPATIBLE WITH SEALANTS. 14.1.2. JOINT BACKING ROD: SEALTIGHT ETHAFOAM SEALANT BACKER ROD BY W.R. MEADOWS OF CANADA LTD
- 14.1.3. BOND BREAKER: PRESSURE SENSITIVE PLASTIC TAPE; TYPE 470 OR 481 TAPE BY 3M CANADA OR EQUAL.
- 14.1.4. JOINT CLEANER: XYLOL, METHYLETHYLEKETON (MEK) OR NON-CORROSIVE TYPE RECOMMENDED BY SEALANT

14.2. SEALANT TYPES:

- 14.2.1. TYPE A: ONE COMPONENT, ACRYLIC BASE, SOLVENT CURED, CONFORMING TO CAN/CGSB-19. 14.2.2. TYPE B: MULTI-COMPONENT, POLYURETHANE BASE, CHEMICAL CURING, CONFORMING TO CAN/CGSB-19.24 TYPE 2, CLASS B:
- 14.2.3. TYPE C: ONE COMPONENT, ELASTOMERIC BASE CHEMICAL CURING CONFORMING TO CAN/CGSB-19.13 TYPE MCG, CLASS 240; TREMCO SPECTRUM 1X SILICONE SEALANT 946-108 MCG 2-40 -A-L.
- 14.2.4. TYPE E: ACOUSTIC TYPE, TO CAN/CGSB 19.21; TREMCO ACOUSTICAL SELANT 931-70X 14.2.5. TYPE F: ACRYLIC/LATEX TYPE, FAST SETTING, PLIABLE, ACRYLIC EMULSION COMPOUND CONFORMING TO CAN/CGSB 19.17;

14.2.6. TYPE G: FIRE RESISTANT TYPE, ONE COMPONENT, NON-SAG. PURPOSE MADE TESTED IN ACCORDANCE WITH CAN4 -S115 AND

CAN4-S102, SIMILAR TO FRYE SHIELD BY TREMCO. FOR INSTALLATION, APPLY SEALANT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MASK AROUND JOINTS TO PROTECT ADJACENT SURFACES, AND INSTALL BACKER ROD IN JOINTS WHERE REQUIRED TO PROVIDE PROPER

DOORS, FRAMES & GLASS

DEPTH OF SEALANT.

TREMCO ACRYLIC LATEX CAULK 941-19X

- PROVIDE AND INSTALL ALL DOORS AS SCHEDULED AND CONTAINED/DEPICTED IN CONTRACT DOCUMENTS. INSTALL FRAMES RIGID, PLUMB, LEVEL AND TRUE, BRACE FRAMES TO RETAIN POSITION AND CHECK ALIGNMENT DURING CONSTRUCTION AND ADJUST AS NECESSARY WITH SHIMS PRIOR TO FASTENING.
- OBTAIN TEMPLATES FROM HARDWARE MANUFACTURER AND CONFIRM TYPE, LOCATION AND SPECIAL REQUIREMENTS OF HARDWARE FOR EACH DOOR, PRIOR TO CUTTING. WHERE DOORS ARE PREFINISHED, EXERCISE DUE CARE TO PROTECT FINISHES. HANG DOOR FOR 1/8" CLEARANCE AT HEAD, 3/8" AT BOTTOM, OR OTHERWISE INDICATE TO SUIT FIRE/SMOKE RATING. ADJUST CLEARANCES REQUIRED FOR FLOORING. ENSURE ALL DOORS OPERATE FREELY, WITHOUT BINDING, AND WHEN CLOSED WITH MODERATE FORCE, WILL LATCH PROPERLY.
- ALLOWABLE CLOSURE PRESSURES ALL AS PER OBC REQUIREMENTS. FINISH SPECIFIED ON DOOR SCHEDULE = ALL DOOR SURFACES.
- UNLESS SHOWN OTHERWISE, DOOR LOCATIONS SHALL BE HINGE SIDE 3" FROM FINISH WALL. GLASS TYPES: MIN 1/4" CLEAR TEMPERED GLASS FOR ALL INTERIOR DOORS/WINDOWS; INSULATING GLASS 2 LAYERS 1/4 CLEAR TEMPERED IN THERMALLY SEALED UNIT W/ ARGON GAS.
- HINGES: MIN 3 PER DOOR. 36" BARRIER FREE DOORS SHALL C/W MCKINNEY FIVE KNUCKLE STANDARD WEIGHT SWING CLEAR SERIES, MODEL NUMBER TA2895, OR APPROVED EQUAL.

GYPSUM BOARD

- GYPSUM WALL BOARD TO BE 1/2" OR 5/8" AS INDICATED ON CONTRACT DOCUMENTS AND FIRE RATED AS INDICATED OR REQUIRED IN CONFORMANCE WITH FIRE REGULATIONS AND LOCAL AUTHORITIES. PROVIDE AQUA BOARD IN MOIST HUMID AREAS, PROVIDE TILE BACKER BOARD BEHIND CERAMIC/PORCELAIN TILE.
- PROVIDE JOINT REINFORCING TAPE, ADHESIVE, AND METAL CORNER REINFORCEMENT, STANDARD PRODUCTS AS RECOMMENDED BY THE MANUFACTURER. USE SELF-DRILLING, SELF-TAPPING COUNTERSUNK BUGLE HEAD SCREWS FOR ATTACHMENT OF WALL BOARDS TO STUDS. ALL TAPED/MUDDED JOINTS & FASTENER FINISHING SHALL BE SMOOTH AND LEVEL TO GOOD QUALITY SURFACE FINISH WITHOUT VISIBLE JOINTS/BLEMISHES ALL AS PER CGC LEVEL 4 FINISHING MATRIX.
- CEILING MAIN SUSPENSION RUNNERS: 16 GAUGE COLD ROLLED STEEL 1-1/2" CHANNELS. HANGING WIRE: 8 GAUGE MINIMUM, GAI VANIZED ANNEAI ED LOW CARBON STEEL WIRE, ASTM C754. INSTALL WALL BOARD IN MAXIMUM SIZE PANELS. ATTACH TO WALL FRAMING WITH LONG EDGES VERTICAL, USING 1-1/4" LONG SCREW FASTENERS AT MAXIMUM OF 12" O.C. IN THE FIELD AND 8" O.C. ALONG EDGES SUPPORTED ON FRAMING
- CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL EQUIPMENT REQUIRING SERVICE & DUCTS, PLUMBING AND ELECTRICAL WORK, FIRE RATED AS REQUIRED.

RESILIENT & VINYL TILE FLOORING

- INSTALL ALL MATERIALS IN SHAPE, CONFIGURATION AND PATTERN AS SHOWN ON DRAWINGS. STANDARDS TO BE IN ACCORDANCE WITH TILE COUNCIL OF AMERICA AND/OR TILE AND TERRAZZO INSTITUTE OF CANADA. PROVIDE A 1% EXTRA SUPPLY OF EACH TYPE OF FLOORING USED IN THIS PROJECT FOR FUTURE REPLACEMENT PURPOSES.
- INSTALL TRANSITION STRIP AT ALL VCT/LVT TO CARPET OR CERAMIC JUNCTIONS. CLEAN AND SEAL TILE SURFACE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- INSTALLATION OF TILE SUBSTRATE TO BE LEVEL AND FREE OF DIRT, CONTAMINANTS, ADHESIVE AND OTHER MATERIALS THAT SHOULD BE DELETERIOUS TO MORTAR ADHESION.
- INSTALL ALL SHEET GOOD, VINYL COMPOSITE TILE, AND VINYL BASE AS INDICATED ON DRAWINGS, INSTALL IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS, CEMENTING DIRECTLY TO SUBSTRATE UNLESS NOTED OR DETAILED OTHERWISE. PROTECT FLOORS FROM ROLLING LOADS FOR FORTY-EIGHT(48) HOURS AFTER INITIAL INSTALLATION.
- VINYL TILE COMPOSITION TO CSA A126.1 EXCEPT THAT FILLER BE NON ASBESTOS, TYPE 'A' (PLAIN OR MOTTLED SURFACE TYPE). 1/8" THICK. 12"X12" SIZE. UNIFORM DISPERSEMENT OF COLOUR AND TEXTURE THROUGHOUT TILE THICKNESS. PROVIDE MOISTURE LIMITER ON EXISTING POURED CONCRETE FLOORS PRIOR TO NEW FLOORING ASSEMBLY.

CARPET (BROADLOOM & TILES)

- INSTALL CARPET AS PER MANUFACTURES INSTALLATION INSTRUCTION. PREP FLOOR TO MANUFACTURES REQUIREMENTS AS SET OUT IN THE INSTALLATION INSTRUCTIONS.
- 18.3. PROVIDE MOISTURE LIMITER ON EXISTING POURED CONCRETE FLOORS PRIOR TO NEW FLOORING ASSEMBLY.

19. VINYL BASE

INSTALL JOHNSONITE OR EQUAL 4" VINYL BASE AROUND PERIMETER OF ALL WALLS, EXISTING AND NEW. COLOUR BY CONSULTANT USE MANUFACTURES RECOMMENDED ADHESIVE FOR DRYWALL APPLICATION. PREP BASE OF EXISTING WALLS WHERE EXISTING CARPET BASE HAS BEEN REMOVED. REMOVE ALL GLUE AND PATCH AND

REPAIR WALLS DAMAGED WHERE REQUIRED.

- APPLY PAINT AS PER STANDARD CAN.CGSB-85.100 LATEST EDITION, AND AS PER CGC LEVEL 4 PAINT FINISH STANDARDS FOR A STROKE-FREE SMOOTH EVEN SURFACE FINISH
- PRIMER TO CAN/CGSB-1.119 PRIMER-SEALER, WALL, INTERIOR LATEX TYPE. SUBMIT LIST OF PROPOSED PAINT AND COLOURS 10 DAYS PRIOR TO APPLICATION FOR REVIEW BY CONSULTANT/OWNER. STORE PAINT ON SITE IN APPROVED SEALED CONTAINERS AWAY FROM ANY FLAME SOURCE OR SPARK SOURCE. PREP ALL EXISTING PAINTED SURFACES TO ACCEPT NEW PAINT FINISH WHERE APPLICABLE. CLEAN AND PATCH WALLS.
- SAND SMOOTH ALL ROUGH SURFACES. PRIME NEW DRYWALL SURFACES WITH PRIMER PRIOR TO PAINTING. APPLY MATERIALS IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS AND SPECIFICATIONS. DO NOT USE ADULTERANTS
- OR DILUTENTS EXCEPT AS RECOMMENDED BY MANUFACTURE FOR APPLICATION. CLEAN UP AND REMOVE UNUSED PRODUCTS FROM SITE ON COMPLETION OF WORK.

20.9. PAINT SHEENS: EGGSHELL WALLS; SEMI-GLOSS DOORS/FRAMES; MATT WHITE CEILINGS. ACOUSTIC CEILINGS

- PROVIDE NEW CEILING TILE ASSEMBLY AS PER ARCH DRAWINGS. MATCH NEW PRODUCT TO EXISTING PRODUCT IN ALL AREAS WHERE APPLICABLE. REPLACE TILES DAMAGED DURING CONSTRUCTION OR EXECUTION OF WORK WITH NEW TILES.
- EXTERIOR INSULATION & FINISHING SYSTEM (EIFS)
- RAINSCREEN 10MM REAR DRAINAGE PLAIN AND VENTED. EIFS TRADE SHALL BE AN ACCREDITED DRYVIT, STO (OR EQUAL) APPLICATOR AS CERTIFIED BY THE MANUFACTURER. VALID

- CERTIFICATE IS REQUIRED TO BE POSTED ON SITE FOR CONSULTANT REVIEW. THE GENERAL CONTRACTOR SHALL NOTIFY THE CONSULTANT OF THE WATER RESISTIVE BARRIER (WRB) SCHEDULED APPLICATION FOLLOWED BY THE OUTSULATION MD INSULATION BOARD APPLICATION FOR CONSULTANT REVIEW.

MEDIUM DENSITY SPRAYFOAM INSULATION:

- SHALL MEET CAN/ULC-S705.1-15 STANDARD FOR THERMAL INSULATION, AND CAN/ULC-S770-09 STANDARD TEST METHOD FOR DETERMINING LONG TERM THERMAL RESISTANCE, AND SHALL MEET THE 2021 REQUIRED LOW IMPACT HFO BLOWING TYPE AGENTS. SHALL MEET THE ONTARIO AND NATIONAL BUILDING CODE APPLICATION, COVERAGE & FIRE PROTECTION REQUIREMENTS 3.1.5. COMBUSTIBLE INSULATION & FOAMED PLASTIC INSULATION, AND SECTION 9.25.4.2.(1) VAPOUR BARRIER COMPLIANCE TO ASTM E96.
- DO NOT APPLY SPRAYFOAM IN GRETER THAN 2" LIFTS, ALLOW CURING TIME BETWEEN LIFTS AS PER MANUFACTURER RECOMMENDATIONS.
- 23.3. THE STANDARD FOR SPRAYFOAM INSULATION SHALL BE BASF WALLTITE CM01 (OR EQUAL) R5.5/1", MIN 2" THICKNESS.

ROOFING & INSULATION:

- INSTALL ROOFING ASSEMBLY AS PER MANUFACTURER'S RECOMMENDED PRODUCT TYPES, SEQUENCING AND FASTENERS/ADHESIVES.
- ONLY INSTALL IN DRY WEATHER AND ONLY INSTALL A QTY OF ROOFING AREA MANAGEABLE FOR THE DAY OF WORK, PROVIDE WATER-TIGHT SEAL PERIMETER ON UNFINISHED ROOF FOR NEXT WORK DAY CONTINUATION. ROOFING INSTALLATION SHALL BE AS PER CANADIAN ROOFING CONTRACTORS ASSOCIATION (CRCA) STANDARDS, INCLUDING 6" STAGGERED (EA WAY) INSULATION BOARD JOINTS & 1/4"+ WIDE JOINTS SHALL BE FILLED WITH NON-EXPANDING
- SPRAYFOAM INSULATION. PROVIDE A 20 YEAR UNLIMITED LABOUR AND PRODUCTS WARRANTEE. PROVIDE 3RD PARTY QUALIFIED INDEPENDENT ROOFING CONSULTANT TO REVIEW THE ROOFING INSTALLATION TO CURRENT ROOFING INDUSTRY STANDARDS, GC SHALL FOLLOW THEIR RECOMMENDATIONS. COST FOR CONSULTANT SHALL BE BY OWNER.

REQUIRED SUBMITTALS

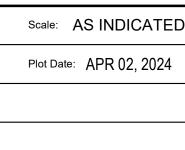
THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION. SUBMIT ONE DIGITAL COPY UNLESS NOTED OTHERWISE.

EM	REQUIRED SUBMITTAL?	P.ENG. STAMP REQUIRED?
NDOW SHOP DRAWINGS		
v CONNECTION NOTED	YES	YES
OOR SHOP DRAWINGS		
v B.F. CLEARANCES NOTED	YES	NO
OOR HARDWARE	YES	NO
TEEL ERECTION DRAWINGS	YES	YES
EEL STUD ERECTION DRAWINGS	YES	YES
SC. STEEL HAND/GUARD RAILS/LADDER	YES	YES
OPED INSULATION	YES	NO
RESTOP PRODUCTS	YES	NO
OOFING MEMBRANE	YES	NO
ARQUEE CANOPY DRAWINGS	YES	YES

ONTARIO BUILDING CODE 2012

	BUILDING CODE VERSION	O.REG. 332/										
3.01 P	PROJECT TYPE	NEW CONST	RUCTION							[A] 1.1.		
ないつ	MAJOR OCCUPANCY CLASSIFICATION	OCCUPANC	Y					USE		3.		
		E	MERCANTILI	 E				COMMERCIAL RET	AIL UNIT (CRU)			
s	SUPERIMPOSED MAJOR											
マ ハマ	OCCUPANCIES	N/A								3.2.		
3.04 B	BUILDING AREA (m²)	DESCRIPTIO	N				EXISTING	G NEV	V TOTAL	[A] 1.4.		
		NEW CONST	RUCTION				_	770.3	7 770.37			
		TOTAL					-	770.3	7 770.37			
3.05 G	GROSS AREA (m²)	DESCRIPTIO	N				EXISTING	9 NEV	V TOTAL	[A] 1.4.		
		NEW CONST	RUCTION				_	770.3	7 770.37			
		TOTAL					-	770.3	7 770.37			
3.06 N	MEZZANINE AREA (m²)	DESCRIPTIO	N				EXISTING	9 NEV	V TOTAL	3.2.		
		N/A							<u>-</u>			
		TOTAL					-					
3.07 B	BUILDING HEIGHT	1	STOREYS A	BOVE GRADE				6.	7 (m) ABOVE GRADE	[A] 1.4.1.2		
		0	STOREYS BI	ELOW GRADE						3.2.		
3.08 H	HIGH BUILDING	NO								3.2		
.5 UO	IUMBER OF STREETS/ IREFIGHTER ACCESS	2	STREET(S)							3.2.2.10., 3.2		
3.10 B	BUILDING CLASSIFICATION	3.2.2.61.	GROUP E, U	P TO 2 STORE	YS					3.2.2.20		
3.11 S	SPRINKLER SYSTEM	NOT REQUIF	RED		PROVIDED:		NONE			3.2.1		
3.12 S	STANDPIPE SYSTEM	NOT REQUIF	RED							3.2		
3.13 F	TIRE ALARM SYSTEM	NOT REQUIF	RED			T	YPE PROVIDE	D N/A		3.2		
2 1/1	VATER SERVICE/ SUPPLY IS ADEQUATE	YES								3.2.		
3.15 C	CONSTRUCTION TYPE	BASED ON	3.2.2.61.							3.2.2.2.20		
		RESTRICTIO	N COMB. PERM	MITTED								
		ACTUAL	NONCOMB.				HEAVY TIME	BER CONSTRUCTION	I N/A	3.2.		
3.16 IN	MPORTANCE CATEGORY	NORMAL					-			4.1.2.1.(3), T4.1.2.		
3.18 C	OCCUPANT LOAD	FLOOR LEVE	EL / AREA	OCCUPANC	Y TYPE		OCCUPANT LOAD	BASED ON	POSTED LIMIT REQUIRED	3.1.17., 3.1.17.1		
(5	SHELL PERMIT ONLY)	CRU		E - MERCAN	TILE		208	m² PER PERSON	NO			
(oneer entire oner,	TOTAL			·· 		208	_				
3.19 B	BARRIER-FREE DESIGN	YES										
	BARRIER-FREE ENTRANCES	6		6 NEW BARF	RIER-FREE ENT	TRANCES				3.1.8		
	HAZARDOUS SUBSTANCES	NO								3.3.1.2. & 3.3.1.		
	REQUIRED FIRE RESISTANCE							SUPPORTING	NONCOMB.IN LIEU	3.2.2.2083., 3.2.1		
シンコ	RATINGS	HORIZONTA	L ASSEMBLY				RATING (H)	ASSEMBLY (H)	OF RATING?	3.2.1.4., 3.2.2.		
		STOREYS BI	ELOW GRADE				N/A	N/A	N/A			
		FLOORS OV	ER BASEMENT	Γ			N/A	N/A	N/A			
		FLOORS					3/4	3/4	NO			
		MEZZANINE					N/A	N/A	N/A			
		ROOF					0	0	N/A			
3.22 S	SPATIAL SEPARATION	EXPOSING BUILDING FACE	EBF AREA	L.D. (m)	L/H OR H/L	% UPO PERMITTED / ACTUAL	/ REQUIRED FRR (h)	CONSTRUCTION TYPE	CLADDING TYPE	3.2		
			(m ²)	\ OF 00	0.4 1. 40 4		N1/A	СОМВ.	COMB.			
		NORTH	234.00	> 25.00	3:1 to 10:1	100 / 32.0	N/A	PERMITTED COMB.	PERMITTED COMB.			
		EAST	86.28	> 16.00	3:1 to 10:1	100 / 39.4	N/A	PERMITTED COMB.	PERMITTED COMB.			
		SOUTH	234.00	> 25.00	3:1 to 10:1	100.0 / 11.5	N/A	PERMITTED COMB.	PERMITTED			
	N. I. N. P. W. S. T.	WEST	105.08	7.96	3:1 to 10:1	26.9 / 21.1	1	PERMITTED	NONCOMB. REQ'D			
7 77	PLUMBING FIXTURE REQUIREMENTS	RATIO:		MALE:FEMAI	LE = 50:50 EXC	EPT AS NOTE	O OTHERWISE			3.7.4., 3.8.2.3 T.3.8.2.3.A., T.3.8.2.3		
		FLOOR		00011241	ODO	WATER	WATER	BARRIER-FREE	UNIVERSAL			
		LEVEL		OCCUPANT LOAD	OBC SENTENCE	CLOSETS	CLOSETS	WATER CLOSETS REQUIRED /	WASHROOMS REQUIRED /			
		/ AREA				REQUIRED	PROVIDED	PROVIDED	PROVIDED			
,,	SHELL PERMIT ONLY)	CRU		208	N/A	N/A	N/A	N/A	N/A			
(8	,											

1. ALL REFERENCES ARE TO DIVISION B OF THE OBC UNLESS PRECEDED BY [A] FOR DIVISION A AND [C] FOR DIVISION C



Consultant:

Consultant:

IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT

CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A

WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND

RELATED DOCUMENTS MUST BE REPORTED TO CREATIVE STRUCTURES (CS)

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INC. PRIOR TO COMMENCING WORK. ALL DIMENSIONS AND LEVELS ARE

APPROXIMATE AND SHOULD BE CONFIRMED BY OWNER AND GENERAL

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CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WIT THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL

ISSUES/REVISION TABLE

1300 FANSHAWE PARK

ROAD. EAST. - CRU #5

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GENERAL NOTES & OBC

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CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE

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CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

CONSTRUCTION". THE DRAWINGS SHALL NOT BE USED FOR PRICING, COSTING

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND

MATERIALS MUST CONFORM WITH APPLICABLE CODES AND C.M.H.C.

STANDARDS AND BE APPROVED BY OWNER

WRITTEN CONSENT OF CREATIVE STRUCTURES

SHOULD NOT BE USED FOR ANY OTHER WORK.

REGULATIONS AND BYLAWS HAVING JURISDICTION.

STRUCTURES LTD AND NGACAKU ARCHITECTURE INC.

CONSTRUCTION.

Drawing Title:

Drawn By: D.H.

Checked By: K.N.

Project Date: JAN 2024

Project No: 2023-102

AND NGACAKU ARCHITECTURE INC. (N'AI) PRIOR TO COMMENCING ANY WORK

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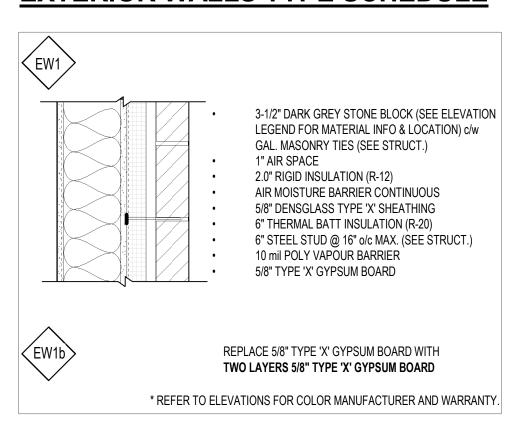
WALL ASSEMBLIES SCHEDULE **GENERAL NOTES**

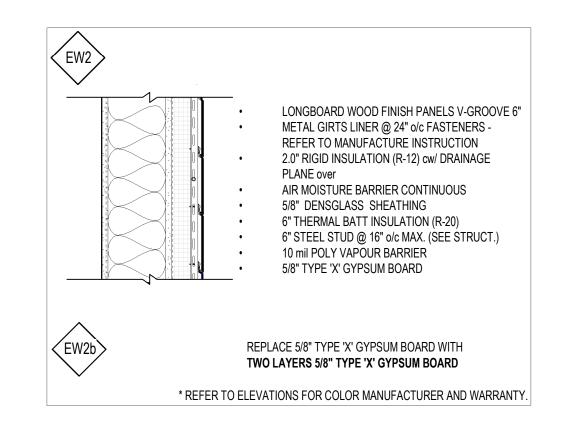
- FIRESTOP CAULKING TO SEAL JOINTS WHERE GYPSUM BOARD PARTITION ABUTTS FLOOR, u/s OF STRUCTURE, CONCRETE MASONRY UNIT (CMU) AND ALL PENETRATIONS THRU FIRE SEPARATIONS. TYP.
- REFER TO FLOOR PLANS FOR LOCATION OF WALLS BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- CONFIRM WALL THICKNESS WITH STRUCTURAL DRAWINGS.
- ALL GYPSUM BOARD SURFACES SHALL BE PAINTED 1 COAT PRIMER, 2 COATS FINISH. EGGSHELL SHEEN ON WALLS; SEMIGLOSS IN KITCHENS ABOVE COUNTER, BATHROOM WALLS, AND DOORS/FRAMES;
- REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL CONCRETE WALL TYPES, MATERIALS, THICKNESS', TYP.
- MAX 2" THICK LIFT OF SPRAYFOAM INSULATION PER PASS. CONC. BLOCK TOP LATERAL SUPPORT METAL CLIP ANGLES REQUIRED, REFER TO STRUCTURAL DWGS., TYP.
- PROVIDE SAME THICKNESS WATER RESISTANT GYPSUM BOARD BEHIND & BESIDE WATER FIXTURES TYP. ALL PARTITIONS SHALL BE PROVIDED WITH LATERAL STABILITY/CROSS BRACING AT TOPS OF FRAMING FOR LATERAL
- SECUREMENT. PAINT ALL STEEL EXPOSED TO VIEW. NEW STRUCTURAL STEEL SHALL BE PRIMED AND PAINTED.
- PROVIDE TILE BACKER BOARD BEHIND ALL WALL TILE.
- PROVIDE ADEQUATE BLOCKING IN WALLS/PARTITIONS TO SUPPORT/SECURE ALL ITEMS FIXED TO WALL. TYP.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS SHALL BE CONSTRUCTED UP TO U/S STRUCTURE ABOVE. FOLLOW
- TYP. DETAIL FOR FIRE RATED PARTITION FINISHING REFER TO GEOTECHNICAL REPORT FOR ALL EARTH, MOISTURE, BEARING AND METHANE GAS PROTECTION DESIGN
- RELATED INFORMATION THAT MAY AFFECT BUILDING ASSEMBLIES AND CONSTRUCTION PROCESSES. TYP.
- REFER TO GEOTECHNICAL REPORT FOR ALL GROUND WATER CONTROL AND WEEP TILE @ FOOTINGS

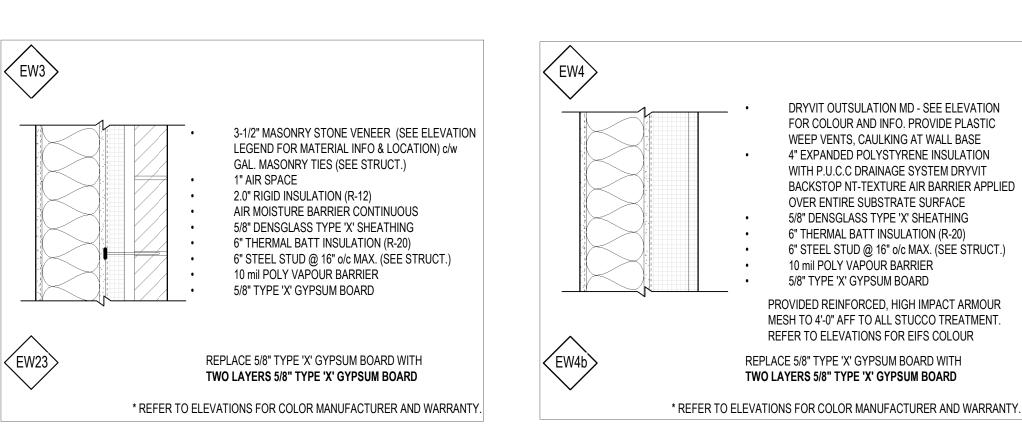
FLOOR/ROOF ASSEMBLIES SCHEDULE **GENERAL NOTES**

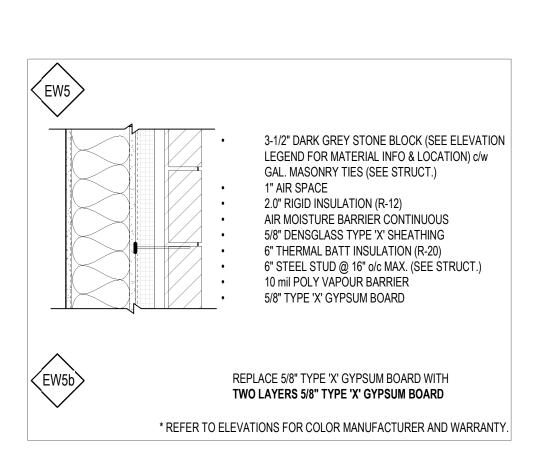
- REFER TO SECTIONS FOR LOCATION OF FLOOR/ROOF BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- CONFIRM FLOOR/ROOF THICKNESS WITH STRUCTURAL DRAWINGS, REPORT ANY DISCREPANCIES TO THE ARCHITECT (IF REQUIRED).

EXTERIOR WALLS TYPE SCHEDULE









BARRIER FREE,

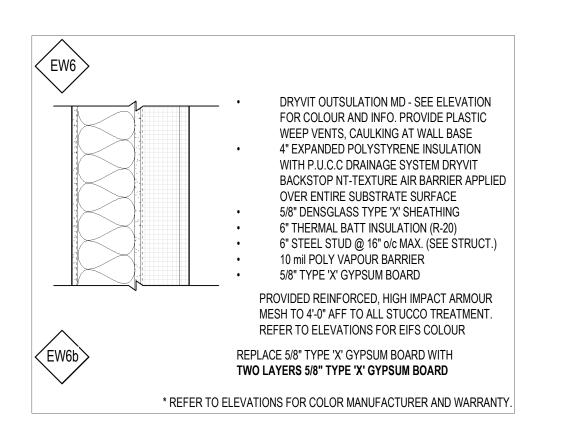
FIREFIGHTERS ENT

19.7 m

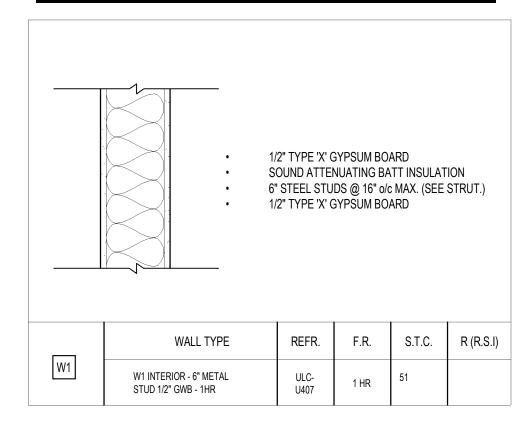
24.9 m

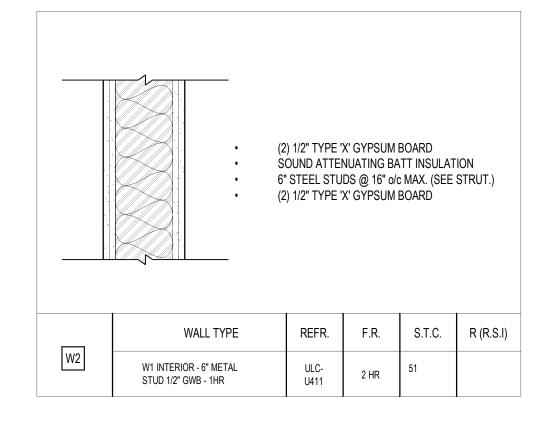
LIFE SAFETY PLAN

SCALE: 1:100

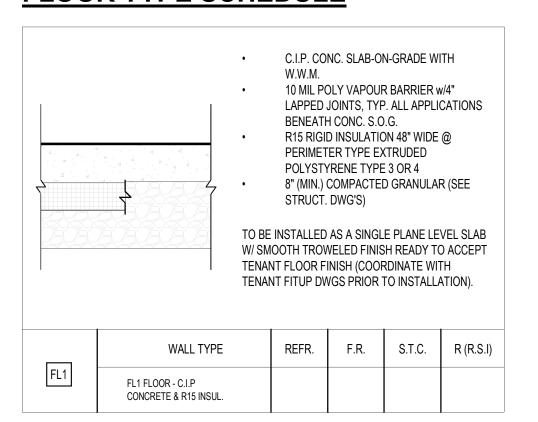


INTERIOR WALLS TYPE SCHEDULE





FLOOR TYPE SCHEDULE



ROOF TYPE SCHEDULE

MAIN ENTRANCE

BARRIER FREE,

FIREFIGHTERS ENT.

19.4 m

18.4 m

MAIN ENTRANCE

BARRIER FREE,

FIREFIGHTERS ENT.

20.6 m

17.4 m

19.6 m

___18.4 m__

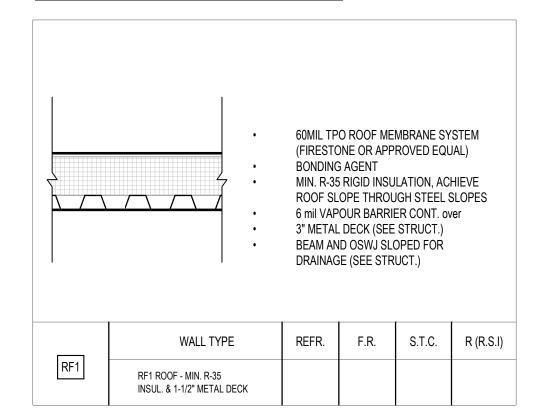
MAIN ENTRANCE

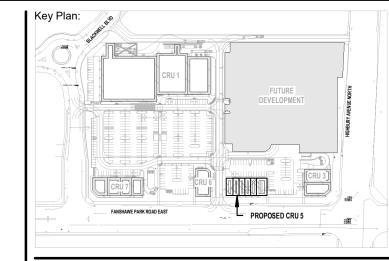
BARRIER FREE,

FIREFIGHTERS ENT.

19.1 m

19.7 m





Consultant:

MAIN ENTRANCE

BARRIER FREE,

FIREFIGHTERS ENT.

LIFE SAFETY LEGEND

EXIT SIGN W/ EMERGENCY LIGHT

PATH OF TRAVEL

1HR FIRE RATED WALL

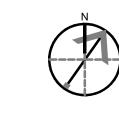
2HR FIRE RATED WALL

29.4 m

____32.1 m__







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General Notes

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ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD. EAST. - CRU #5

ASSEMBLY TYPES

1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

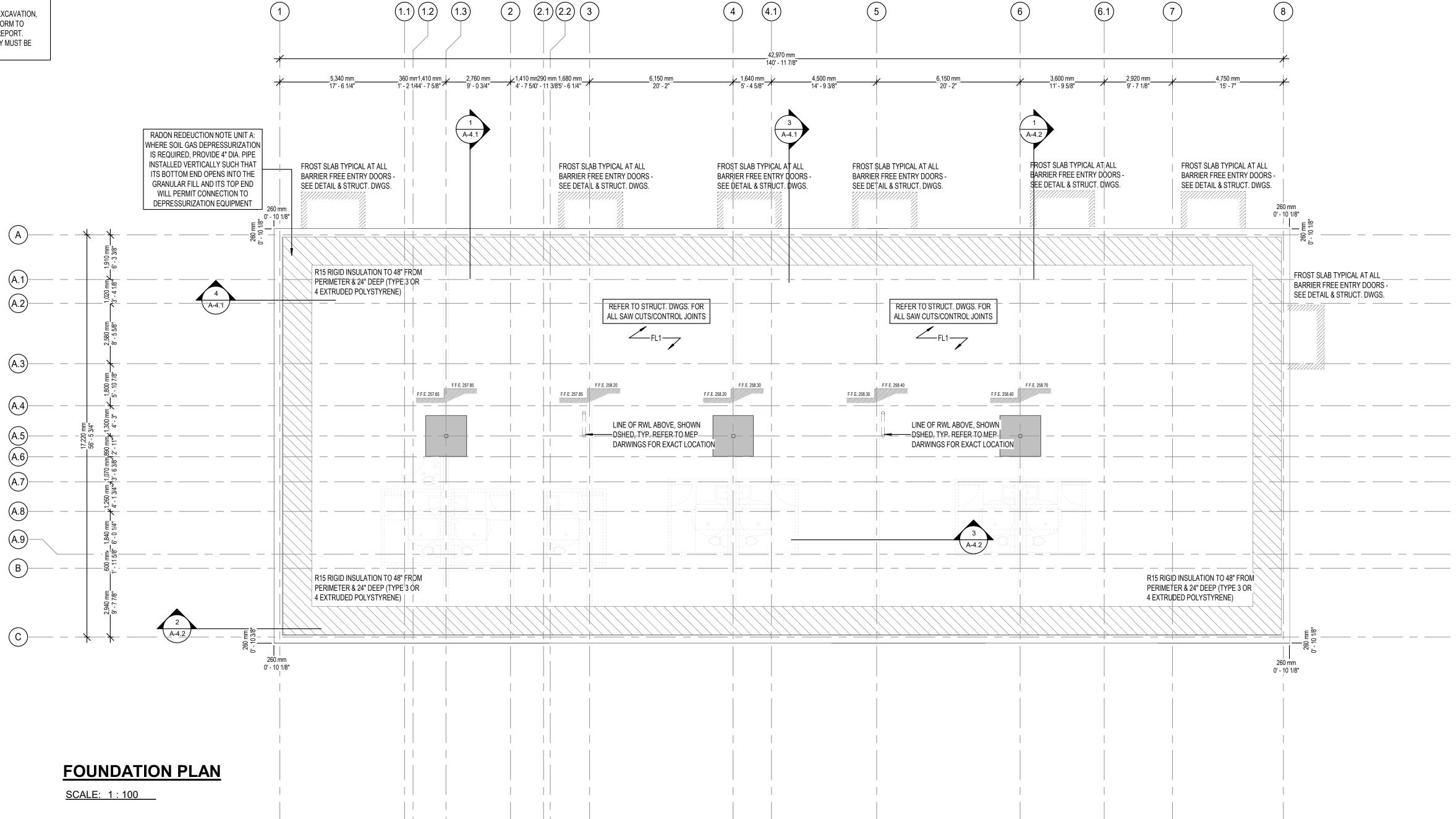
Scale: AS INDICATED Drawn By: D.H. Plot Date: APR 02, 2024 Checked By: K.N.

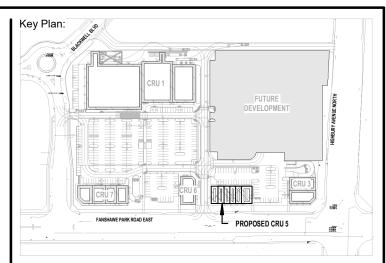
Project Date: JAN 2024

Project No: 2023-102

100mm (4") CONCRETE SLAB-ON-GRADE WITH 6x6xW2.9/W2.9 W.W.M ON, 10MIL POLY VAPOUR BARRIER WITH 4" MIN. OVERLAP, TAPED R15 RIGID INSULATION TO 48" FROM PERIMETER & 24" DEEP (TYPE 3 OR 4 EXTRUDED POLYSTYRENE) ON 8" COMPACT. GRAN. 'A' COMPACT. GRAN. 'B' AS REQ'D (SEE STRUCT. DWGS) REFER TO STRUCT. DWGS. FOR ALL SAW CUTS/CONTROL JOINTS, COLUMN, BEAM SIZING, AND LOCATION & SIZING OF ALL CROSS BRACING,

TOP OF SLAB-ON-GRADE IS AT 0' - 0" (257.65 GEODETIC - TO BE CONFIRMED ON SITE REFER TO SITE PLAN BY SBM DATED NOV 11, 2023). REFER TO STRUCT. DWGS. FOR COLUMN & FOUNDATION INFORMATION. ALL COLUMN BASE PLATES TO BE 200mm (8") BELOW TOP OF FLOOR ELEVATION UNLESS OTHERWISE NOTED ON STRUCT. DWGS. EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE. CONCRETE CONTRACTOR TO COORDINATE WITH ALL TRADES THE LOCATION OF ALL PIPE SLEEVES THROUGH FOUNDATION WALLS. PIPE SLEEVES MAY NOT BE PLACED WITHIN FOOTINGS. FOUNDATION MUST BE STEPPED DOWN TO ACCOMMODATE ELEVATION OF PIPE SLEEVES. FOR REQUIREMENTS & SPECIFIC CONDITIONS FOR THIS SITE, REFER TO SOIL REPORT. ALL FOUNDATION WORKS INCLUDING EXCAVATION, BACKFILL & COMPACTION SHALL CONFORM TO RECOMMENDATIONS FROM THE SOIL REPORT. SOIL CONDITIONS & BEARING CAPACITY MUST BE APPROVED BY GEOTECH, ENGINEER

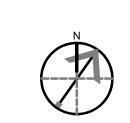




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2 APR 02, 2024 1 Jan 31, 2024

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1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

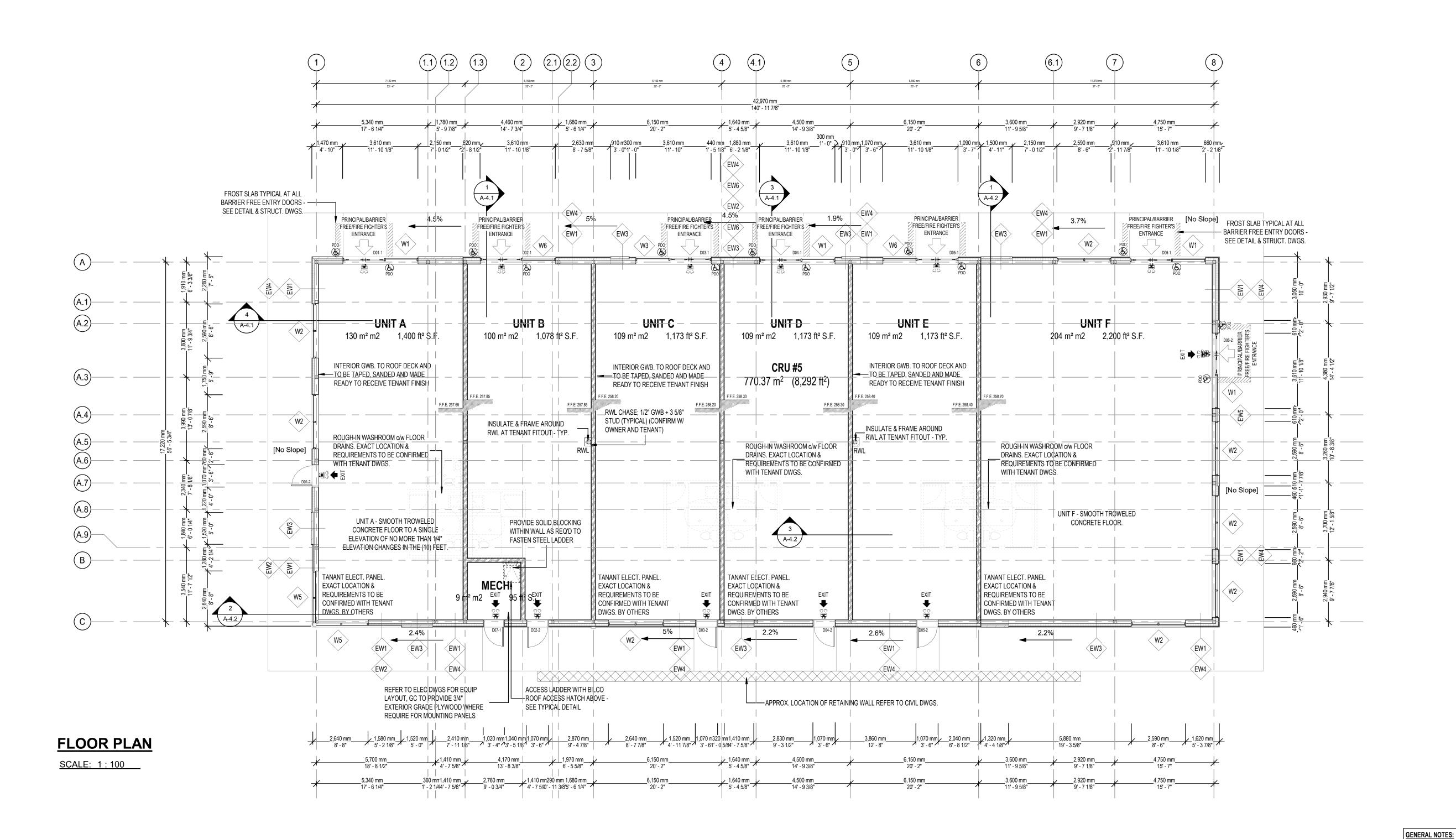
TO BE READ IN CONJUNCTION WITH THE STRUCTURAL FOUNDATION PLAN. REFER TO STRUCTURAL DWGS. FOR ALL REINFORCING, FOUNDATION WALL & PIERS SIZES & U/S OF FOOTING ELEVATIONS.

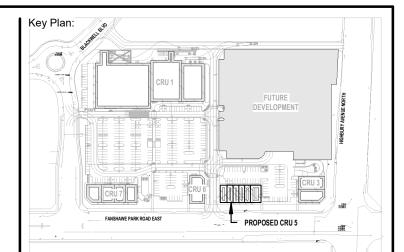
FOUNDATION PLAN

Scale: AS INDICATED Drawn By: D.H. Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102



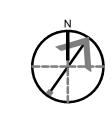


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 2
 APR 02, 2024
 ISSUED FOR TENDER

 1
 Jan 31, 2024
 60% ISSUED FOR CLIENT REVIEW

 No.
 Date
 Revision

ISSUES/REVISION TABLE

Project:

WESTIEL

DEVELOPMENT CORI

1300 FANSHAWE PARK

1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

Drawing Title

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STRUCTURE.

SUPPLIED INFORMATION.

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RESULTING FROM HIS WORK.

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THE CONTRACTOR WORKING FROM DRAWINGS
NOT SPECIFICALLY MARKED 'FOR CONSTRUCTION'
MUST ASSUME FULL REPONSIBILITY AND BEAR
COSTS FOR ANY CORRECTIONS OR DAMAGES

FLOOR PLAN

ROAD. EAST. - CRU #5

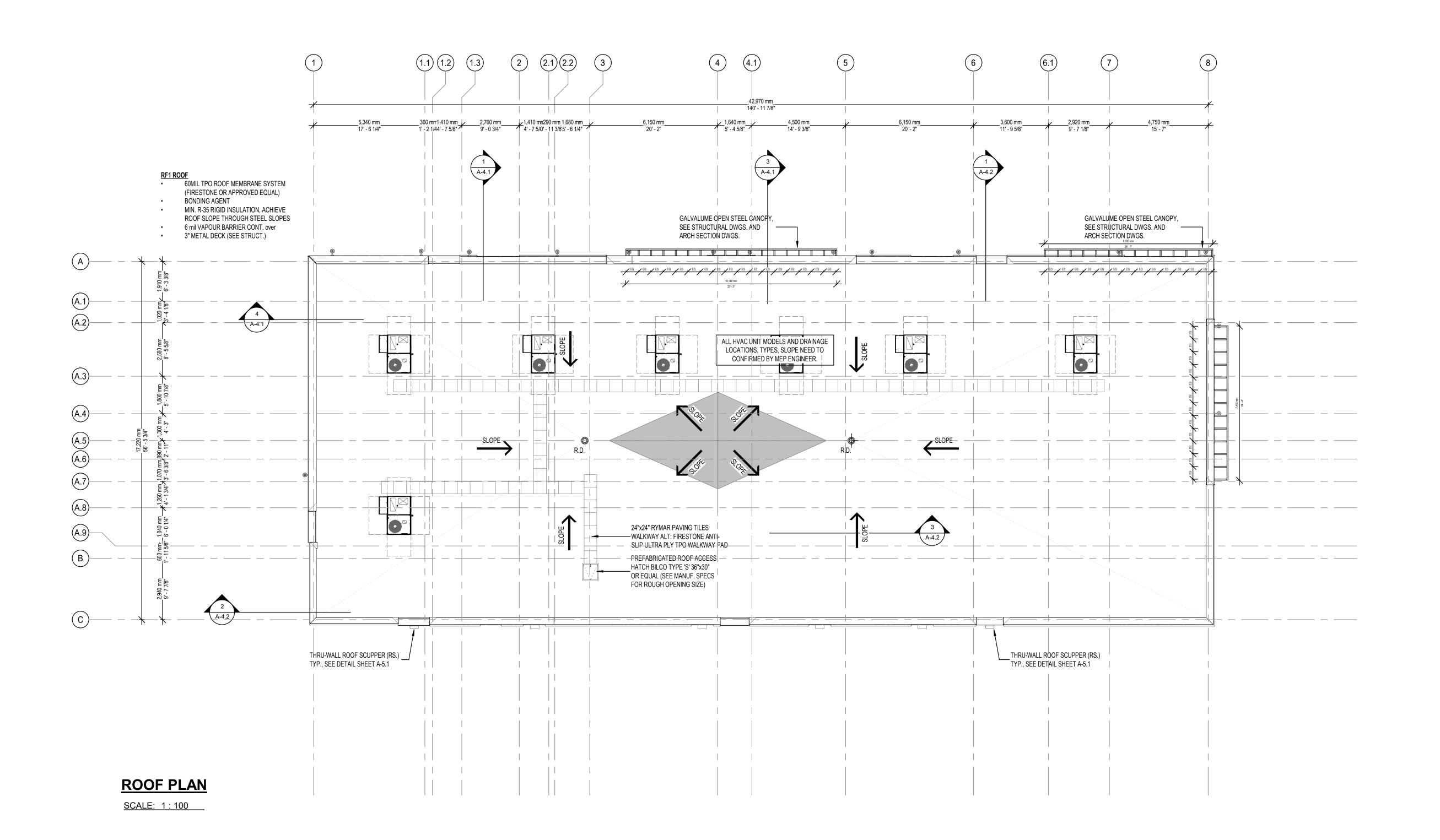
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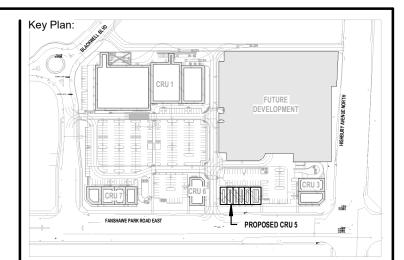
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Project No: 2023-102

Drawing No:

-2.2





Consultant:







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2 APR 02, 2024 1 Jan 31, 2024

ISSUES/REVISION TABLE

1300 FANSHAWE PARK

ROAD. EAST. - CRU #5 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

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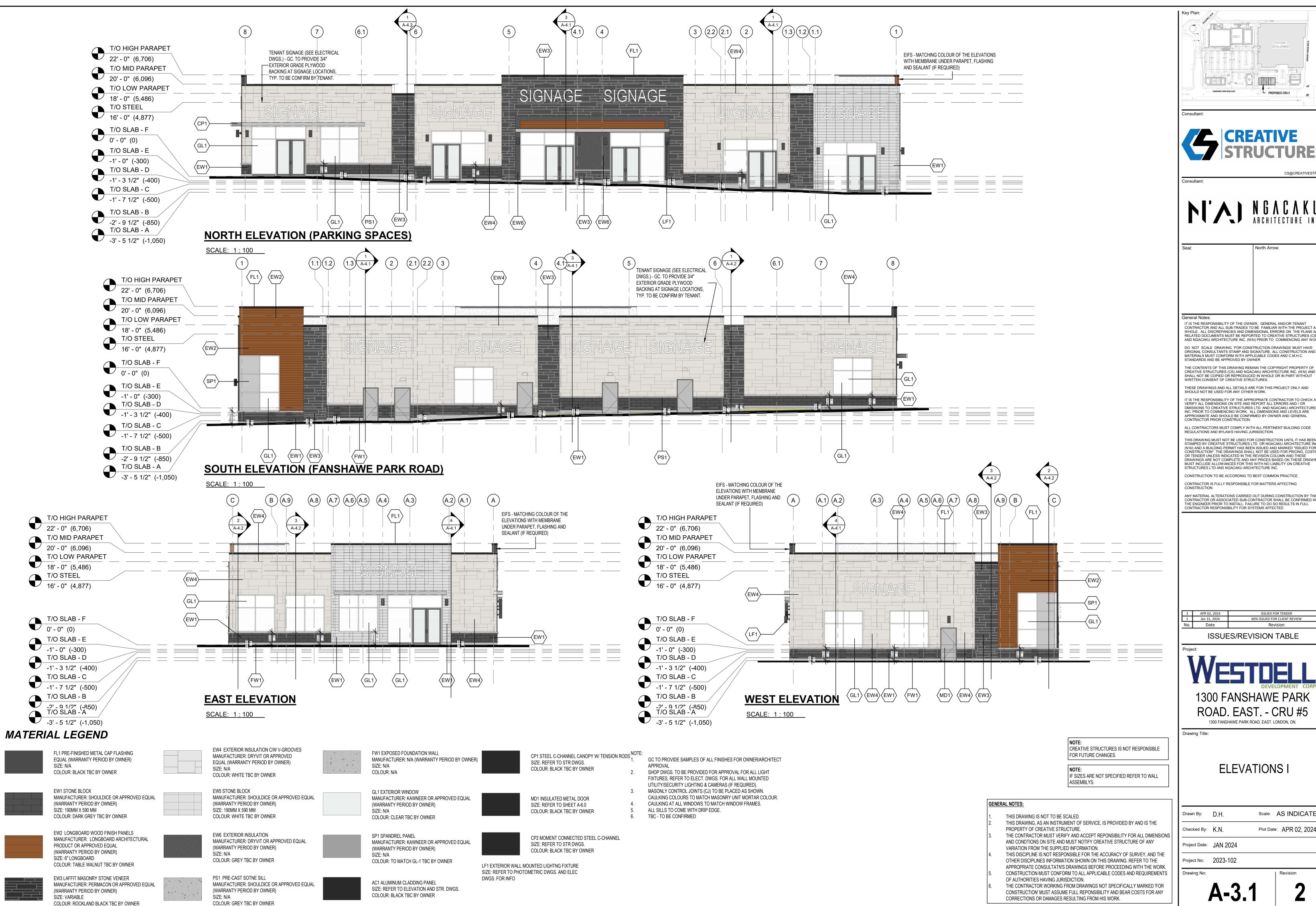
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ROOF PLAN

STRUCTURE OF ANY VARIATION FROM THE Scale: AS INDICATED Drawn By: D.H. THIS DISCIPLINE IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, AND THE OTHER Plot Date: APR 02, 2024 Checked By: K.N. DISCIPLINES INFORMATION SHOWN ON THIS

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Project No: 2023-102 Drawing No:





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ROAD. EAST. - CRU #5 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

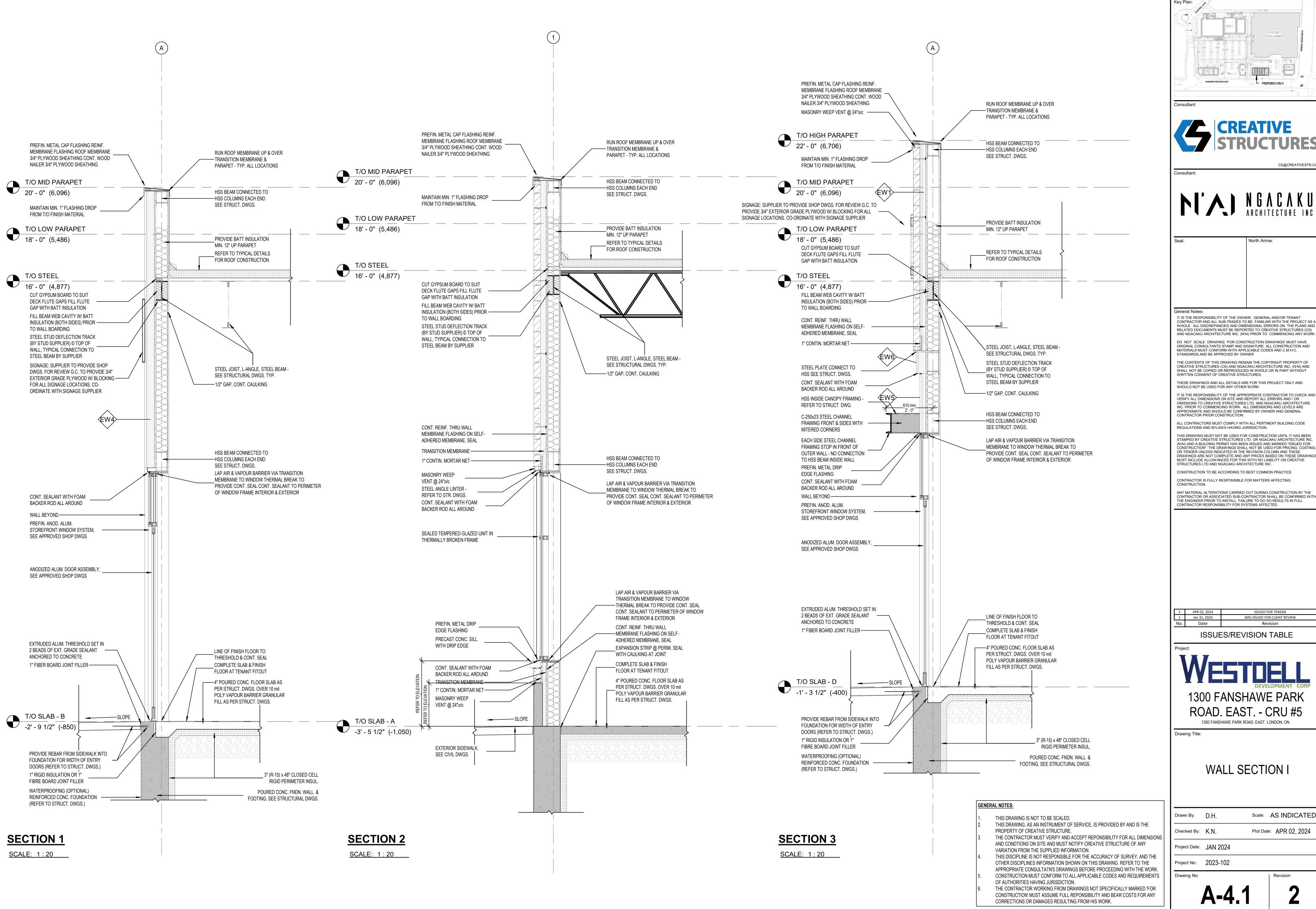
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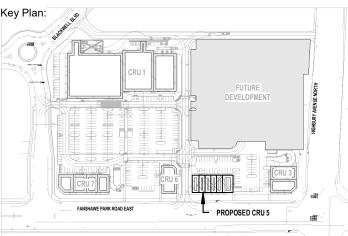
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Plot Date: APR 02, 2024







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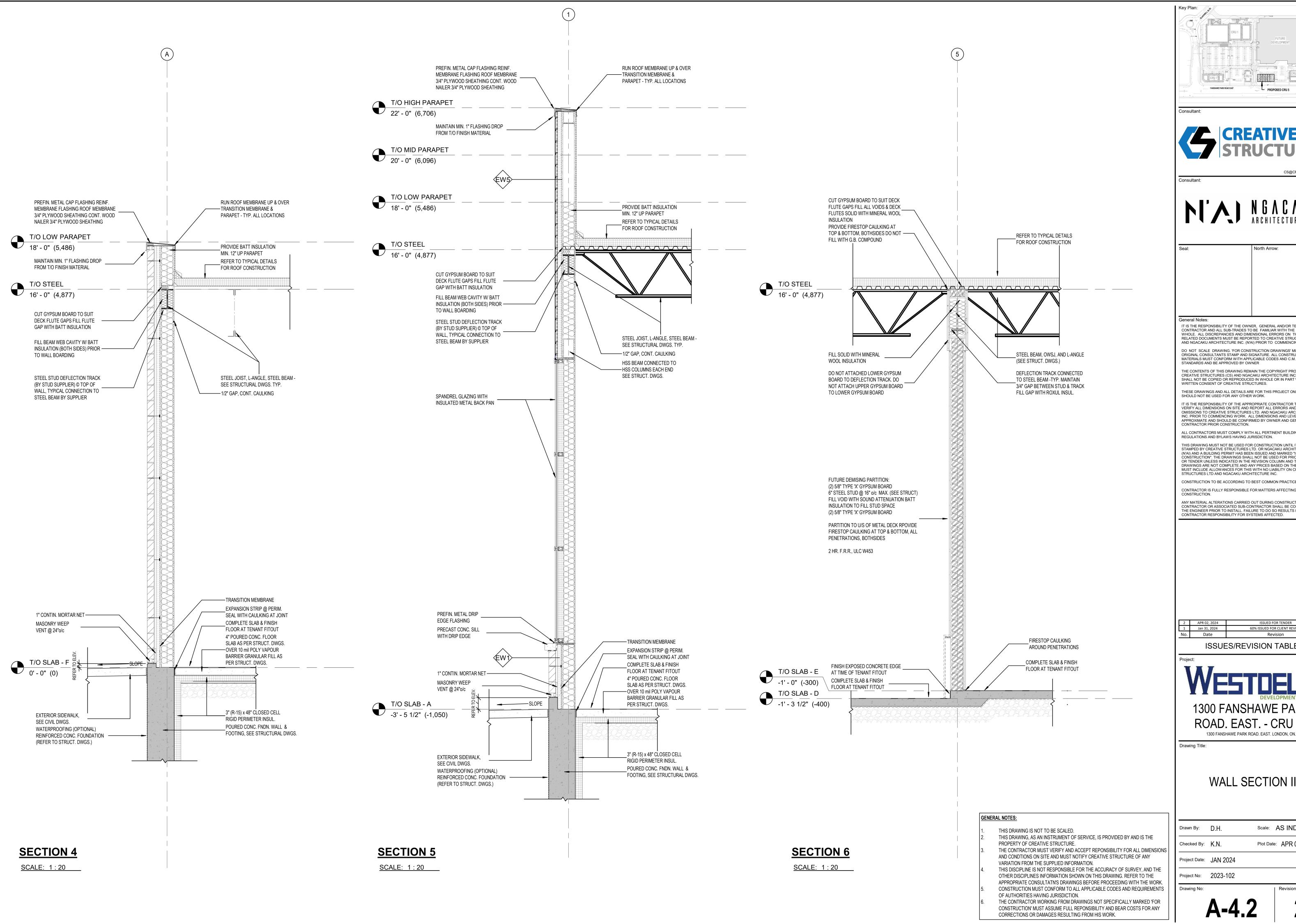
ISSUES/REVISION TABLE

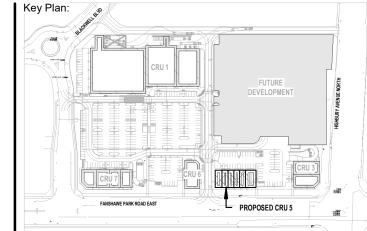
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WALL SECTION I

Drawn By:	D.H.	Scale:	AS INDICATE
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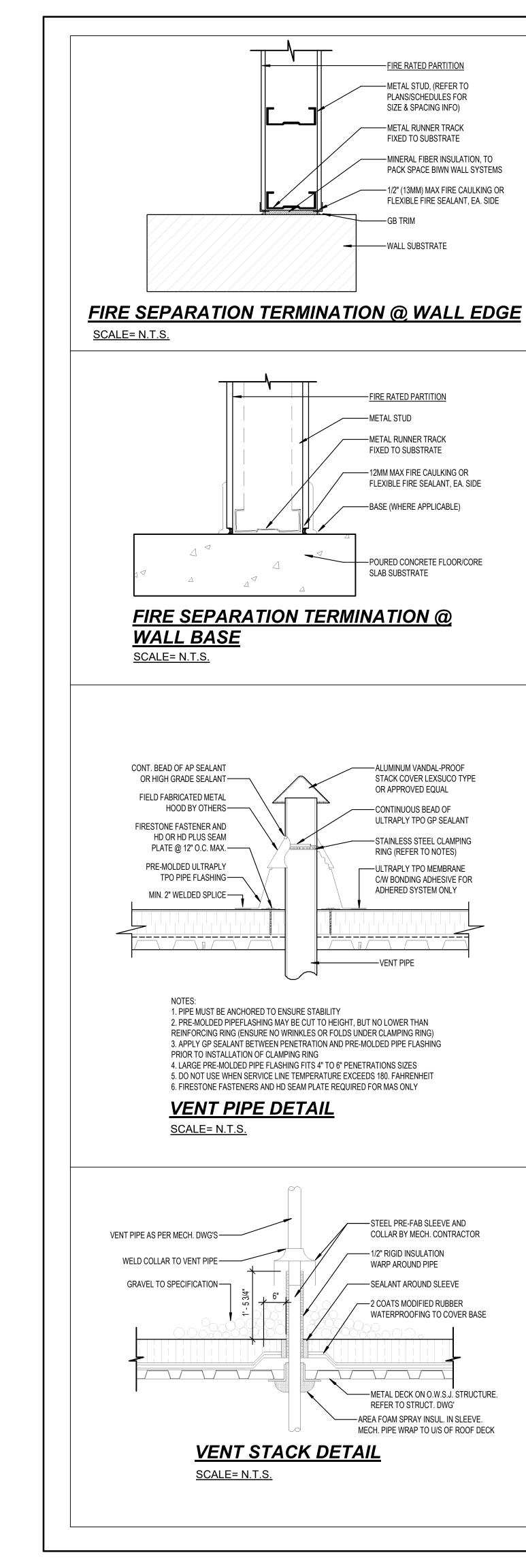
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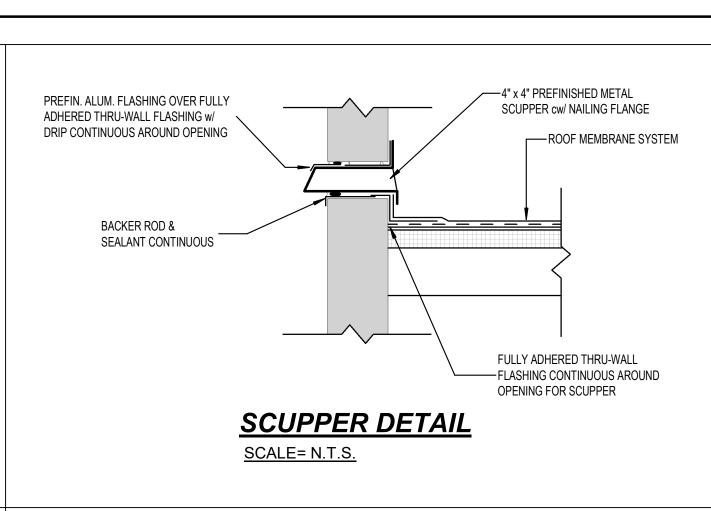
WALL SECTION II

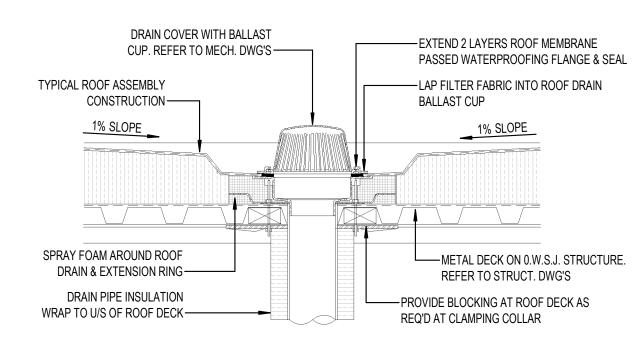
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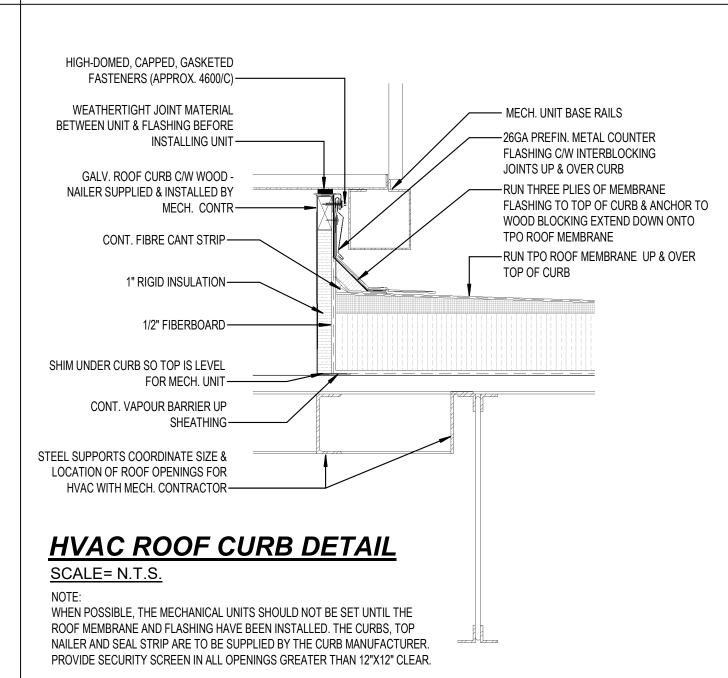




ROOF DRAIN DETAIL

SCALE= N.T.S.

REFER TO MECH. DWGS. FOR LOCATION & EXTENT OF ROOF DRAINS. REFER TO ROOF DRAIN MANUF. SPEC. FOR ALL INSTALLATION INSTRUCTIONS.



-1/2" (13MM) MAX FIRE CAULKING OR

INSULATION PACKED

INTO VOID IN METAL

-FIRE RATED PARTITION

DECK PROFILE

-METAL STUD

FIRE SEPARATION TERMINATION

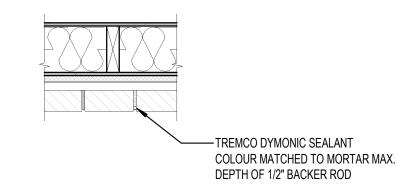
@ WALL BASE

SCALE= N.T.S.

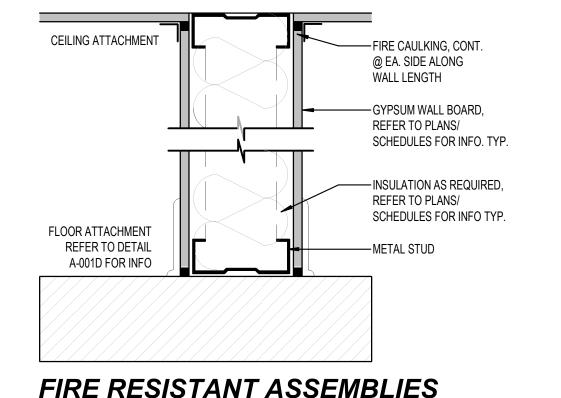
FLEXIBLE FIRE SEALANT, EA. SIDE

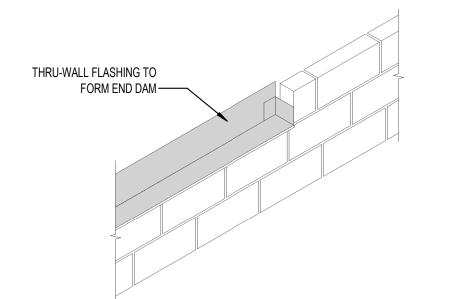
WROUGHT IRON STRAP SECURE TO--QUICK BLOCK PLASTIC GAS LINE SUPPORT & COAT WITH RUST SUPPORT PLACED @10'-0"/C & WITHIN PREVENTATIVE PAINT SIZE TO 2-0" OF CHANGE IN DIRECTION PERMIT THERMAL MOVEMENT -12"X24"X1/2" RIGID INSULATION, AS GAS PIPE, REFER TO MECH DWGS. ALL REQ'D, BELOW GAS LINE SUPPORT PIPING TO BE PAINTED ON ROOF & IN THE BLDG. PER CAN/CSA B149.1-10-

CONFIRM WITH MECH. DWGS.



CONTROL JOINT (CJ)





END DAM DETAIL

W/ ACRYLIC CAULKING, TYP

LOW EXPANSION SPRAYFOAM INSULATION

FILL AROUND STEEL BRACKET, FOR DEPTH

OF EIFS INSULATION. SEAL EXTERIOR FACE

1Y2"X1Y2" 18GO GALV. METAL

STUD W/ SELF TAPPING SCREWS

WINDOW FRAME ATTACHMENT

ANGLE FASTENED TO STEEL

8" O.C & %" PLYWOOD FOR

WRAP PLYWOOD SILL TO EXT. SHEATHING

WITH THRU—WALL MEMBRANE FLASHING

TO AIR/MOISTURE SEAL. PROVIDE MIN. 3"

CONTINUOUS FOAM BACKER-

ROD & SILICONE CAULKING

NEOPRENE GASKET ---

\V PADLOCK HASPS-

25MM FIBERGLASS

COVER INSULATION

PINTLE HINGE-

LIFTING MECHANISM——

T/O DECK

60MIL TPO ROOF MEMBRANE SYSTEM

(FIRESTONE OR APPROVED EQUAL)

BONDING AGENT R35 POLYISO RIGID

INSULATION SOPREMA SOPRAVAP'R

VAPOUR BARRIER 1 1/2" METAL ROOF DECK (SEE STRUCT. DWGS) O.W.S.J.

(SEE STRUCT. DWGS)

ROOF HATCH SUPPORT

REFER TO STRUCT. DWGS.

O.W.S.J. BEYOND -

1. PROVIDE INTERIOR LOCKING DEVICE TO SECURE HATCH.

2. REFER TO PLANS/SCHEDULES FOR ROOF CONSTRUCTION.

3. ROOF HATCH TO BE 762X914MM BY BILCO OR EQUIVALENT.

CONFIRM OPENING WITH MANUFACTURER, PROVIDE INTERIOR

BLOCKING DEVICE TO SECURE HATCH. CONNECT TO ALARM SYSTEM

WHERE APPLICABLE - ROOF HATCH TO BE 30"X36" BY BILCO OR EQUAL.

SECTION AT ACCESS HATCH

CONNECT TO ALARM SYSTEM WERE APPLICABLE.

STEEL SAFETY CAGE

REFER TO MANUF. SPEC'S-

INSIDE & OUTSIDE HANDLES

PERIMETER OF WINDOW FRAME

OVERLAPPED JOINTS, TYP

SCALE= N.T.S.

DETAILED SHAPES PROVIDED ARE (INCLUDING BUT NOT LIMITED) DESIGNED BY OTHERS - PROVIDE CONSTRUCTION.

. REFER TO ELEVATIONS FOR COLOR, MANUFACTURER AND WARRANTY.

— CONTINUOUS 10 MIL POLY VAPOUR

BARRIER @ INTERIOR, TUCK TAPED

@ SEAMS & DEVICE PENETRATIONS

HSS, REFER TO STRUCT. DWG'S

—FOR INFO. CONNECTION TO STEEL

STUD BY STEEL STUD SUPPLIER

-3/4" PLYWOOD FOR WINDOW

FRAME ATTACHMENT (SEE STRUC. DWG'S FOR INFO.)

—DRYVIT AQUA FLASH SYSTEM

-GYPSUM HEAD C/W BACKER

ROD & SILICONE CALUKING @

PERIMETER OF WINDOW FRAME

DEPTH) & PT WOOD SHIMS TO

OF WINDOW FRAME

5 1/2"

—GASKET (ALL AROUND COVER)

—ARM GUIDE

BRACKET

AUTOMATIC

OPEN ARM

W/ NYLON

ROLLER

- RED VINYL GRIP,

WINDOW HEAD FLASHING DETAIL

PRE-FIN. ALUM. THERMAL WINDOW,

C/W NON-EXPANDING FOAM INSUL. @

PERIMETER OF WINDOW FRAME (FULL

FACILITATE INSTALLATION/LEVELUNG

-BILCO TYPE E ROOF SCUTTLE

30"X36" (CLEAR OPENING) C/W

INSULATED CURB AND COVER.

LOCK, SEPARATE PADLOCK CLASP,

-PREFIN. METAL FLASHING RUN THREE

PLIES OF MEMBRANE FLASHING TO

TOP OF CURB & ANCHOR TO WOOD

ROOF MEMBRANE RUN TOP ROOF

-2"X6" BLOCKING AS REQ'D TO

SECURE METAL BRACKET

-3/4" STEEL BAR LADDER

-5/8" TYPE 'X' FIRECODE

-3/8"X2" BENT METAL

BRACKET @ 48" O/C

GYPSUM BOARD EACHSIDE

ON 6" METAL STUDS @ 16"0/C

-END OF STRINGER BENT 3" WITH

1/2" Ø S/S ANCHOR BOLT TO FLOOR

RUNGS @ 12" O/C MAX. (TYP.)

-3/8"X3" FLAT STEEL

BAR - STRINGER

BLOCKING EXTEND DOWN ONTO TPO

MEMBRANE UP & OVER TOP OF CURB

LAPPED @ EXTERIOR & LAPPED W/

VAPOUR BARRIER @ INTERIOR JAMB

. DETAILS, CONNECTIONS, AND

2. ALL ELEVATION DECORATION

CONNECTIONS, AND OTHERS ARE

STAMPED SHOP DRAWINGS PRIOR TENDERING, FABRICATION, AND

SIGNAGE, CANOPY DETAILS

SCHEMATIC ONLY.

. REFER TO WALL ASSEMBLYS FOR THICKNES AND SIZES OF THE MATERIALS.

Consultant: NGACAKU ARCHITECTURE INC

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Seneral Notes

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1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

TYPICAL DETAILS I

Scale: AS INDICATED Drawn By: D.H. Plot Date: APR 02, 2024 Checked By: K.N.

Project Date: JAN 2024 Project No: 2023-102

Drawing No:

Revision

- ROOF MEMBRANE SLOPE 2% MIN. 1" RIGID INSULATION— METAL LADDER — STEEL ANGLE, REFER TO STRUCTURAL DWG'S FOR INFO-ROOF ACCESS HATCH CURB DETAIL SCALE= N.T.S. WROUGHT IRON STRAP SECURE TO SUPPORT & COAT WITH RUST —QUICK BLOCK PLASTIC GAS LINE PREVENTATIVE PAINT SIZE TO SUPPORT PLACED @10'-0"/C & WITHIN PERMIT THERMAL MOVEMENT 2-0" OF CHANGE IN DIRECTION GAS PIPE, REFER TO MECH DWGS. ALL -12"X24"X1/2" RIGID INSULATION, AS PIPING TO BE PAINTED ON ROOF & IN REQ'D, BELOW GAS LINE SUPPORT THE BLDG. PER CAN/CSA B149.1-10-

PROVIDE PADDLE

REKEYABLE

LOCK RK-134-3000

PAD LOCK W/ SOLID

BRASS CYLINDER-

- INSULATED METAL ROOF SCUTTLE

SD-20 OR EQUAL

FULLY WELDED)

SIDES OF WALL @ 12" O.C.

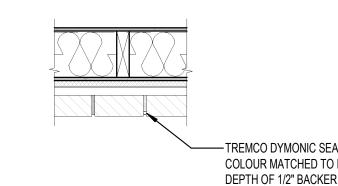
2' - 6" X 3' - 0" OPG. BILCO MODEL NO.

-FRAME W/ CAP FLASHING (CORNERS

-TERMINATION BAR FASTENED TO BOTH

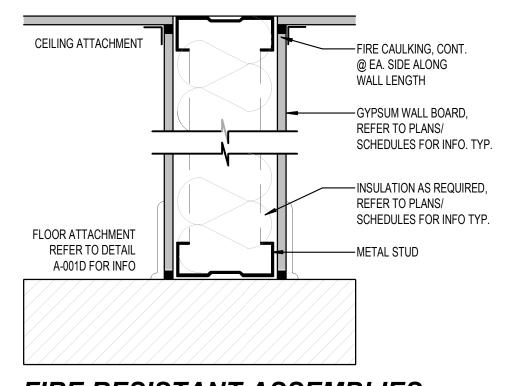
GAS PIPE ROOF SUPPORT DETAIL

SCALE= N.T.S.

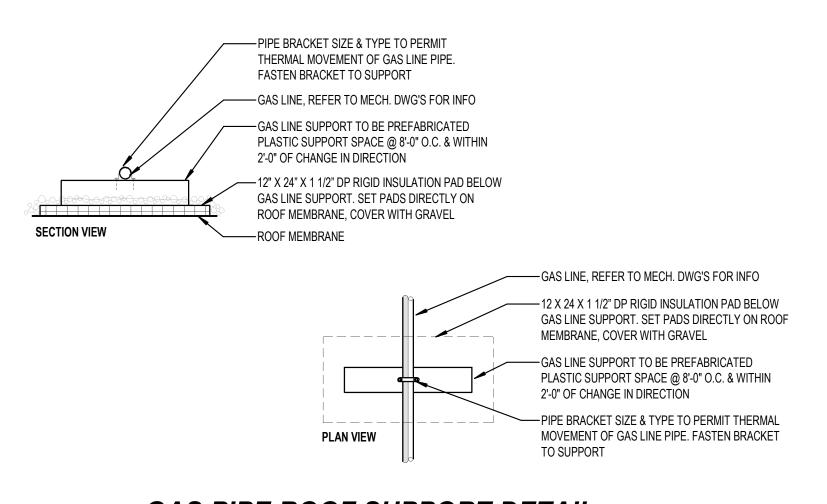


SCALE= N.T.S.

TYPICAL CONTROL JOINT IN FACE BRICK & MASONRY VENEERS

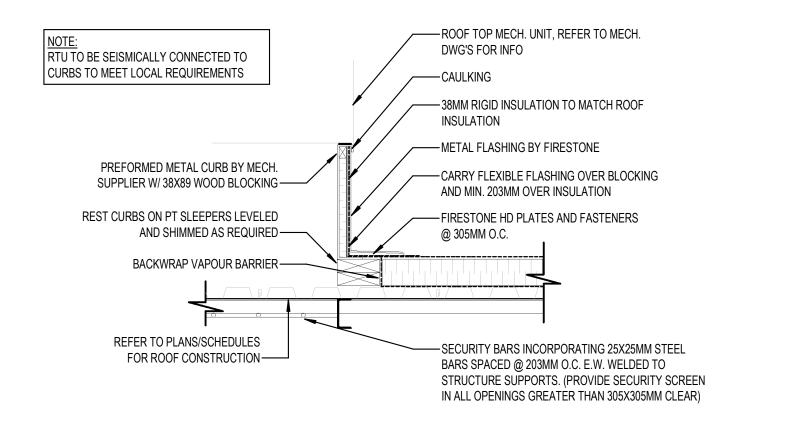


FIRE RESISTANT ASSEMBLIES **PARTITION SECTION** SCALE= N.T.S.



GAS PIPE ROOF SUPPORT DETAIL

SCALE= N.T.S.



MECH. UNIT ROOF CURB DETAIL

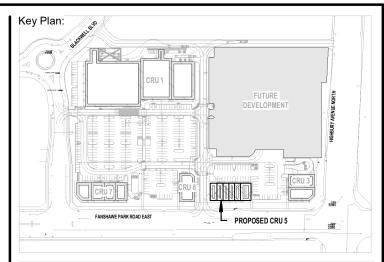
SCALE= N.T.S.

1. DETAILS, CONNECTIONS, AND DETAILED SHAPES PROVIDED ARE SCHEMATIC ONLY.

2. ALL ELEVATION DECORATION (INCLUDING BUT NOT LIMITED) SIGNAGE, CANOPY DETAILS CONNECTIONS, AND OTHERS ARE DESIGNED BY OTHERS - PROVIDE STAMPED SHOP DRAWINGS PRIOR TENDERING, FABRICATION, AND CONSTRUCTION.

3. REFER TO ELEVATIONS FOR COLOR, MANUFACTURER AND WARRANTY.

4. REFER TO WALL ASSEMBLYS FOR THICKNES AND SIZES OF THE MATERIALS.



Consultant:





CS@CREATIVESTR.CA

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2 APR 02, 2024 1 Jan 31, 2024

ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD. EAST. - CRU #5 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

TYPICAL DETAILS II

Drawn By: D.H.

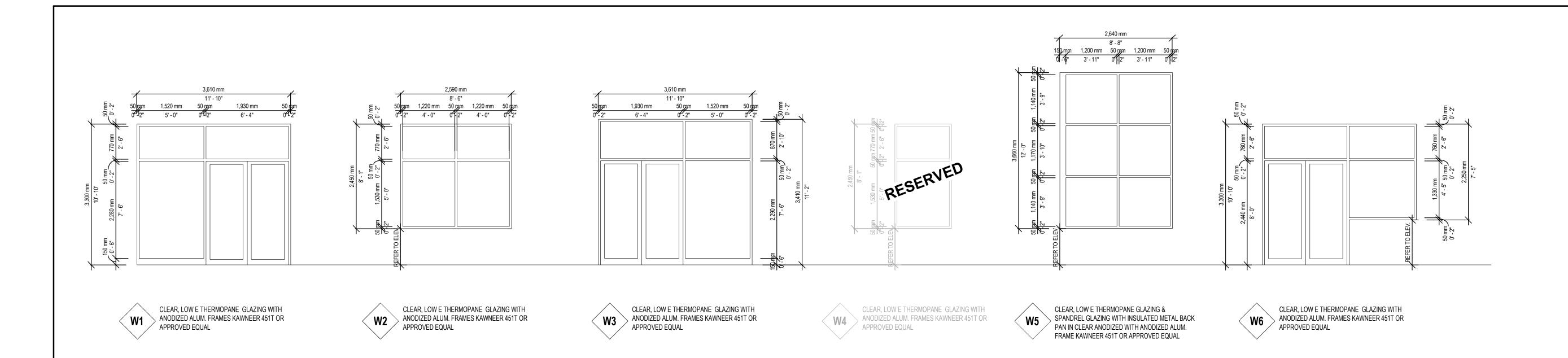
Scale: AS INDICATED

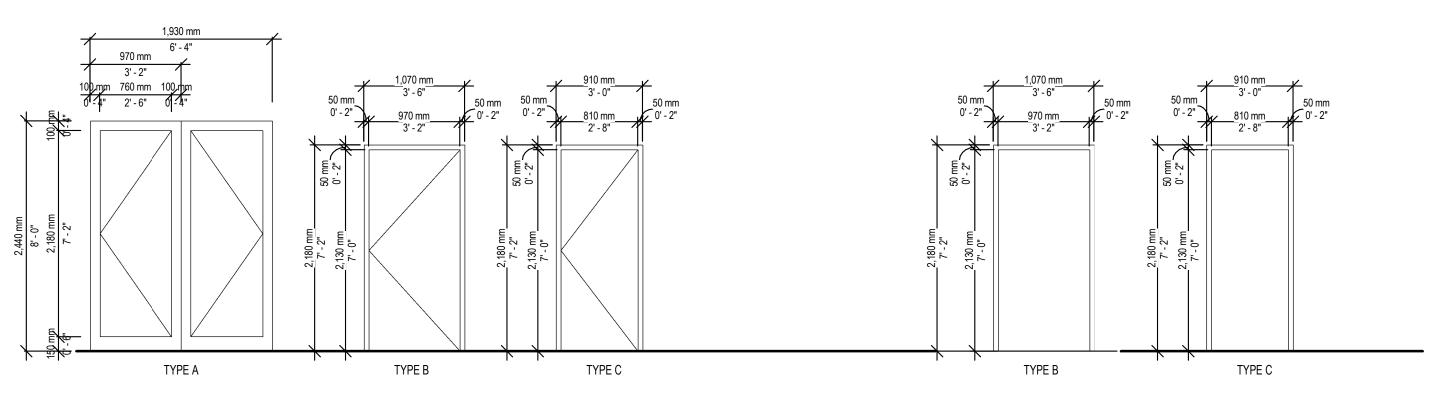
Project Date: JAN 2024

Project No: 2023-102

Checked By: K.N.

Plot Date: APR 02, 2024





DOOR TYPE

FRAME TYPE

DO	OR SCHEDUI	LE																												
DOOR				FRAME									HARDWARE																	
No.	LOCATION	TYPE	DOOR SIZES	MATERIAL	FINISH	FIRE RATING	GLAZING	TYPE	MATERIAL	FINISH	FIRE RATING	THERMALLY BROKEN	PASSAGE SET LEVER HANDLE	PRIVACY SET LEVER HANDLE	LOCK SET	THUMB TURN	FLUSH BOLT	CLOSER	PUSH / PULL	PANIC HARDWARE	INSULATED	WEATHER STRIPING	NON-SLIP THRESHOLD	DOOR SWEEP	DOOR STOP	KICK PLATE	ELECTROMAGNETIC STRIP	CARD READER	POWER DOOR OPERATOR	
D01-1	MAIN ENTRANCE	Α	2 - 3'-2" x 8'-0" x 1 3/4"	ALUM	ANOD		SDG/TEMP	W1	ALUM	ANOD		•			•	•	-	•	•	•	•	•	•	•	•				•	
D01-2	RECEIVING	В	3'-2" x 7'-0" x 1 3/4"	H.M.	PRIME/ PAINT		SDG/TEMP	В	H.M.	PRIME/ PAINT		•			•	•		•	•	•	•	•	•	•	•			-		
D02-1	MAIN ENTRANCE	Α	2 - 3'-2" x 8'-0" x 1 3/4"	ALUM	ANOD		SDG/TEMP	W6	ALUM	ANOD		•			•	•		•	•	•	•	•	•	•	•				•	
D02-2	RECEIVING	В	3'-2" x 7'-0" x 1 3/4"	H.M.	PRIME/ PAINT		SDG/TEMP	В	H.M.	PRIME/ PAINT		•			•	•		•	•	•	•	•	•	•	•					
D03-1	MAIN ENTRANCE	Α	2 - 3'-2" x 8'-0" x 1 3/4"	ALUM	ANOD		SDG/TEMP	W3	ALUM	ANOD		•			•	•	-	•	•	•	•	•	•	•	•				•	
D03-2	RECEIVING	В	3'-2" x 7'-0" x 1 3/4"	H.M.	PRIME/ PAINT		SDG/TEMP	В	H.M.	PRIME/ PAINT		•			•	•		•	•	•	•	•	•	•	•			-		
D04-1	MAIN ENTRANCE	Α	2 - 3'-2" x 8'-0" x 1 3/4"	ALUM	ANOD		SDG/TEMP	W1	ALUM	ANOD		•			•	•		•	•	•	•	•	•	•	•				•	
D04-2	RECEIVING	В	3'-2" x 7'-0" x 1 3/4"	H.M.	PRIME/ PAINT		SDG/TEMP	В	H.M.	PRIME/ PAINT		•			•	•		•	•	•	•	•	•	•	•					
D05-1	MAIN ENTRANCE	Α	2 - 3'-2" x 8'-0" x 1 3/4"	ALUM	ANOD		SDG/TEMP	W6	ALUM	ANOD		•			•	•		•	•	•	•	•	•	•	•				•	
D05-2	RECEIVING	В	3'-2" x 7'-0" x 1 3/4"	H.M.	PRIME/ PAINT		SDG/TEMP	В	H.M.	PRIME/ PAINT		•			•	•		•	•	•	•	•	•	•	•					
D06-1	MAIN ENTRANCE	А	2 - 3'-6" x 8'-0" x 1 3/4"	ALUM	ANOD		SDG/TEMP	W1	ALUM	ANOD		•			•	•	-	•	•	•	•	•	•	•	•			-	•	
D06-2	RECEIVING	В	3'-2" x 7'-0" x 1 3/4"	H.M.	PRIME/ PAINT		SDG/TEMP	В	H.M.	PRIME/ PAINT		•			•	•		•	•	•	•	•	•	•	•					
D07-3	UTILITY ROOM	С	3'-2" x 7'-0" x 1 3/4"	H.M.	PRIME/ PAINT			С	H.M.	PRIME/ PAINT					•	•		•					•		•					

ENTRY DOOR REQUIREMENTS: COMPLETE WITH A THRESHOLD AND LOCK GUARD AND WIRED AUTO-OPERATOR TO STANDARDS SPECIFIED BY TENANT. AUTOMATIC DOOR OPENER TO MAIN EXTERIOR DOOR.

RECEIVEING DOOR REQUIREMENTS: COMPLETE WITH A THRESHOLD AND LOCK GUARD.

ENTRY DOOR REQUIREMENTS: COMPLETE WITH A THRESHOLD AND LOCK GUARD AND WIRED AUTO-OPERATOR TO STANDARDS SPECIFIED BY TENANT. AUTOMATIC DOOR OPENER TO MAIN EXTERIOR DOOR.

RECEIVEING DOOR REQUIREMENTS: COMPLETE WITH A THRESHOLD AND LOCK GUARD.

GENERAL WINDOW NOTES

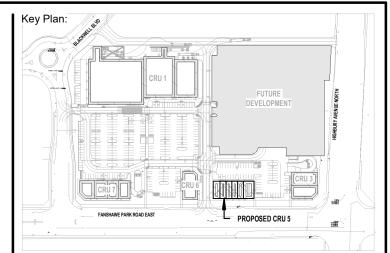
- 1. WINDOW SUPPLIER SHALL SITE MEASURE ALL OPENINGS % REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO WINDOW
- OPENINGS DIMENSIONED ON FLOOR PLANS, SECTIONS, DETAILS & WINDOW SCHEDULE ARE NOMINAL.
- WINDOW SUPPLIER SHALL PROVIDE PREFINISHED ALUMINUM CLOSURE TRIM TO SUIT OPENINGS AS REQUIRED. COLOUR OF TRIM TO MATCH COLOUR OF WINDOW FRAMES.
- PROVIDE CAULKING AROUND ALUMINUM WINDOW FRAMES INSIDE & OUT. CAULKING COLOUR TO MATCH COLOUR OF FRAMES.
- LOW E GLAZING TO MEET ALL REQUIREMENTS FOR ENERGY EFFICIENCY OF SB-10, ASHRAE 9.01.
- WINDOW FRAME FINISH & GLASS TINT TO BE CONFIRMED BY OWNER PRIOR TO ORDERING.

SUBMIT SHOP DRAWINGS AS REQUIRED BY THIS WORK, THE CONSULTANTS OR BY AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR SHALL CHECK, SIGN AND MAKE NOTATIONS HE CONSIDERS NECESSARY ON SHOP DRAWINGS BEFORE EACH SUBMISSION TO CONSULTANTS. SHOP DRAWING REVIEW BY CONSULTANTS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT AND IS A PRECAUTION AGAINST OVERSIGHT OR ERROR. THIS REVIEW SHALL NOT MEAN THAT THE CONSULTANT APPROVES THE DETAIL DESIGN INHERENT IN THE SHOP DRAWINGS, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS, OMISSIONS OR MEETING ALL THE REQUIREMENTS OF THIS CONTRACT.

- GL: DENOTES GLAZING SP: DENOTES GLASS SPANDREL
- AC: DENOTES PREFIN. ALUM. CLOSURE FINISH TO MATCH WINDOW FRAME.

GENERAL DOOR NOTES

- 1. DOOR & FRAME SUPPLIER (HOLLOW METAL & ALUMINUM) SHALL PROVIDE ALL REQUIRED CLOSURE TRIM FOR ALL EXTERIOR FRAMES TO SUIT CORRESPONDING OPENINGS.
- PROVIDE WEATHERSTRIPPING TO ALL EXTERIOR & FIRE RATED
- EXTERIOR HOLLOW METAL DOORS & FRAMES TO BE 18g AND HAVE
- G90 GALVANIZED FINISH OR APPROVED EQUAL. PROVIDE CAULKING AROUND ALL EXTERIOR HOLLOW METAL & ALUMINUM DOOR FRAMES INSIDE & OUT. CAULKING COLOUR TO MATCH COLOUR OF FRAMES.
- ALL COLOURS TO BE CHOSEN BY OWNER. ALUMINUM DOOR SUPPLIER SHALL PROVIDE REQUIRED HARDWARE
- AS LISTED ON THE DOOR SCHEDULE FOR ALUMINUM DOORS. EXTERIOR AND INTERIOR DOOR SUPPLIERS SHALL SITE MEASURE
- AND CONFIRM OPENINGS PRIOR TO FABRICATION AND INSTALLATION. CONTRACTOR MUST CONFIRM ALL DOOR TYPES, MATERIAL &
- FINISHES WITH OWNER PRIOR TO CONSTRUCTION. GLASS IN ALL DOORS SHALL BE 1/4" CLEAR TEMPERED OR LAMINATED
- SAFETY GLASS.
- ALL HARDWARE TO BE MEDIDM DOTY, COMMERCIAL GRADE.
- DOOR CLOSER TO BE MOUNTED ON DOOR FRAME. PROVIDE 3 KEYS PER LOCKSET.
- BARRIER FREE DOOR ACCESS PADDLES MOUNTED ON WINDOW OR DOORS MULLIONS ARE TO BE REMOTELY CONNECTED TO DOOR OPERATOR B/F DOOR PADDLE MOUNTED ON INTERIOR WALL TO BE FLUSH MOUNTED IN WALL & HARDWIRED TO DOOR OPERATOR.
- 14. ALL HARDWARE TO BE SUPPLIED WITH ALL REQUIRED ACCESSORIES.



Consultant:



NGACAKU ARCHITECTURE INC

CS@CREATIVESTR.CA

General Notes:

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2 APR 02, 2024 1 Jan 31, 2024 Date

ISSUES/REVISION TABLE

1300 FANSHAWE PARK

ROAD. EAST. - CRU #5 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

Drawing Title:

DOOR & WINDOW SCHEDULE

Scale: AS INDICATED Drawn By: D.H. Plot Date: APR 02, 2024 Checked By: K.N.

Project Date: JAN 2024

Project No: 2023-102 Drawing No: