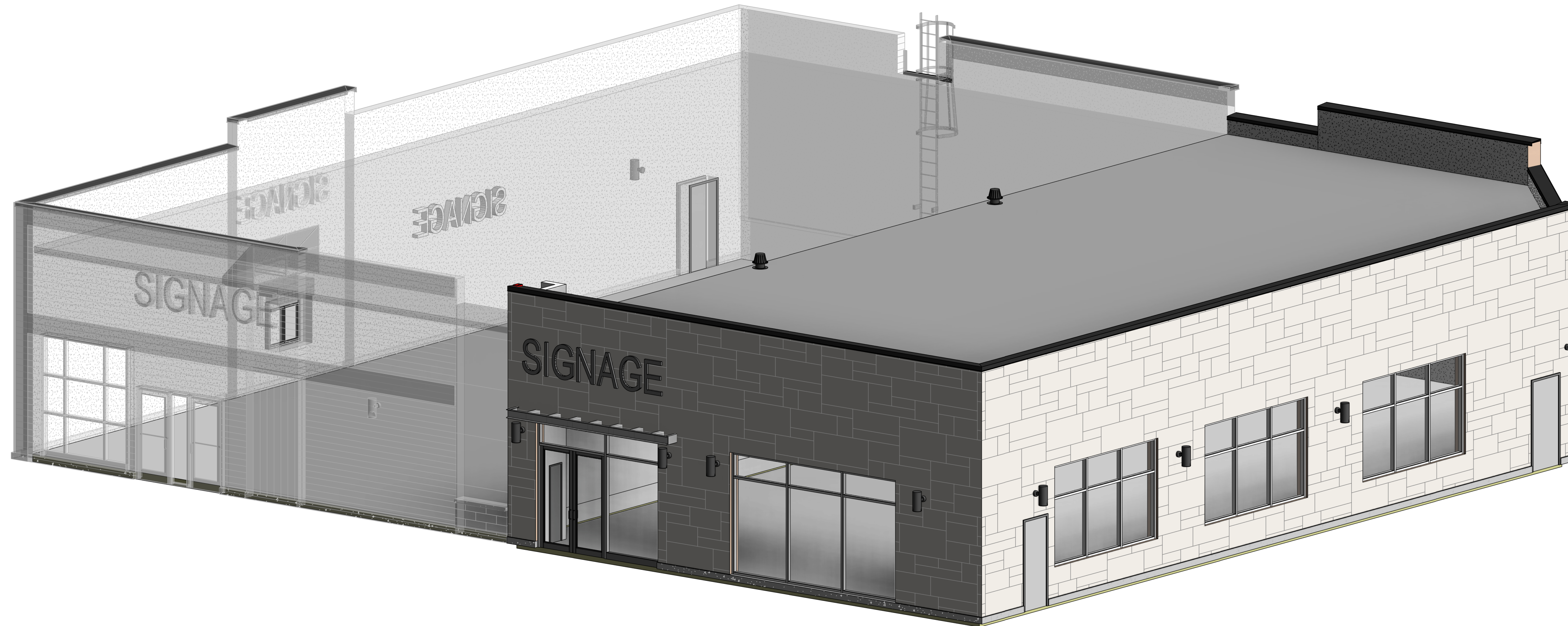


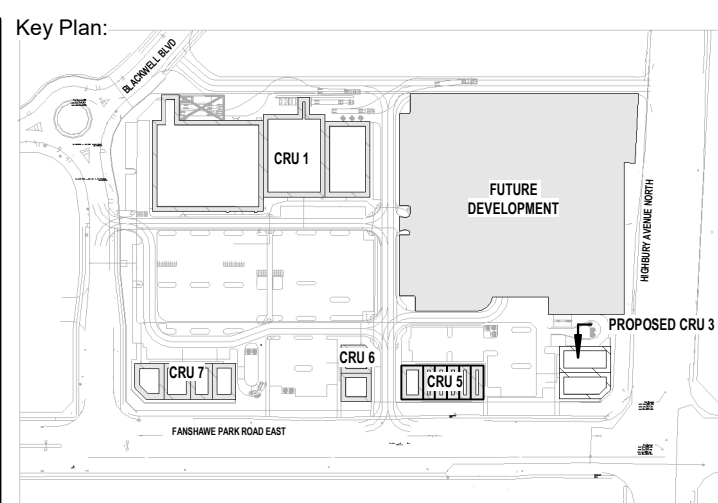
1300 FANSHAWE PARK RD. EAST. - CRU #3 UNIT B ARCHITECTURAL DRAWINGS PROJECT #2023-102

1300 FANSHAWE PARK RD. EAST. LONDON, ON.



3D PERSPECTIVE VIEW

SCALE = N.T.S.
SCHEMATIC ONLY - NOT FOR CONSTRUCTION



Consultant:



CS@CREATIVESTR.CA

Consultant:



Seal: North Arrow:

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No.	Date	Revision
2	APR. 02, 2024	ISSUED FOR TENDER
1	JAN 31, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

Project:



1300 FANSHAWE PARK RD.
EAST. - CRU #3 UNIT B
1300 FANSHAWE PARK RD. EAST. LONDON, ON.

Drawing Title:

COVER SHEET

Drawn By: D.H. Scale: AS INDICATED

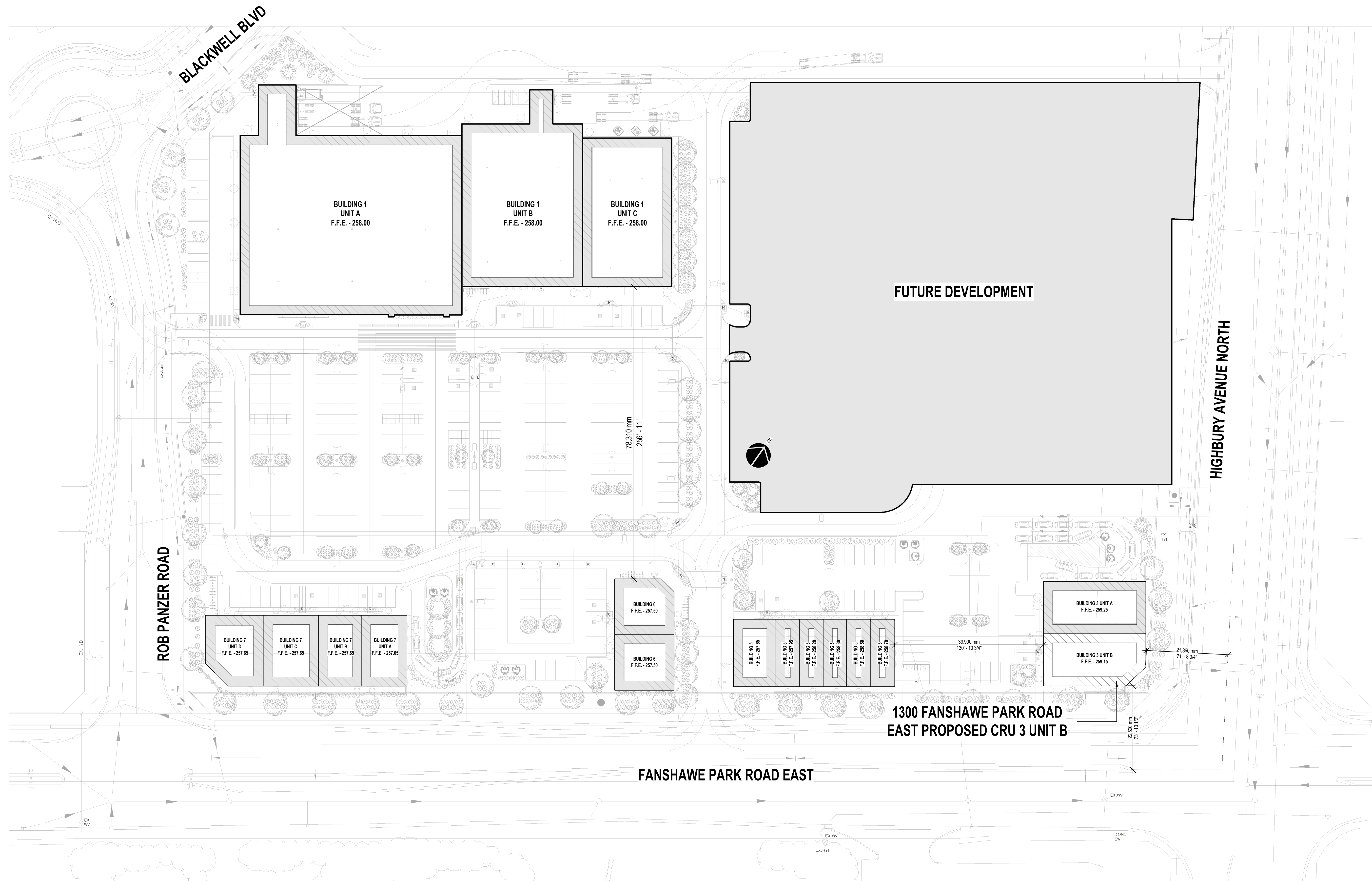
Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: Revision

A-0.0 **2**



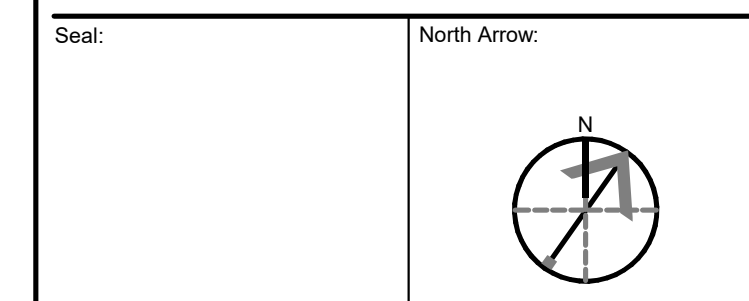
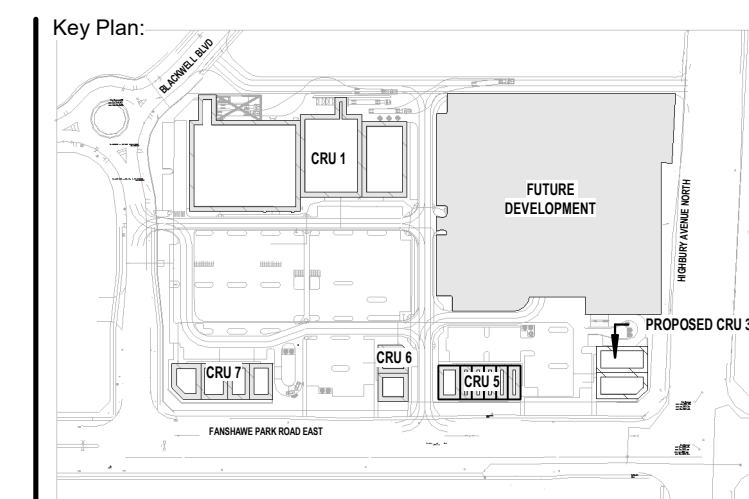
SITE PLAN

SCALE: 1 : 500

REFERENCES - SITE PLAN INFORMATION

- SITE PLAN INFORMATION TAKEN FROM SITE PLAN, LEGEND, ZONING CHART ISSUED ON NOV 02, 2023
- SITE PLAN PREPARED BY SBM DATED FEBRUARY 14, 2024

REFERENCED SITE PLAN REFER TO SITE PLAN BY OTHERS FOR INFORMATION REVIEW



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2	APR. 02, 2024	ISSUED FOR TENDER

ISSUES/REVISION TABLE

Project:
WESTDELL DEVELOPMENT CORP
 1300 FANSHAWE PARK RD. EAST. - CRU #3 UNIT B
 1300 FANSHAWE PARK RD. EAST, LONDON, ON

Drawing Title:

SITE PLAN

Drawn By: D.H. Scale: AS INDICATED
 Checked By: K.N. Plot Date: APR 02, 2024
 Project Date: JAN 2024
 Project No: 2023-102

Drawing No: **A-0.1** Revision: **2**

WALL ASSEMBLIES SCHEDULE GENERAL NOTES

- FIRESTOP CAULKING TO SEAL JOINTS WHERE GYPSUM BOARD PARTITION ABUTTS FLOOR, U/S OF STRUCTURE, CONCRETE MASONRY UNIT (CMU) AND ALL PENETRATIONS THRU FIRE SEPARATIONS, TYP.
- REFER TO FLOOR PLANS FOR LOCATION OF WALLS BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- CONFIRM WALL THICKNESS WITH STRUCTURAL DRAWINGS.
- ALL GYPSUM BOARD SURFACES SHALL BE PAINTED 1 COAT PRIMER, 2 COATS FINISH.
- EGGSHELL SHEEN ON WALLS, SEMI-GLOSS IN KITCHENS ABOVE COUNTER, BATHROOM WALLS, AND DOORS/FRAMES; FLAT SHEEN CEILINGS.
- REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL CONCRETE WALL TYPES, MATERIALS, THICKNESS, TYP. MAX 2" THICK LIFT OF SPRAYFOAM INSULATION PER PASS.
- CONC. BLOCK TOP LATERAL SUPPORT METAL CLIP ANGLES REQUIRED, REFER TO STRUCTURAL DWGS, TYP.
- PROVIDE SAME THICKNESS WATER RESISTANT GYPSUM BOARD BEHIND & BESIDE WATER FIXTURES TYP.
- ALL PARTITIONS SHALL BE PROVIDED WITH LATERAL STABILITY/CROSS BRACING AT TOPS OF FRAMING FOR LATERAL SECUREMENT.
- PAINT ALL STEEL EXPOSED TO VIEW, NEW STRUCTURAL STEEL SHALL BE PRIMED AND PAINTED.
- PROVIDE TILE BACKER BOARD BEHIND ALL WALL TILE.
- PROVIDE ADEQUATE BLOCKING IN WALLS/PARTITIONS TO SUPPORT/SECURE ALL ITEMS FIXED TO WALL, TYP. UNLESS OTHERWISE NOTED, ALL PARTITIONS SHALL BE CONSTRUCTED UP TO U/S STRUCTURE ABOVE. FOLLOW TYP. DETAIL FOR FIRE RATED PARTITION FINISHING.
- REFER TO GEOTECHNICAL REPORT FOR ALL EARTH, MOISTURE, BEARING AND METHANE GAS PROTECTION DESIGN RELATED INFORMATION THAT MAY AFFECT BUILDING ASSEMBLIES AND CONSTRUCTION PROCESSES, TYP.
- REFER TO GEOTECHNICAL REPORT FOR ALL GROUND WATER CONTROL AND WEEP TILE @ FOOTINGS RECOMMENDATIONS.

FLOOR/ROOF ASSEMBLIES SCHEDULE GENERAL NOTES

- REFER TO SECTIONS FOR LOCATION OF FLOOR/ROOF BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- CONFIRM FLOOR/ROOF THICKNESS WITH STRUCTURAL DRAWINGS, REPORT ANY DISCREPANCIES TO THE ARCHITECT (IF REQUIRED).

EXTERIOR WALLS TYPE SCHEDULE

EW5

- DRYVIT OUTSULATION MD CW V-GROOVES - SEE ELEVATION FOR COLOUR AND INFO. PROVIDE PLASTIC WEEP VENTS, CAULKING AT WALL BASE
- 4" EXPANDED POLYSTYRENE INSULATION WITH P.U.C. DRAINAGE SYSTEM DRYVIT BACKSTOP
- NT-TEXTURE AIR BARRIER APPLIED OVER ENTIRE SUBSTRATE SURFACE
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

PROVIDED REINFORCED, HIGH IMPACT ARMOUR MESH TO 4'-0" AFF TO ALL STUCCO TREATMENT. REFER TO ELEVATIONS FOR EIFS COLOUR

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

EW7

- DRYVIT OUTSULATION MD CW V-GROOVES - SEE ELEVATION FOR COLOUR AND INFO. PROVIDE PLASTIC WEEP VENTS, CAULKING AT WALL BASE
- 4" EXPANDED POLYSTYRENE INSULATION WITH P.U.C. DRAINAGE SYSTEM DRYVIT BACKSTOP
- NT-TEXTURE AIR BARRIER APPLIED OVER ENTIRE SUBSTRATE SURFACE
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

PROVIDED REINFORCED, HIGH IMPACT ARMOUR MESH TO 4'-0" AFF TO ALL STUCCO TREATMENT. REFER TO ELEVATIONS FOR EIFS COLOUR

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

INTERIOR WALLS TYPE SCHEDULE

EW5b

- 1/2" TYPE 'X' GYPSUM BOARD
- SOUND ATTENUATING BATT INSULATION
- 6" STEEL STUDS @ 16" o/c MAX. (SEE STRUCT.)
- 1/2" TYPE 'X' GYPSUM BOARD

EW7b

- (2) 1/2" TYPE 'X' GYPSUM BOARD
- SOUND ATTENUATING BATT INSULATION
- 6" STEEL STUDS @ 16" o/c MAX. (SEE STRUCT.)
- (2) 1/2" TYPE 'X' GYPSUM BOARD

WALL TYPE	REFR.	F.R.	S.T.C.	R (R.S.I)
W1 W1 INTERIOR - 6" METAL STUD 1/2" GWB - 1HR	ULC-U407	1 HR	51	

W3

- (1) 1/2" GYPSUM BOARD
- 190mm CONCRETE MASONRY UNIT (USE TYPE S or N CONCRETE WHERE 1/2" GWB LAMINATE IS NOT PROVIDED) (REFER TO STRUCTURAL)
- (1) 1/2" GYPSUM BOARD

WALL TYPE	REFR.	F.R.	S.T.C.	R (R.S.I)
W3 W3 INTERIOR - 190mm CONCRETE BLOCK 1/2" GWB - 2HR		2 HR	48	

FLOOR TYPE SCHEDULE

FL1

- C.I.P. CONC. SLAB-ON-GRADE WITH W.W.M.
- 10 MIL POLY VAPOUR BARRIER w/4" LAPPED JOINTS, TYP. ALL APPLICATIONS BENEATH CONC. S.O.G.
- R15 RIGID INSULATION 48" WIDE @ PERIMETER TYPE EXTRUDED POLYSTYRENE TYPE 3 OR 4
- 8" (MIN.) COMPACTED GRANULAR (SEE STRUCT. DWGS)

TO BE INSTALLED AS A SINGLE PLANE LEVEL SLAB W/ SMOOTH TROWELED FINISH READY TO ACCEPT TENANT FLOOR FINISH (COORDINATE WITH TENANT FITUP DWGS PRIOR TO INSTALLATION).

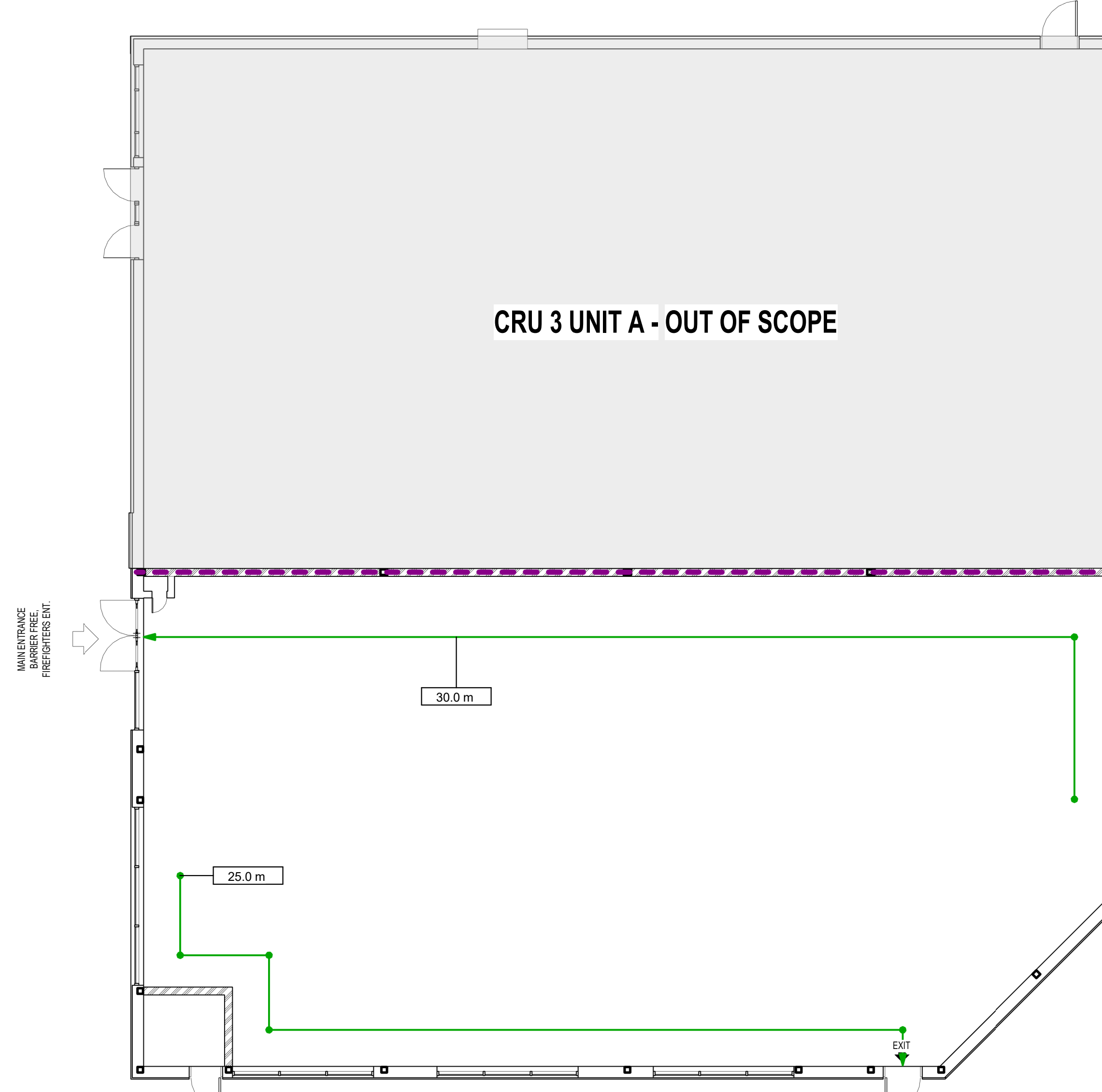
WALL TYPE	REFR.	F.R.	S.T.C.	R (R.S.I)
FL1 FL1 FLOOR - C.I.P. CONCRETE & R15 INSUL.				

ROOF TYPE SCHEDULE

RF1

- 60MIL TPO ROOF MEMBRANE SYSTEM (FIRESTONE OR APPROVED EQUAL)
- BONDING AGENT
- MIN. R-35 RIGID INSULATION, ACHIEVE ROOF SLOPE THROUGH STEEL SLOPES
- 6 mil VAPOUR BARRIER CONT. 5w/6"
- 3" METAL DECK (SEE STRUCT.)
- BEAM AND OSW/ SLOPED FOR DRAINAGE (SEE STRUCT.)

WALL TYPE	REFR.	F.R.	S.T.C.	R (R.S.I)
RF1 RF1 ROOF - MIN. R-35 INSUL. & 1-1/2" METAL DECK				

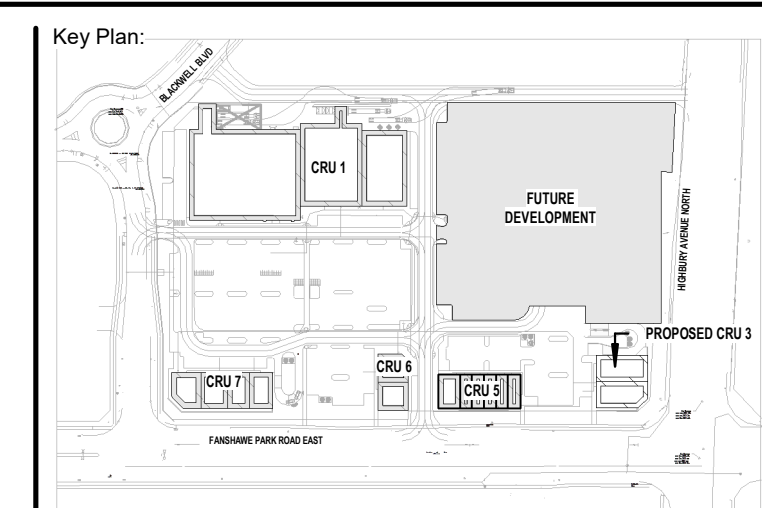


LIFE SAFETY PLAN

SCALE: 1 : 100

LIFE SAFETY LEGEND

- PATH OF TRAVEL
- 1HR FIRE RATED WALL
- 2HR FIRE RATED WALL
- EXIT SIGN W/ EMERGENCY LIGHT



Consultant:

CREATIVE STRUCTURES
CS@CREATIVESTR.CA

Consultant:

N'AJ NGACAKU ARCHITECTURE INC

Seal: _____ North Arrow: _____

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2	APR. 02, 2024	ISSUED FOR TENDER
1	JAN 31, 2024	60% ISSUED FOR CLIENT REVIEW
No.	Date	Revision

ISSUES/REVISION TABLE

Project:

WESTDELL
DEVELOPMENT CORP

1300 FANSHAWE PARK RD.
EAST. - CRU #3 UNIT B

1300 FANSHAWE PARK RD. EAST, LONDON, ON

Drawing Title:

ASSEMBLY TYPES

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

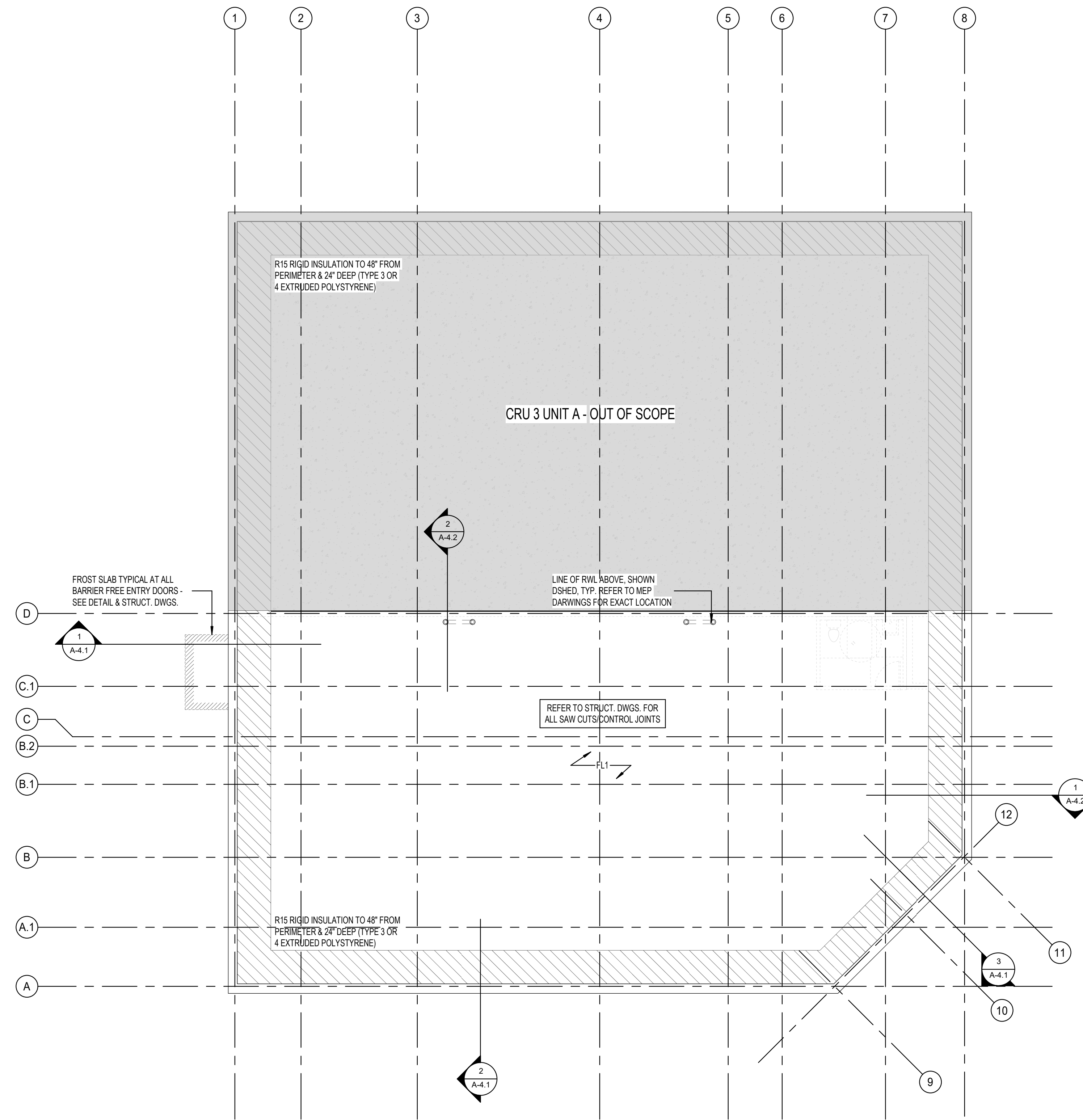
Project No: 2023-102

Drawing No: _____ Revision: _____

100mm (4") CONCRETE SLAB-ON-GRADE WITH 60xW2.9W2.9 W.W.M ON 100ML POLY VAPOUR BARRIER WITH 4" MIN. OVERLAP, TAPED R15 RIGID INSULATION TO 48" FROM PERIMETER & 24" DEEP (TYPE 3 OR 4 EXTRUDED POLYSTYRENE) ON 8" COMPACT GRAN. 'A' COMPACT GRAN. 'B' AS REQ'D (SEE STRUCT. DWGS)

REFER TO STRUCT. DWGS. FOR ALL SAW CUTS/CONTROL JOINTS, COLUMN, BEAM SIZING, AND LOCATION & SIZING OF ALL CROSS BRACINGS.

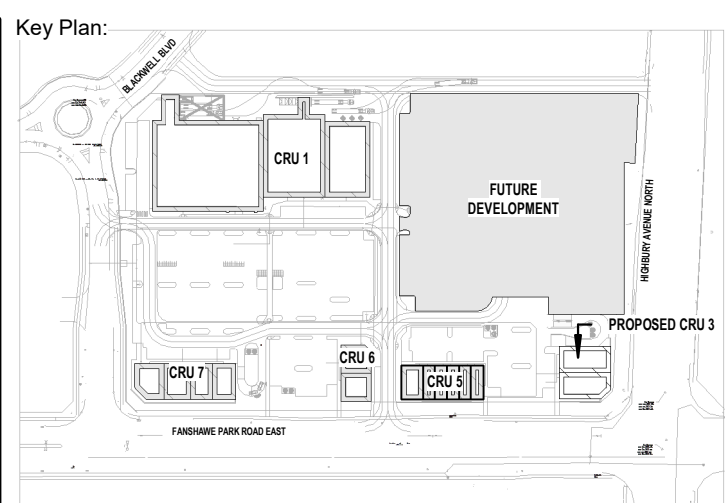
- NOTE:
- TOP OF SLAB-ON-GRADE IS AT 0' - 0" (259.15 GEODETIC - TO BE CONFIRMED ON SITE REFER TO SITE PLAN BY SBM DATED NOV 11, 2023).
 - REFER TO STRUCT. DWGS. FOR COLUMN & FOUNDATION INFORMATION.
 - ALL COLUMN BASE PLATES TO BE 200mm (8") BELOW TOP OF FLOOR ELEVATION UNLESS OTHERWISE NOTED ON STRUCT. DWGS.
 - EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE.
 - CONCRETE CONTRACTOR TO COORDINATE WITH ALL TRADES THE LOCATION OF ALL PIPE SLEEVES THROUGH FOUNDATION WALLS. PIPE SLEEVES MAY NOT BE PLACED WITHIN FOOTINGS. FOUNDATION MUST BE STEPPED DOWN TO ACCOMMODATE ELEVATION OF PIPE SLEEVES.
 - FOR REQUIREMENTS & SPECIFIC CONDITIONS FOR THIS SITE, REFER TO SOIL REPORT.
 - ALL FOUNDATION WORKS INCLUDING EXCAVATION, BACKFILL & COMPACTION SHALL CONFORM TO RECOMMENDATIONS FROM THE SOIL REPORT.
 - SOIL CONDITIONS & BEARING CAPACITY MUST BE APPROVED BY GEOTECH. ENGINEER



FOUNDATION PLAN

SCALE: 1 : 100

NOTE:
TO BE READ IN CONJUNCTION WITH THE STRUCTURAL FOUNDATION PLAN. REFER TO STRUCTURAL DWGS. FOR ALL REINFORCING, FOUNDATION WALL & PIERS SIZES & US OF FOOTING ELEVATIONS.



Consultant:

CS@CREATIVESTR.CA

Consultant:

Seal:

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Project:

1300 FANSHAWE PARK RD. EAST. - CRU #3 UNIT B
1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:

FOUNDATION PLAN

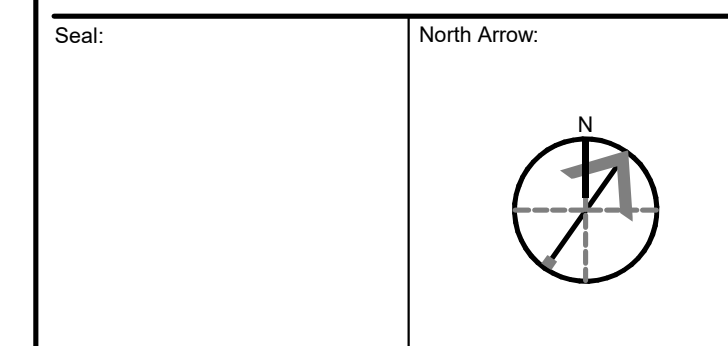
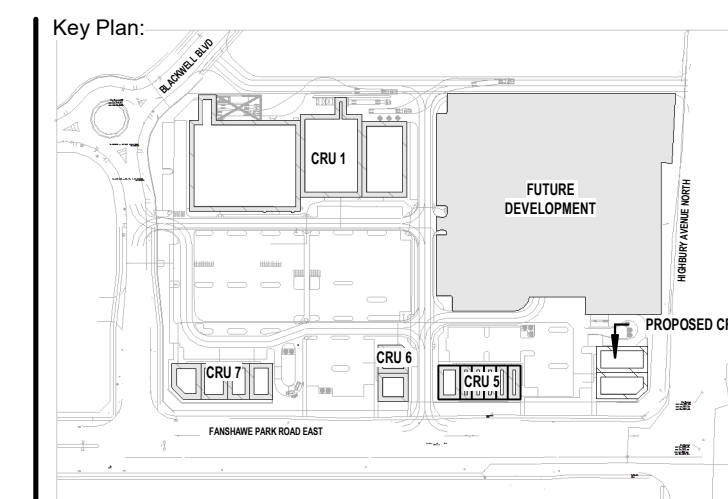
Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: **A-2.1** Revision: **2**



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No.	Date	Revision
2	APR. 02, 2024	ISSUED FOR TENDER
1	JAN 31, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

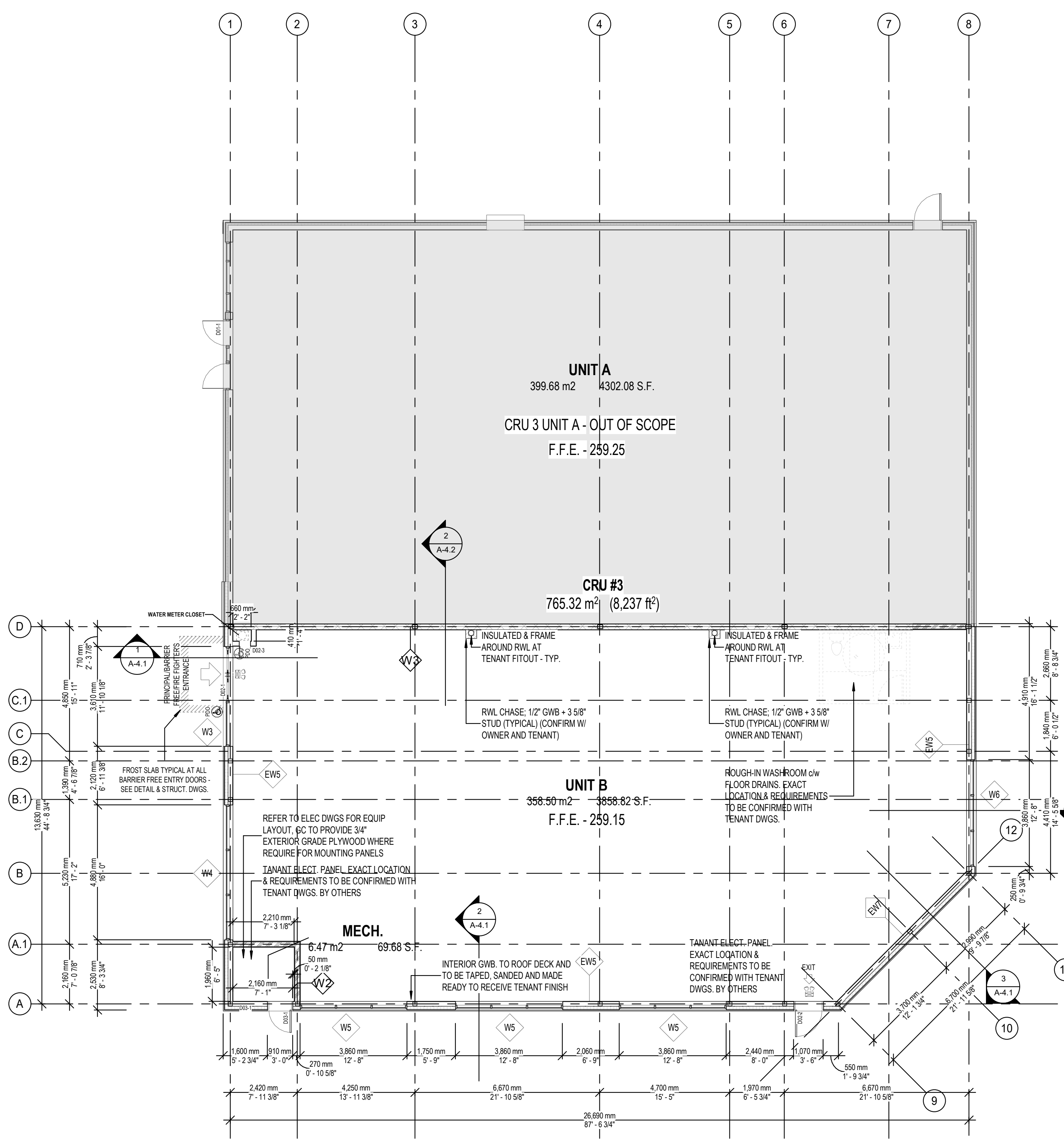
Project:
WESTDELL DEVELOPMENT CORP
 1300 FANSHAWE PARK RD.
 EAST. - CRU #3 UNIT B
 1300 FANSHAWE PARK RD. EAST, LONDON, ON

Drawing Title:

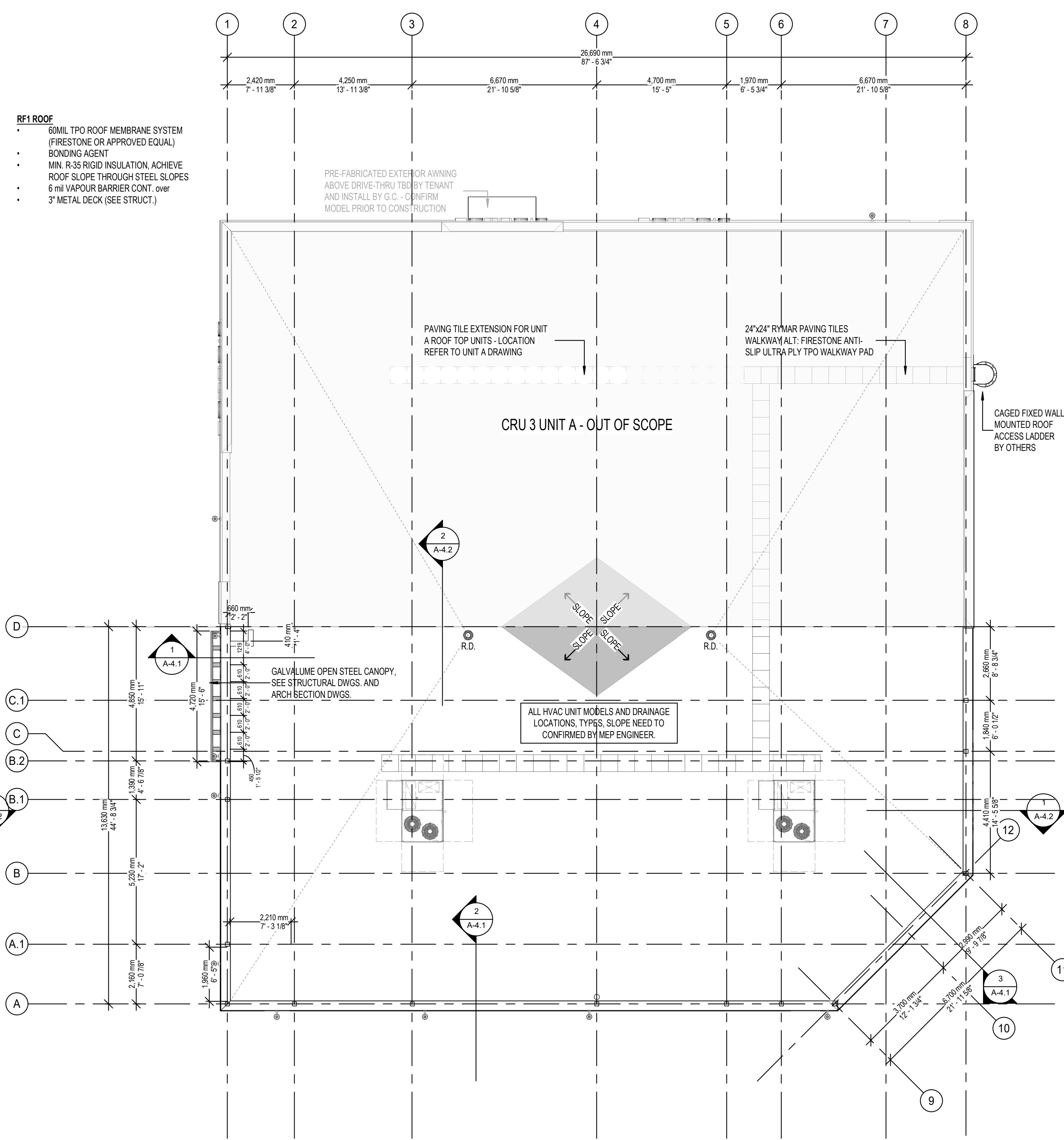
FLOOR AND ROOF PLAN

Drawn By: D.H. Scale: AS INDICATED
 Checked By: K.N. Plot Date: APR 02, 2024
 Project Date: JAN 2024
 Project No: 2023-102
 Drawing No: Revision

A-2.2 2



FLOOR PLAN
 SCALE: 1 : 100



ROOF PLAN
 SCALE: 1 : 100

RF1 ROOF
 • 60MIL TPO ROOF MEMBRANE SYSTEM (FIRESTONE OR APPROVED EQUAL)
 • BONDING AGENT
 • MIN. R-35 RIGID INSULATION, ACHIEVE ROOF SLOPE THROUGH STEEL SLOPES
 • 6 mil VAPOUR BARRIER CONT. over
 • 3" METAL DECK (SEE STRUCT.)

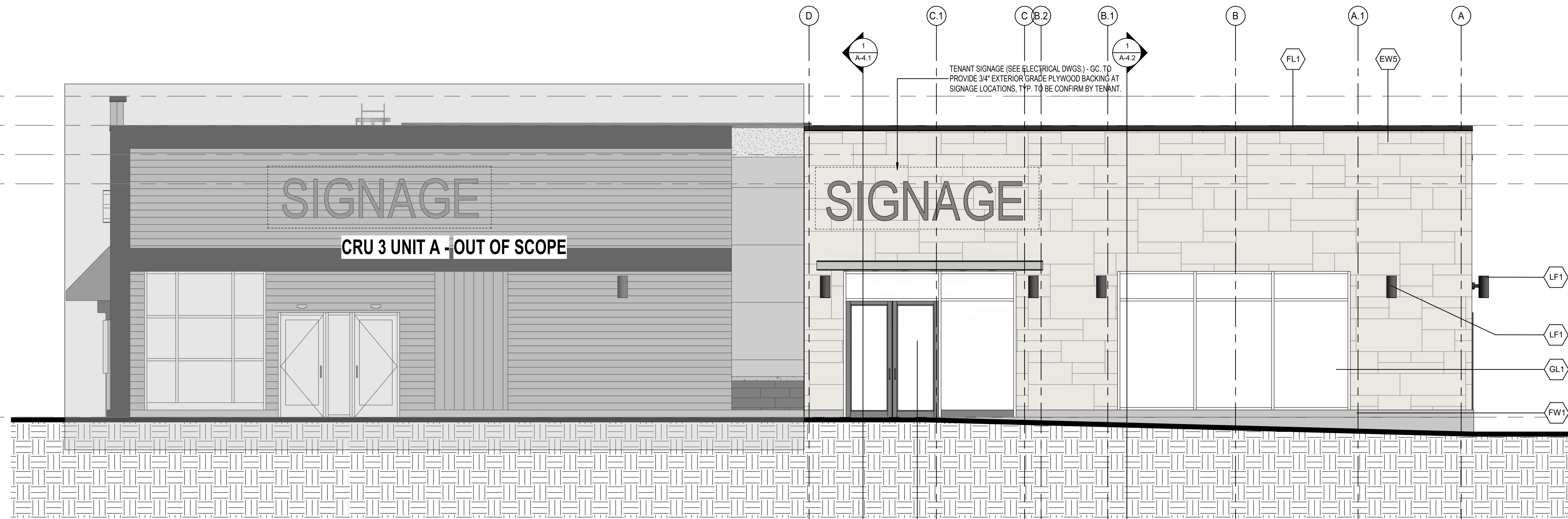
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- T/O HIGH PARAPET
22' - 0" (6,706)
- T/O MID PARAPET
20' - 0" (6,096)
- T/O LOW PARAPET
18' - 0" (5,486)
- T/O STEEL
16' - 0" (4,877)

- T/O SLAB UNIT B
0' - 0" (0)

WEST ELEVATION

SCALE: 1 : 50

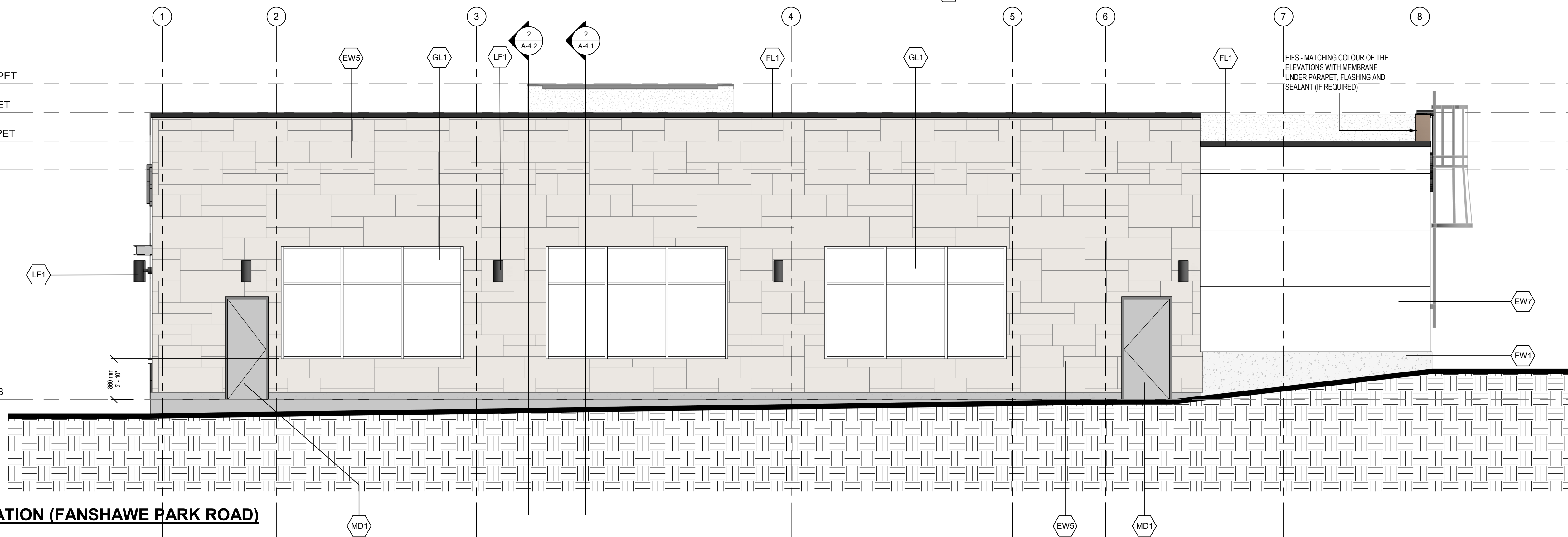


- T/O HIGH PARAPET
22' - 0" (6,706)
- T/O MID PARAPET
20' - 0" (6,096)
- T/O LOW PARAPET
18' - 0" (5,486)
- T/O STEEL
16' - 0" (4,877)

- T/O SLAB UNIT B
0' - 0" (0)

SOUTH ELEVATION (FANSHAWE PARK ROAD)

SCALE: 1 : 50



MATERIAL LEGEND

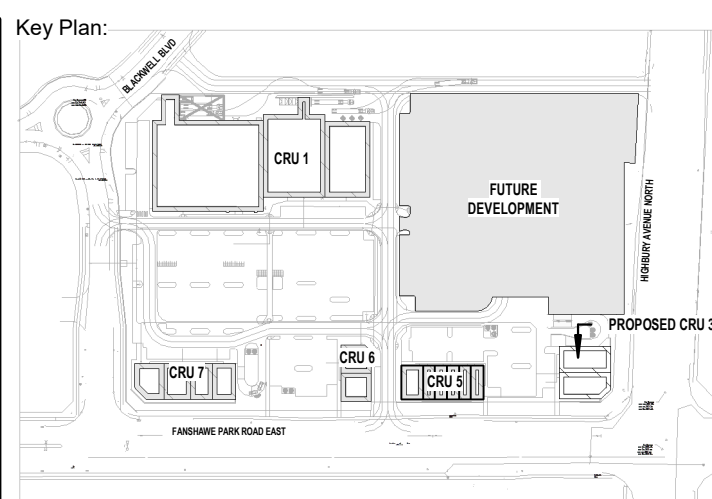
EWS EXTERIOR INSULATION C/W V-GROOVES MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: WHITE TBC BY OWNER	FW1 EXPOSED FOUNDATION WALL MANUFACTURER: N/A (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: N/A	CP1 STEEL C-CHANNEL CANOPY W/ TENSION ROADS SIZE: REFER TO STR DWGS. COLOUR: BLACK TBC BY OWNER	NOTE: 1. GC TO PROVIDE SAMPLES OF ALL FINISHES FOR OWNER/ARCHITECT APPROVAL 2. SHOP DWGS. TO BE PROVIDED FOR APPROVAL FOR ALL LIGHT FIXTURES. REFER TO ELECT. DWGS. FOR ALL WALL MOUNTED UTILITY/SECURITY LIGHTING & CAMERAS (IF REQUIRED) 3. MASONRY CONTROL JOINTS (CJ) TO BE PLACED AS SHOWN. CALLING COLOURS TO MATCH MASONRY UNIT MORTAR COLOUR. 4. CALLING AT ALL WINDOWS TO MATCH WINDOW FRAMES. 5. ALL SILLS TO COME WITH DRIP EDGE. 6. TBC - TO BE CONFIRMED
EW7 EXTERIOR INSULATION C/W V-GROOVES MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: LIGHT GREY TBC BY OWNER	GL1 EXTERIOR WINDOW MANUFACTURER: KAWNEER OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: CLEAR TBC BY OWNER	MD1 INSULATED METAL DOOR SIZE: REFER TO STR DWGS. COLOUR: BLACK TBC BY OWNER	NOTE: LF1 EXTERIOR WALL MOUNTED LIGHTING FIXTURE SIZE: REFER TO PHOTOMETRIC DWGS. AND ELEC DWGS. FOR INFO
PS1 PRE-CAST SOTNE SILL MANUFACTURER: SHOULDICE OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: GREY TBC BY OWNER	SP1 SPANDREL PANEL MANUFACTURER: KAWNEER OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: TO MATCH GL-1 TBC BY OWNER	CP2 MOMENT CONNECTED STEEL C-CHANNEL SIZE: REFER TO STR DWGS. COLOUR: BLACK TBC BY OWNER	
AC1 ALUMINUM CLADDING PANEL SIZE: REFER TO ELEVATION AND STR. DWGS. COLOUR: BLACK TBC BY OWNER	FL1 PRE-FINISHED METAL CAP FLASHING EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: BLACK TBC BY OWNER		

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Seal: North Arrow.

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No.	Date	Revision

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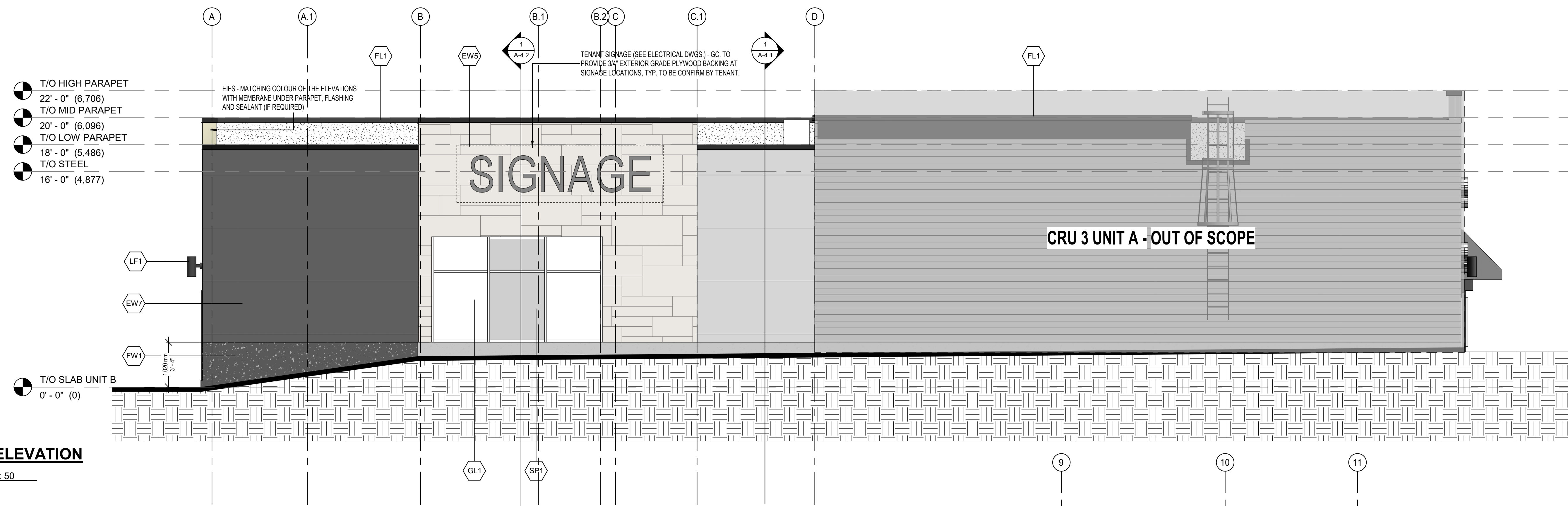
Project:
Westdell
DEVELOPMENT CORP
1300 FANSHAWE PARK RD.
EAST. - CRU #3 UNIT B
1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:

ELEVATIONS I

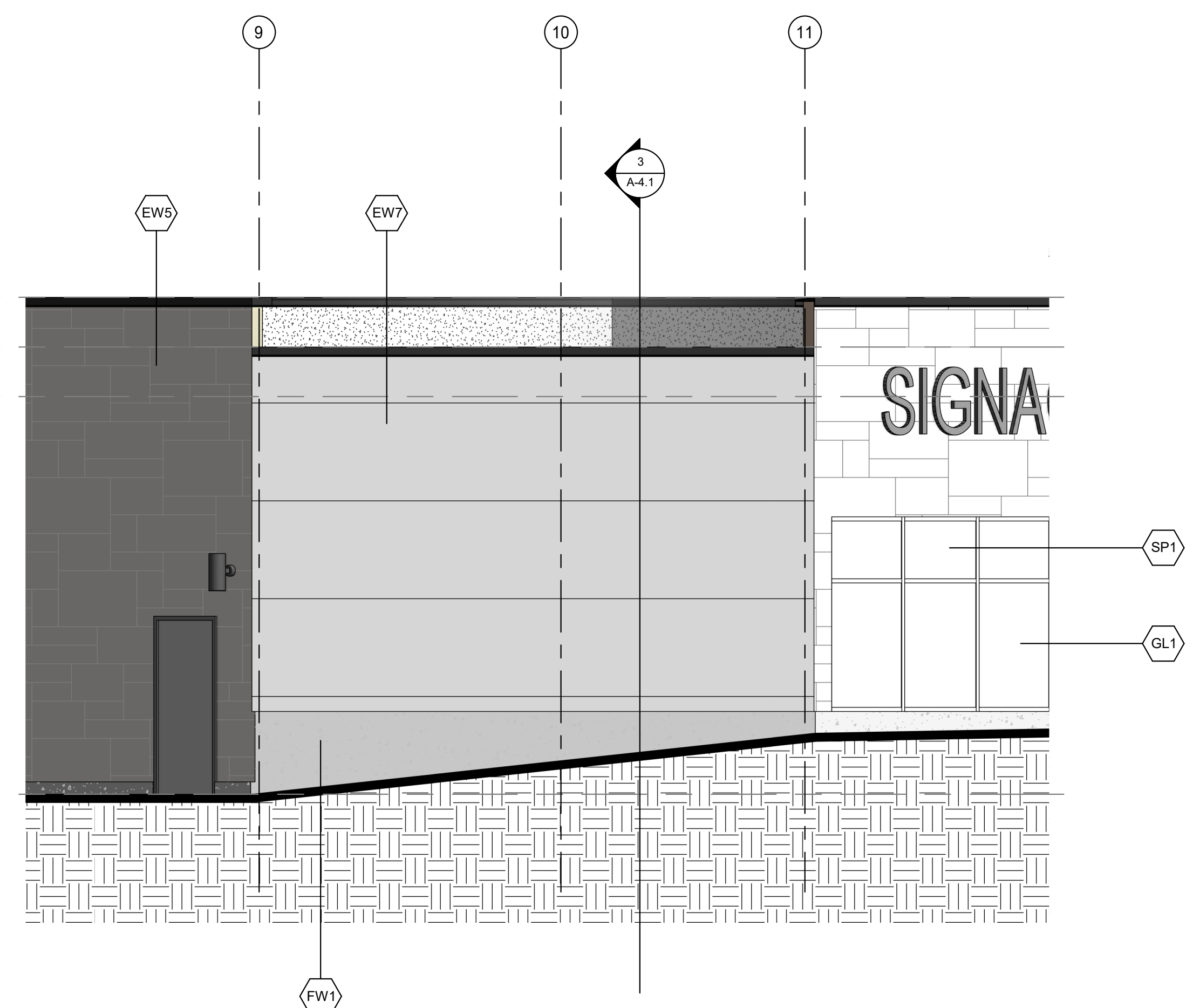
Drawn By: D.H. Scale: AS INDICATED
Checked By: K.N. Plot Date: APR 02, 2024
Project Date: JAN 2024
Project No: 2023-102
Drawing No: Revision

A-3.1 2



EAST ELEVATION

SCALE: 1 : 50



SOUTH EAST ELEVATION

SCALE: 1 : 50

MATERIAL LEGEND

	EW5 EXTERIOR INSULATION C/W V-GROOVES MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: WHITE TBC BY OWNER		FW1 EXPOSED FOUNDATION WALL MANUFACTURER: N/A (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: N/A		CP1 STEEL C-CHANNEL CANOPY W/ TENSION RODS SIZE: REFER TO STR DWGS. COLOUR: BLACK TBC BY OWNER
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Key Plan:

Consultant:

CREATIVE STRUCTURES
CS@CREATIVESTR.CA

Consultant:

N/A NGACAKU ARCHITECTURE INC

Seal: _____ North Arrow: _____

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No.	Date	Revision
2	APR. 02, 2024	ISSUED FOR TENDER
1	Jan 31, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

Project:

WESTDELL
DEVELOPMENT CORP

1300 FANSHAWE PARK RD.
EAST. - CRU #3 UNIT B
1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:

ELEVATIONS II

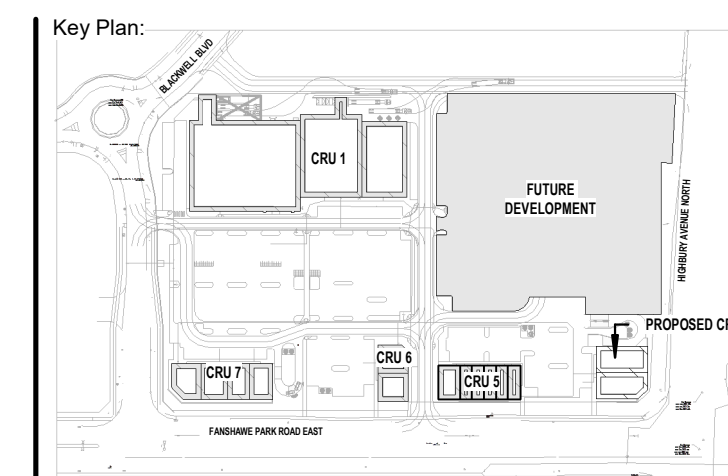
Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: **A-3.2** Revision: **2**



Consultant:



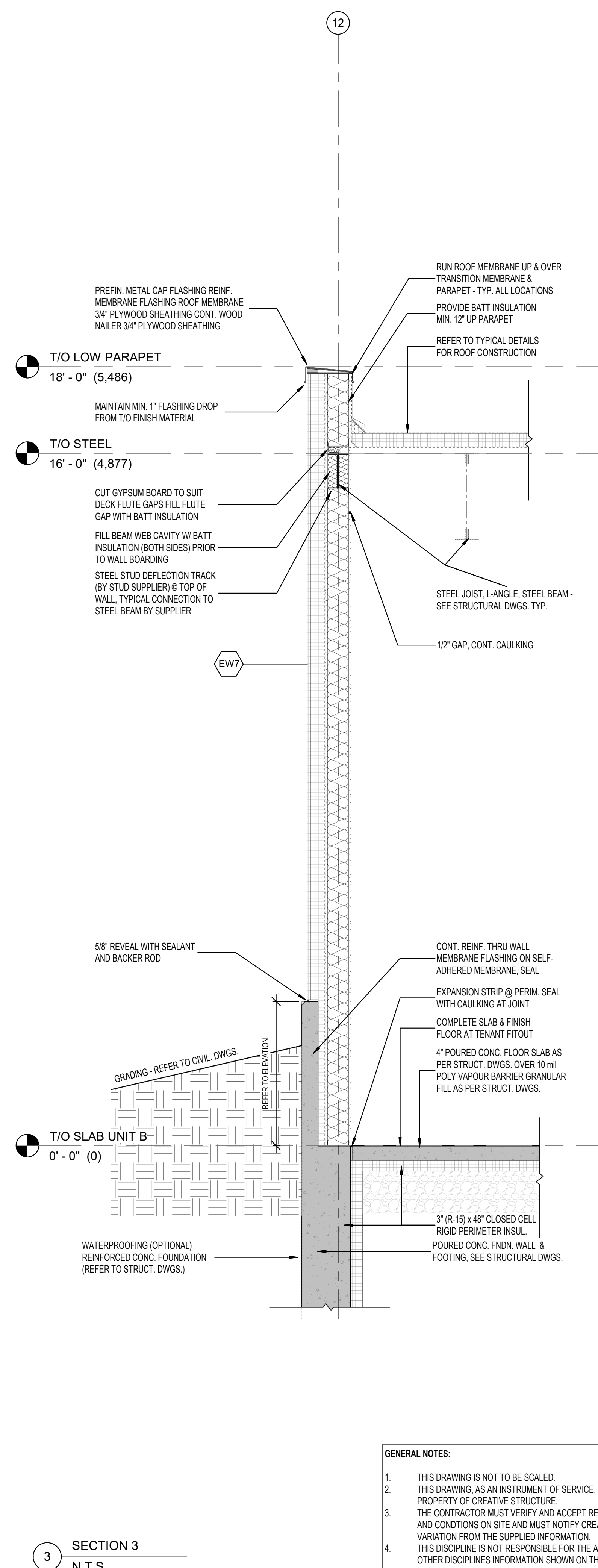
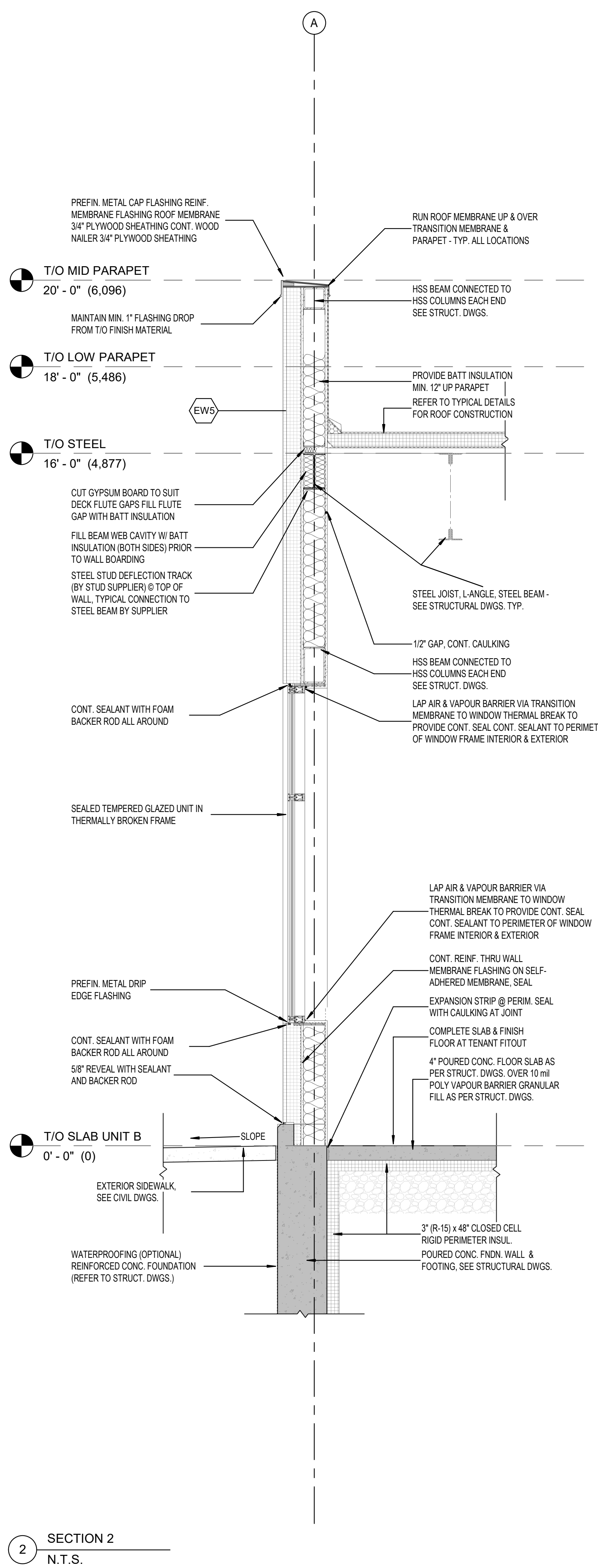
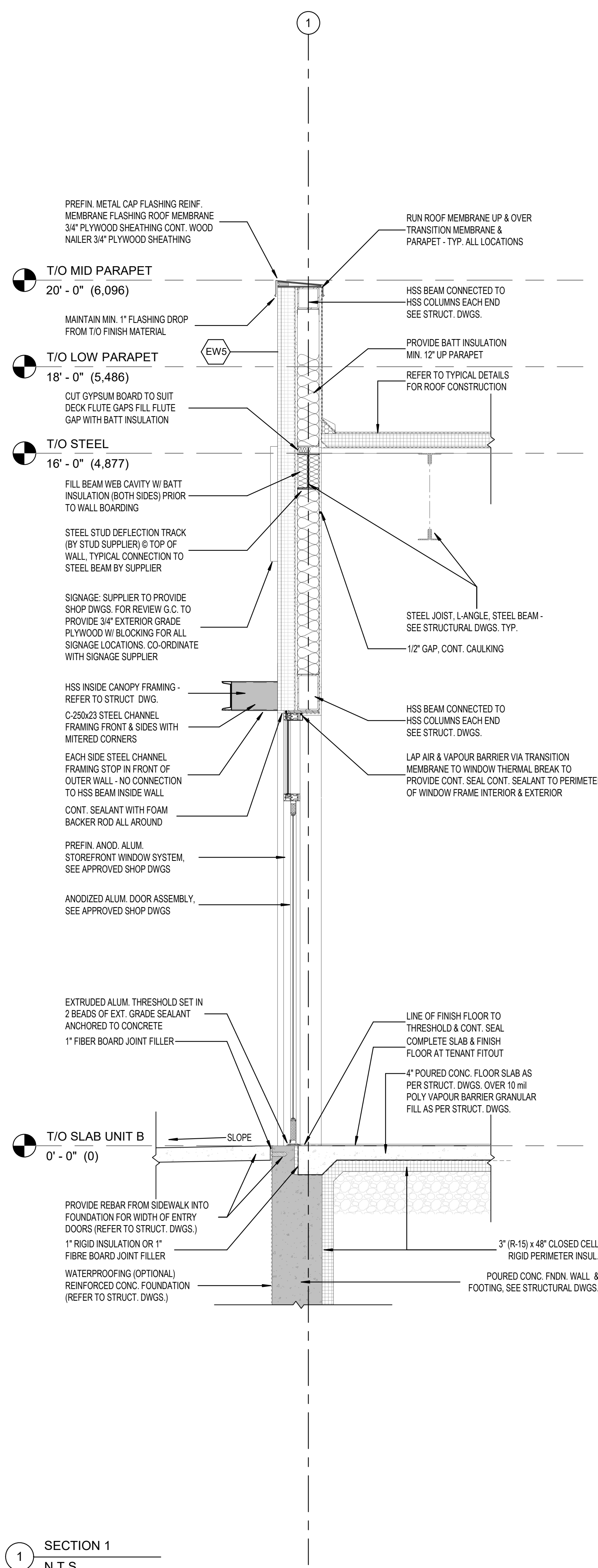
CS@CREATIVESTR.CA



North Arrow

Seal:

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ISSUES/REVISION TABLE

Project:
Westdell DEVELOPMENT CORP
 1300 FANSHAWE PARK RD. EAST. - CRU #3 UNIT B
 1300 FANSHAWE PARK RD. EAST, LONDON, ON

Drawing Title:

WALL SECTION I

Drawn By: D.H. Scale: AS INDICATED

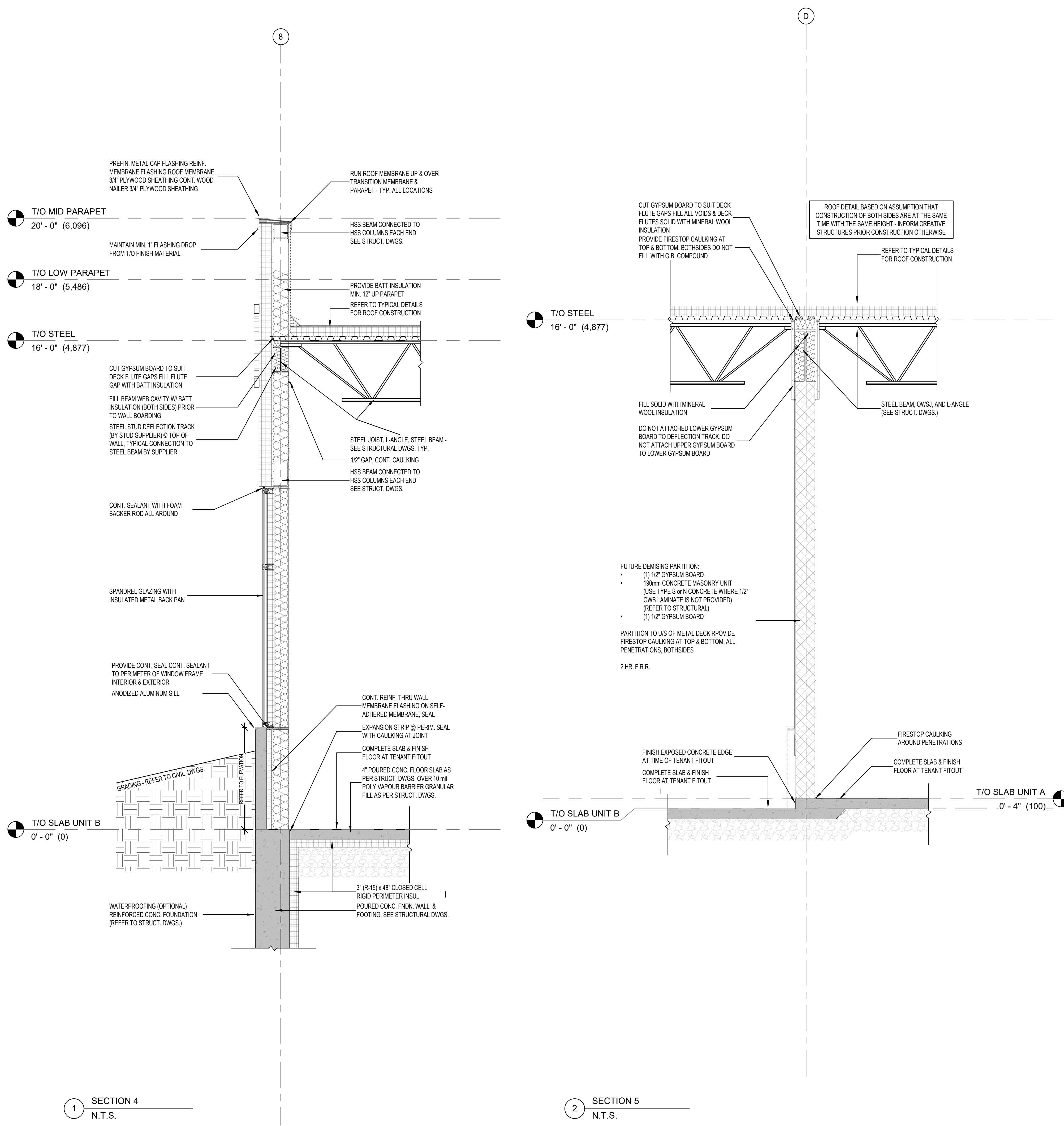
Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

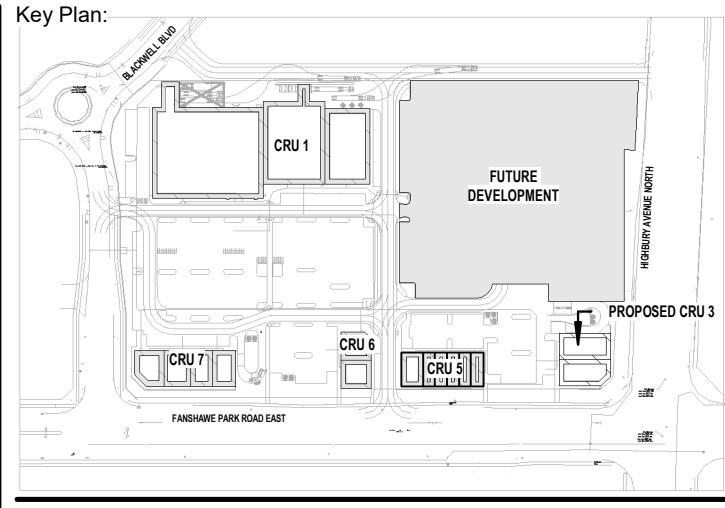
Drawn No: Revision

A-4.1 **2**



1 SECTION 4
N.T.S.

2 SECTION 5
N.T.S.



Consultant:
CREATIVE STRUCTURES
CS@CREATIVESTR.CA

Consultant:
N/A NGACAKU ARCHITECTURE INC

Scale: North Arrow

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2	APR. 02, 2024	ISSUED FOR TENDER
1	JAN 31, 2024	60% ISSUED FOR CLIENT REVIEW
No.	Date	Revision

ISSUES/REVISION TABLE

Project:
WESTDELL DEVELOPMENT CORP
1300 FANSHAWE PARK RD.
EAST. - CRU #3 UNIT B
1300 FANSHAWE PARK RD. EAST. LONDON, ON

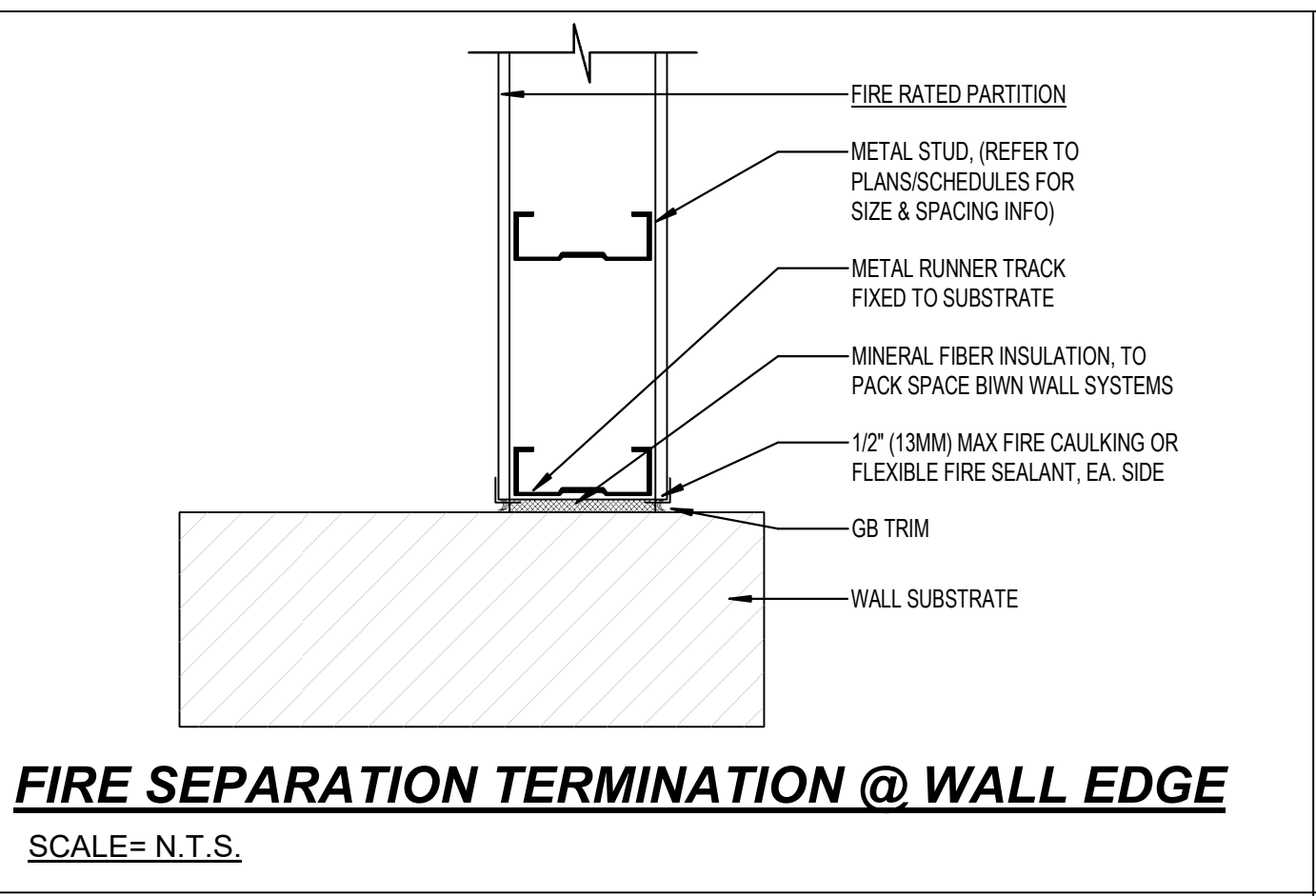
Drawing Title:

WALL SECTION II

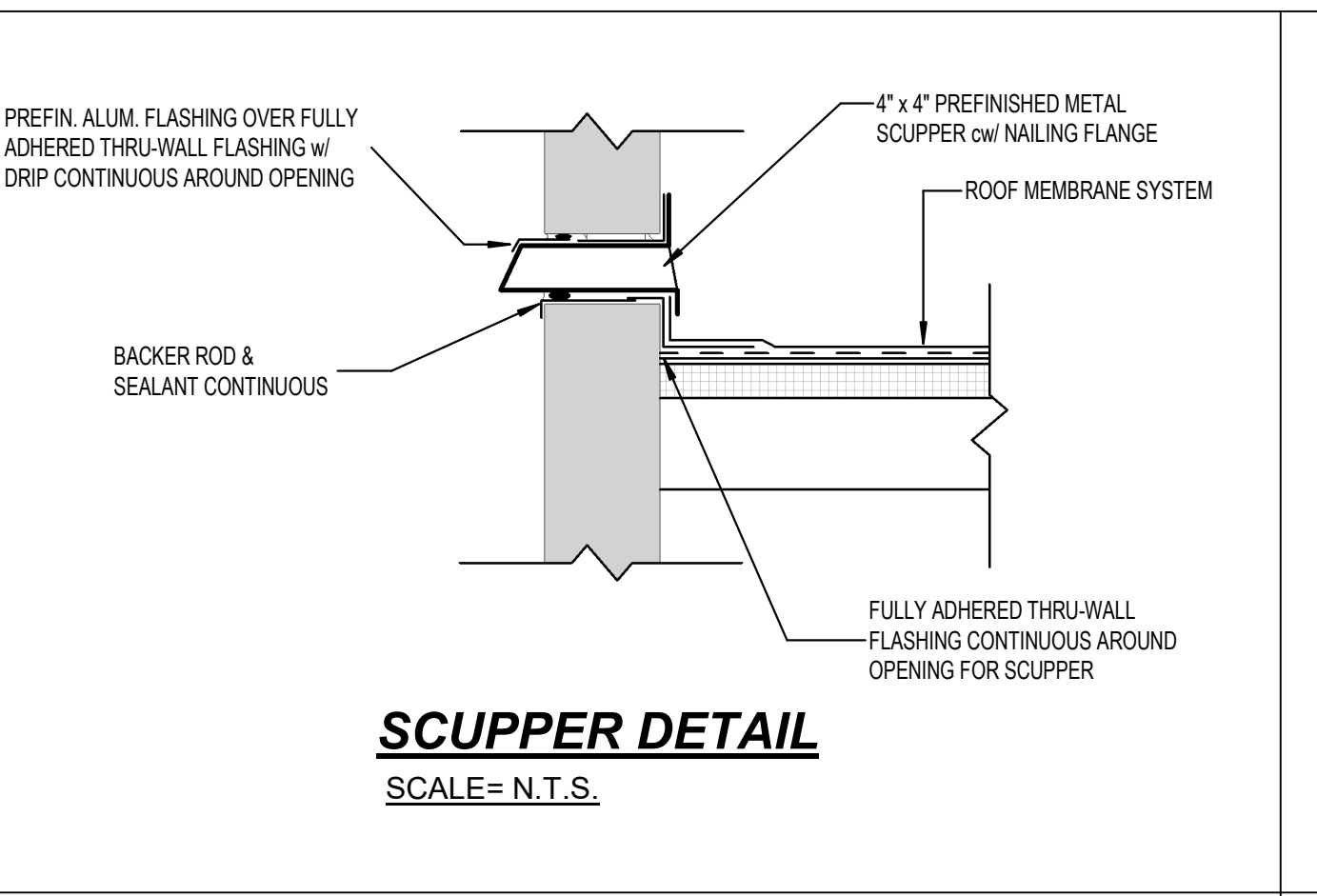
Drawn By: D.H. Scale: AS INDICATED
Checked By: K.N. Plot Date: APR 02, 2024
Project Date: JAN 2024
Project No: 2023-102
Drawing No: Revision

GENERAL NOTES:
1. THIS DRAWING IS NOT TO BE SCALED.
2. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF CREATIVE STRUCTURE.
3. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY CREATIVE STRUCTURE OF ANY VARIATION FROM THE SUPPLIED INFORMATION.
4. THIS DISCIPLINE IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, AND THE OTHER DISCIPLINES INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANTS DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
5. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS WORK.

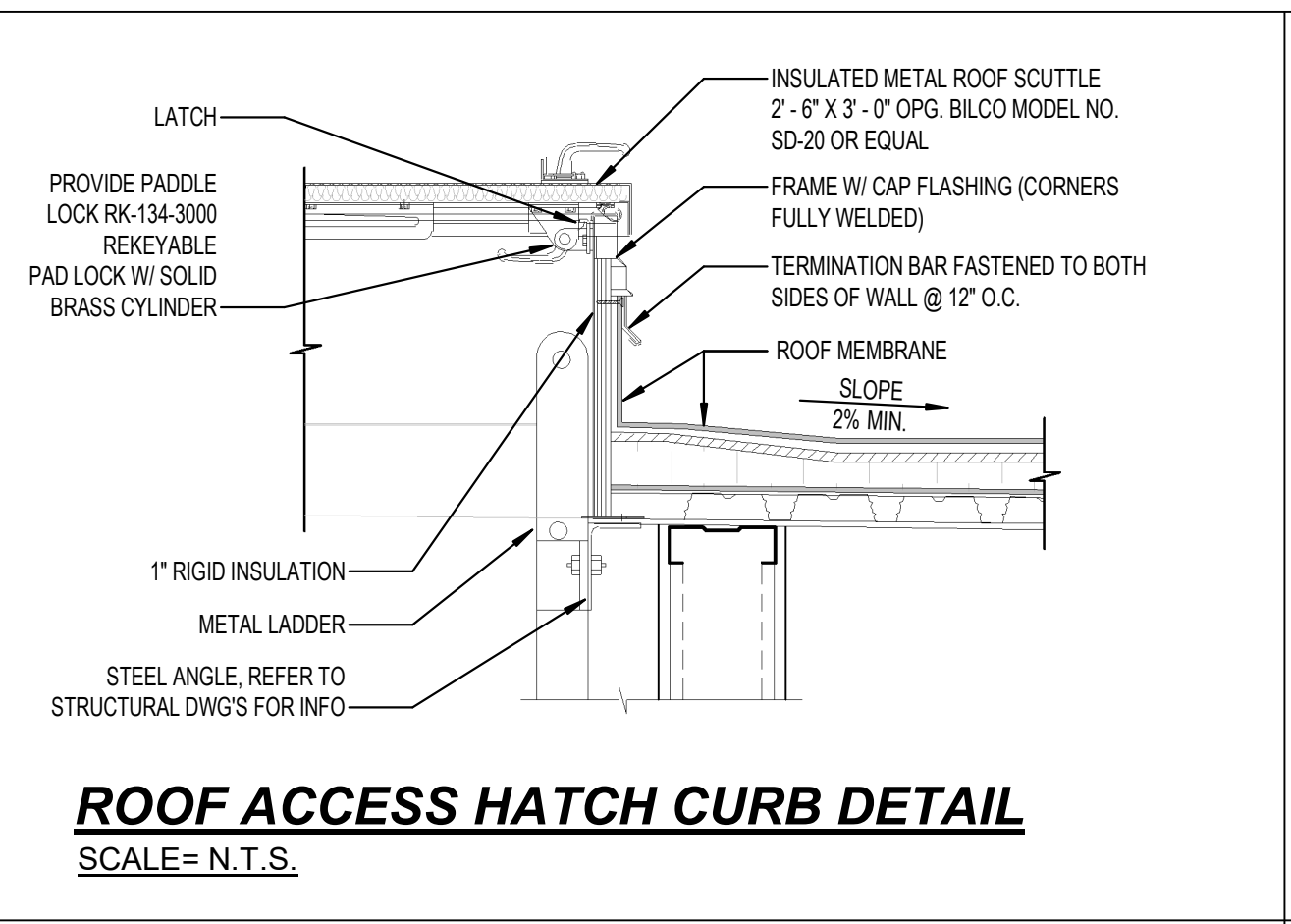
A-4.2 2



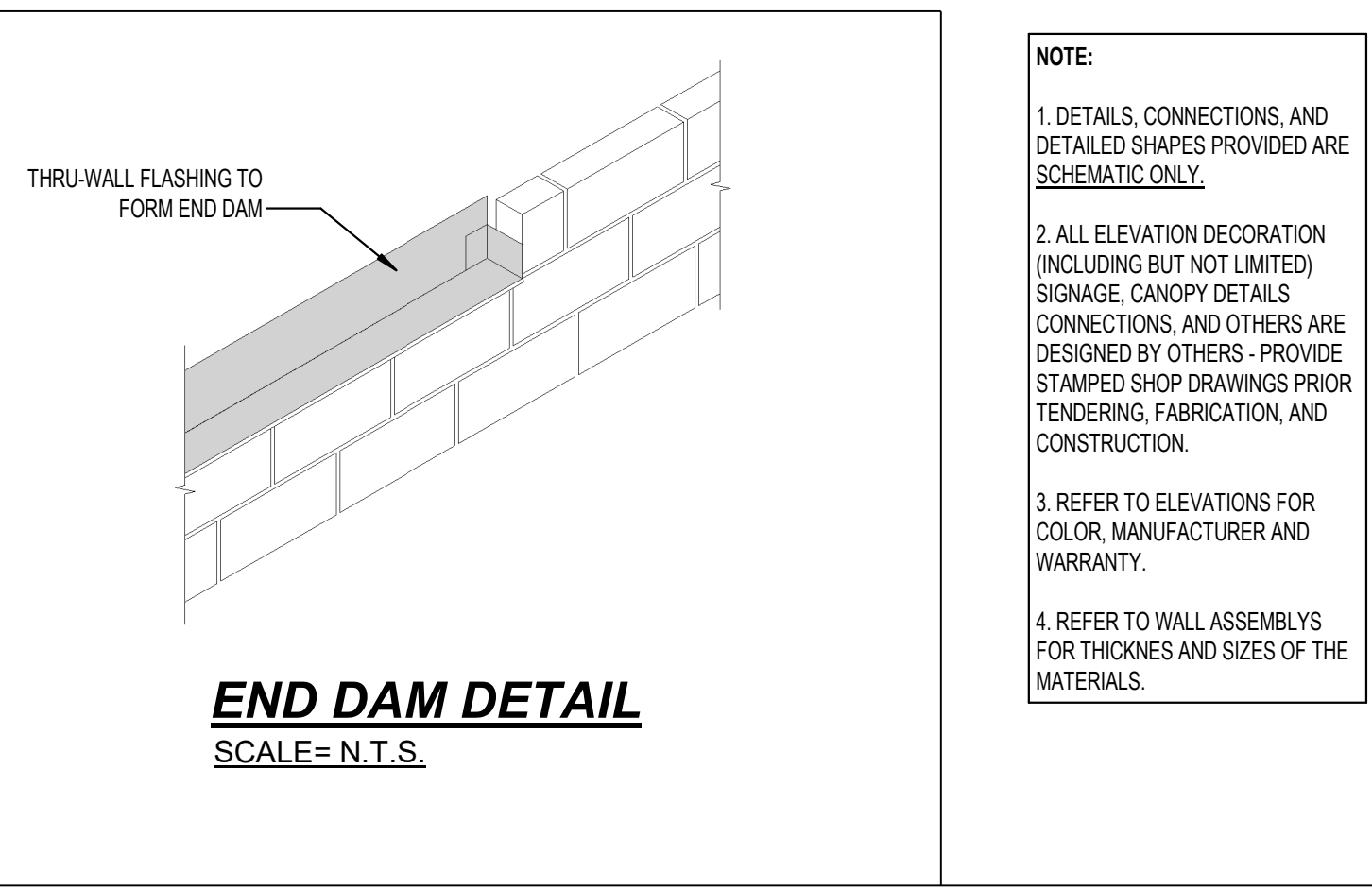
FIRE SEPARATION TERMINATION @ WALL EDGE
SCALE= N.T.S.



SCUPPER DETAIL
SCALE= N.T.S.

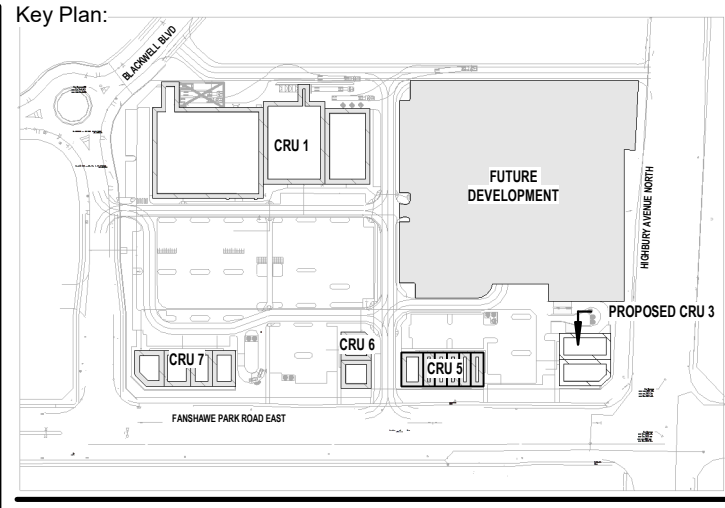


ROOF ACCESS HATCH CURB DETAIL
SCALE= N.T.S.



END DAM DETAIL
SCALE= N.T.S.

- NOTE:**
1. DETAILS, CONNECTIONS, AND DETAILED SHAPES PROVIDED ARE SCHEMATIC ONLY.
 2. ALL ELEVATION DECORATION (INCLUDING BUT NOT LIMITED) SIGNAGE, CANOPY DETAILS CONNECTIONS, AND OTHERS ARE DESIGNED BY OTHERS - PROVIDE STAMPED SHOP DRAWINGS PRIOR TENDERING, FABRICATION, AND CONSTRUCTION.
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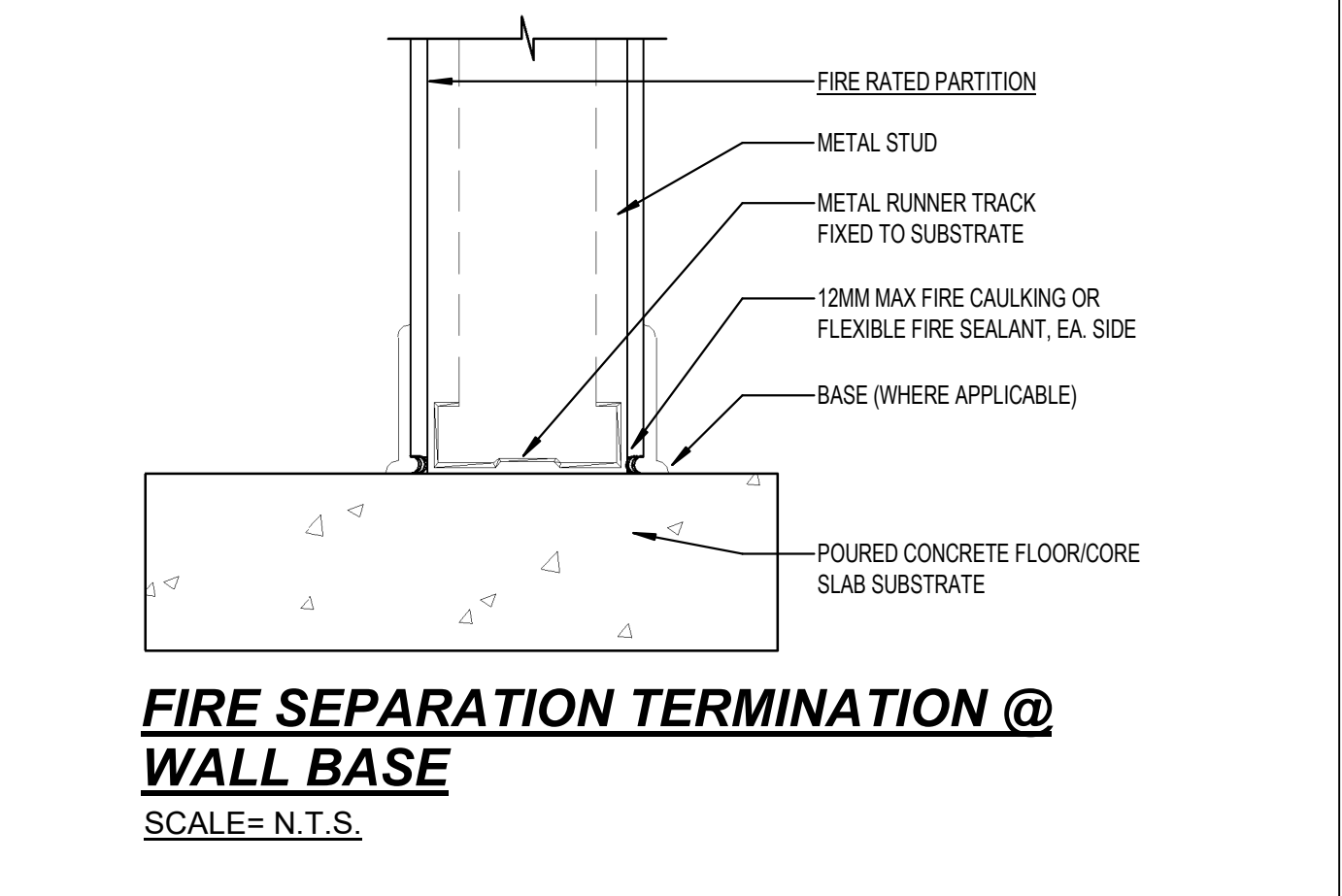


Consultant:
CREATIVE STRUCTURES
CS@CREATIVESTR.CA

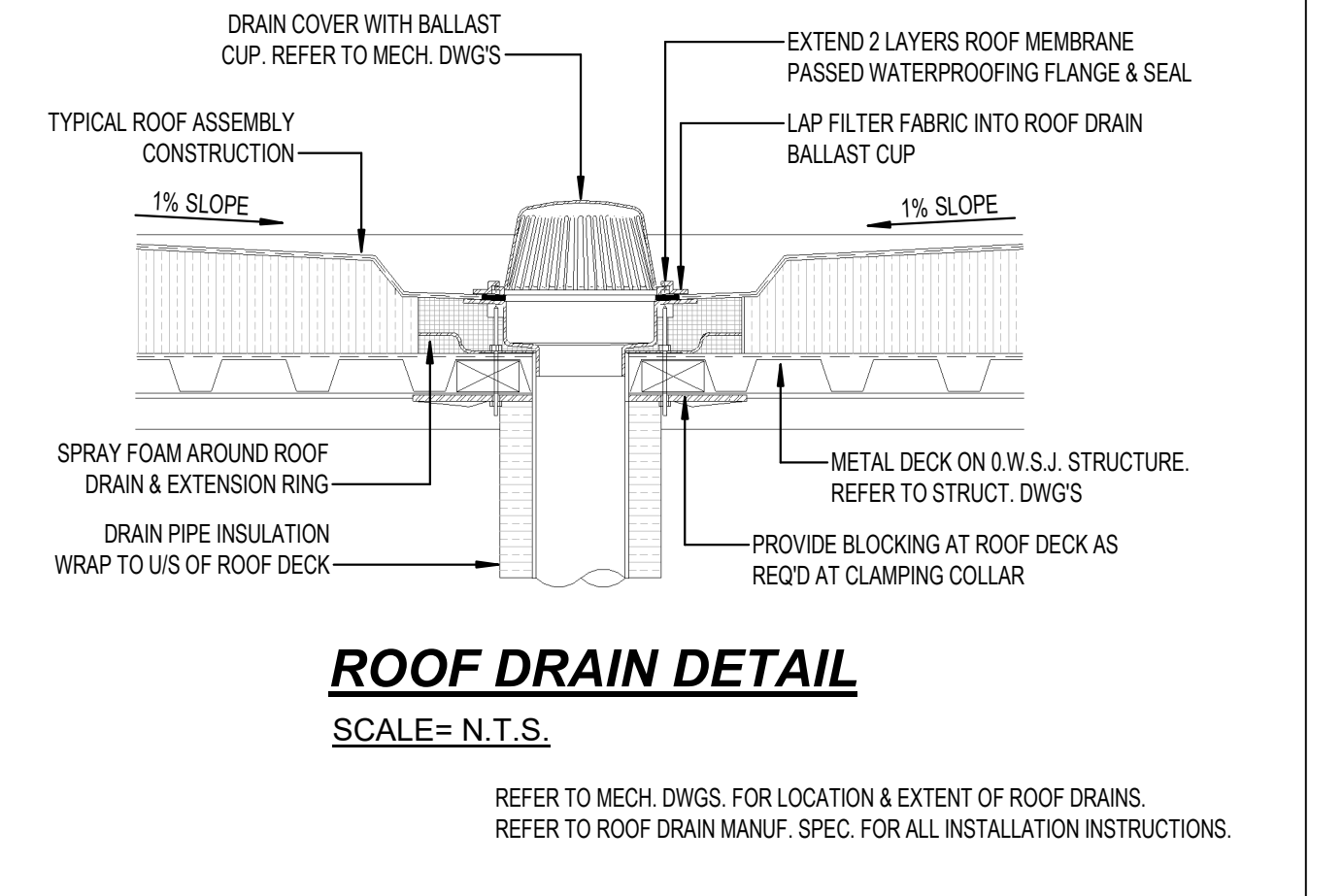
Consultant:
N/A NGACAKU ARCHITECTURE INC

Scale: North Arrow:

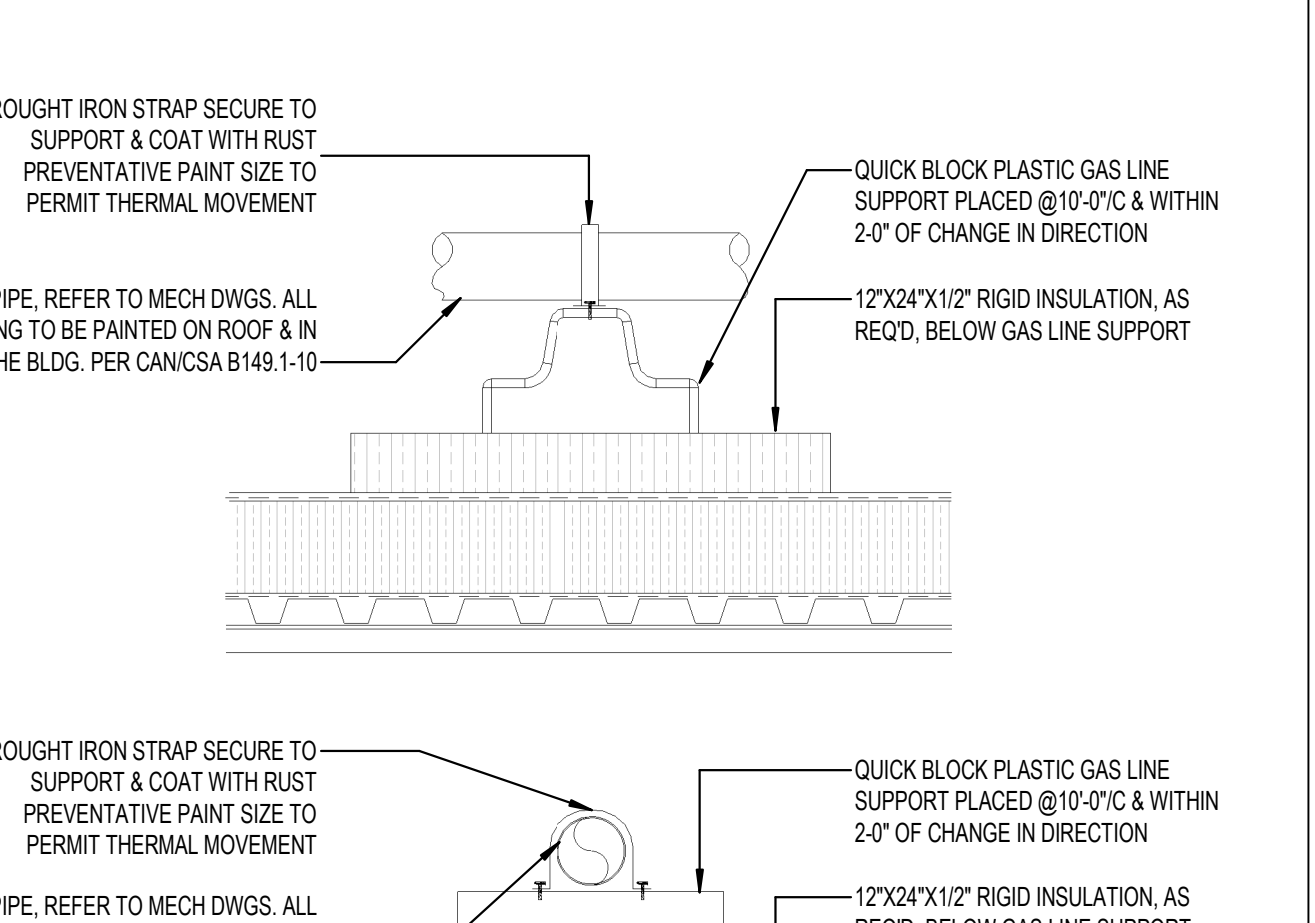
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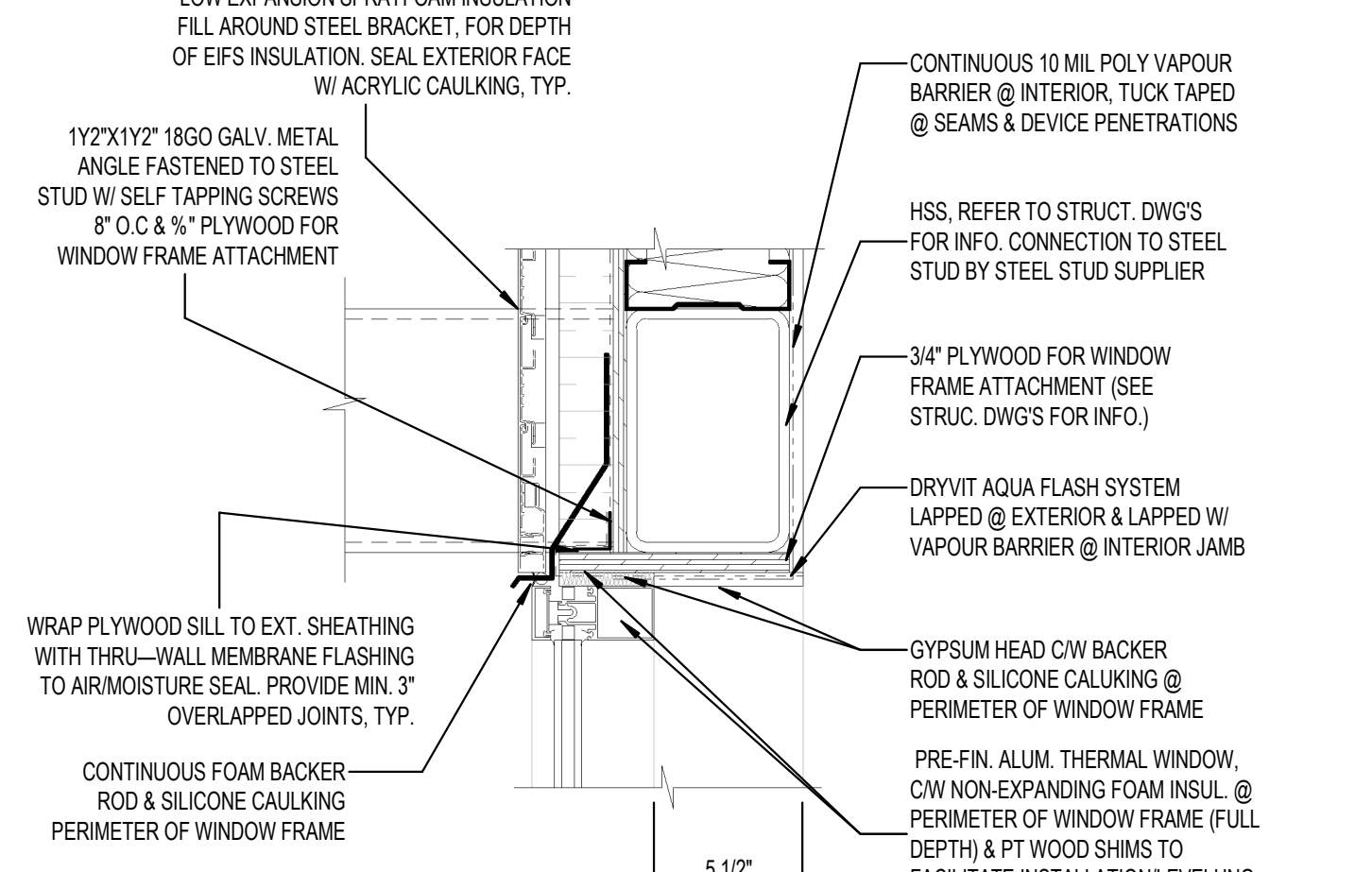
FIRE SEPARATION TERMINATION @ WALL BASE
SCALE= N.T.S.



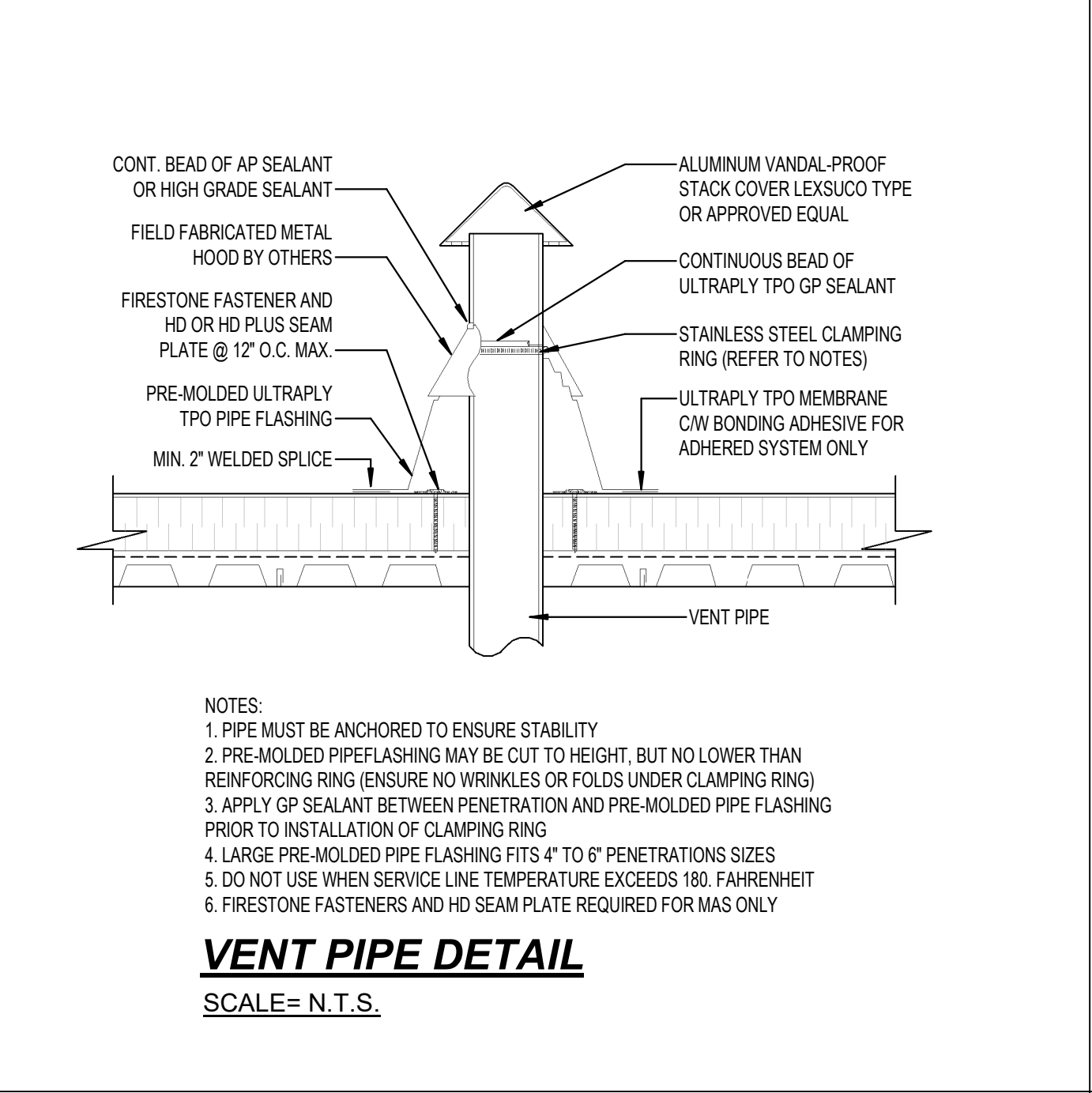
ROOF DRAIN DETAIL
SCALE= N.T.S.
REFER TO MECH. DWGS. FOR LOCATION & EXTENT OF ROOF DRAINS. REFER TO ROOF DRAIN MANUF. SPEC. FOR ALL INSTALLATION INSTRUCTIONS.



GAS PIPE ROOF SUPPORT DETAIL
SCALE= N.T.S.
REFER TO MECH. DWGS. ALL PIPING TO BE PAINTED ON ROOF & IN THE BLDG. PER CANCSA B149.1-10

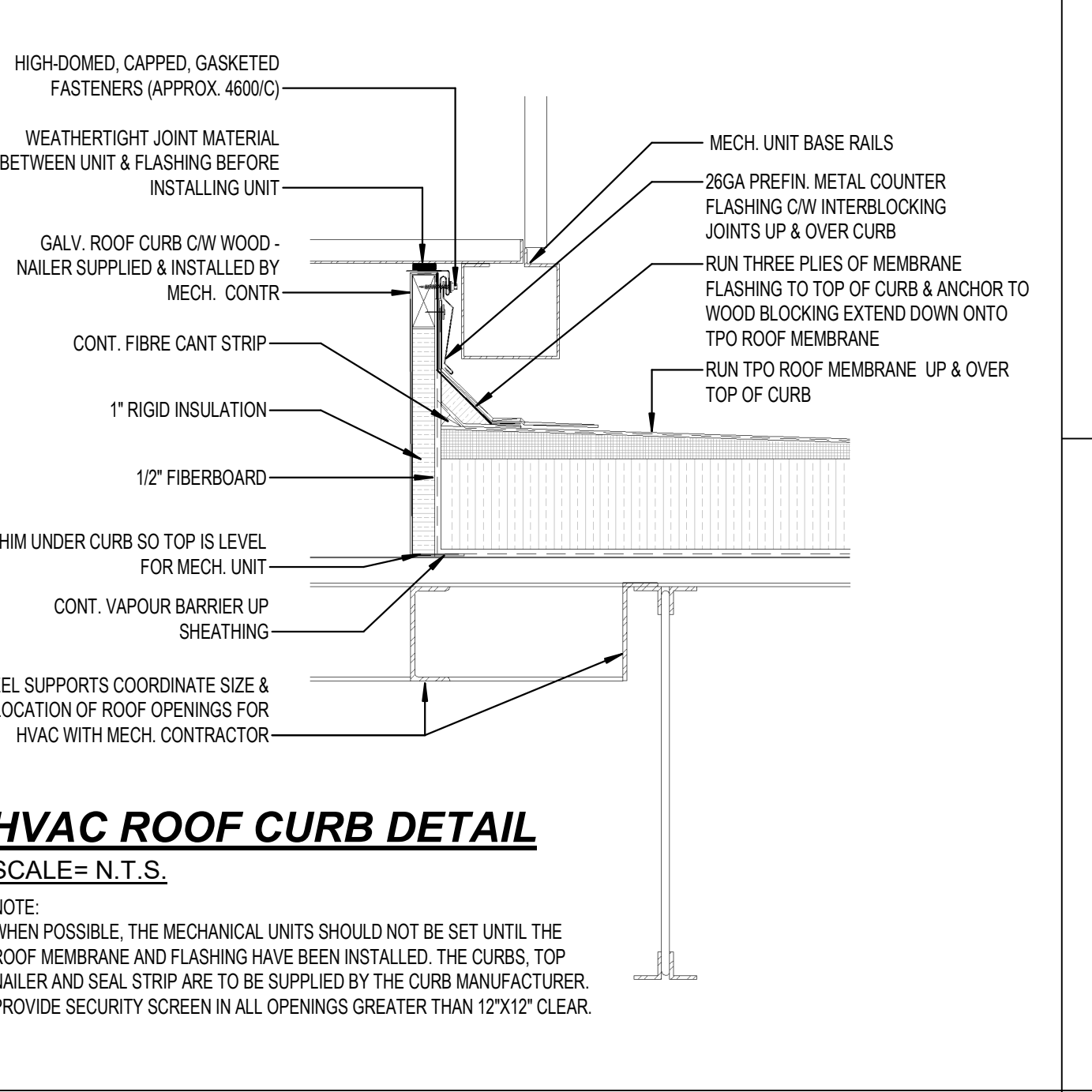


WINDOW HEAD FLASHING DETAIL
SCALE= N.T.S.



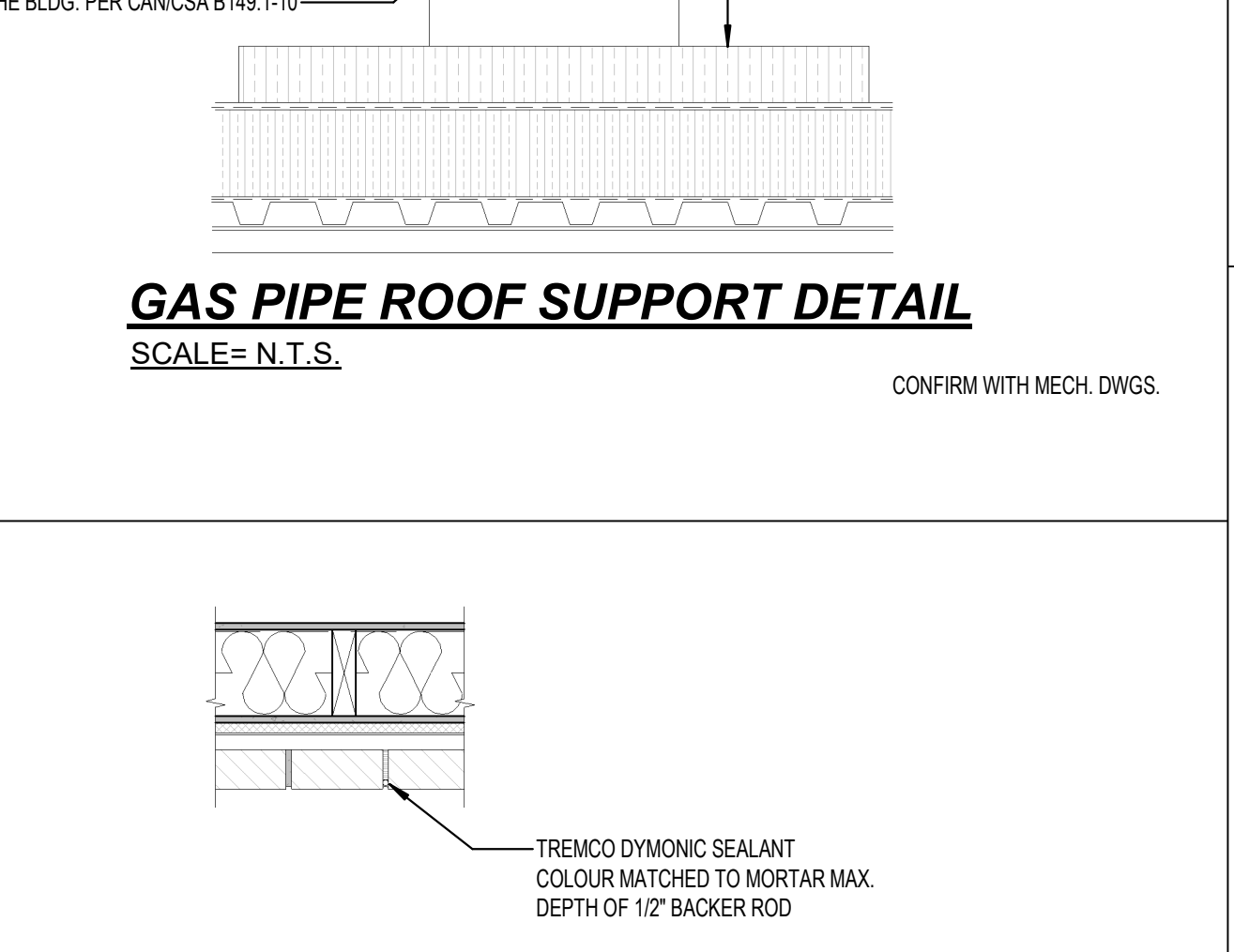
VENT PIPE DETAIL
SCALE= N.T.S.

NOTES:
1. PIPE MUST BE ANCHORED TO ENSURE STABILITY
2. PRE-MOLDED PIPEFLASHING MAY BE CUT TO HEIGHT, BUT NO LOWER THAN REINFORCING RING (ENSURE NO WRINKLES OR FOLDS UNDER CLAMPING RING)
3. APPLY GP SEALANT BETWEEN PENETRATION AND PRE-MOLDED PIPE FLASHING PRIOR TO INSTALLATION OF CLAMPING RING
4. LARGE PRE-MOLDED PIPE FLASHING FITS 4\"/>

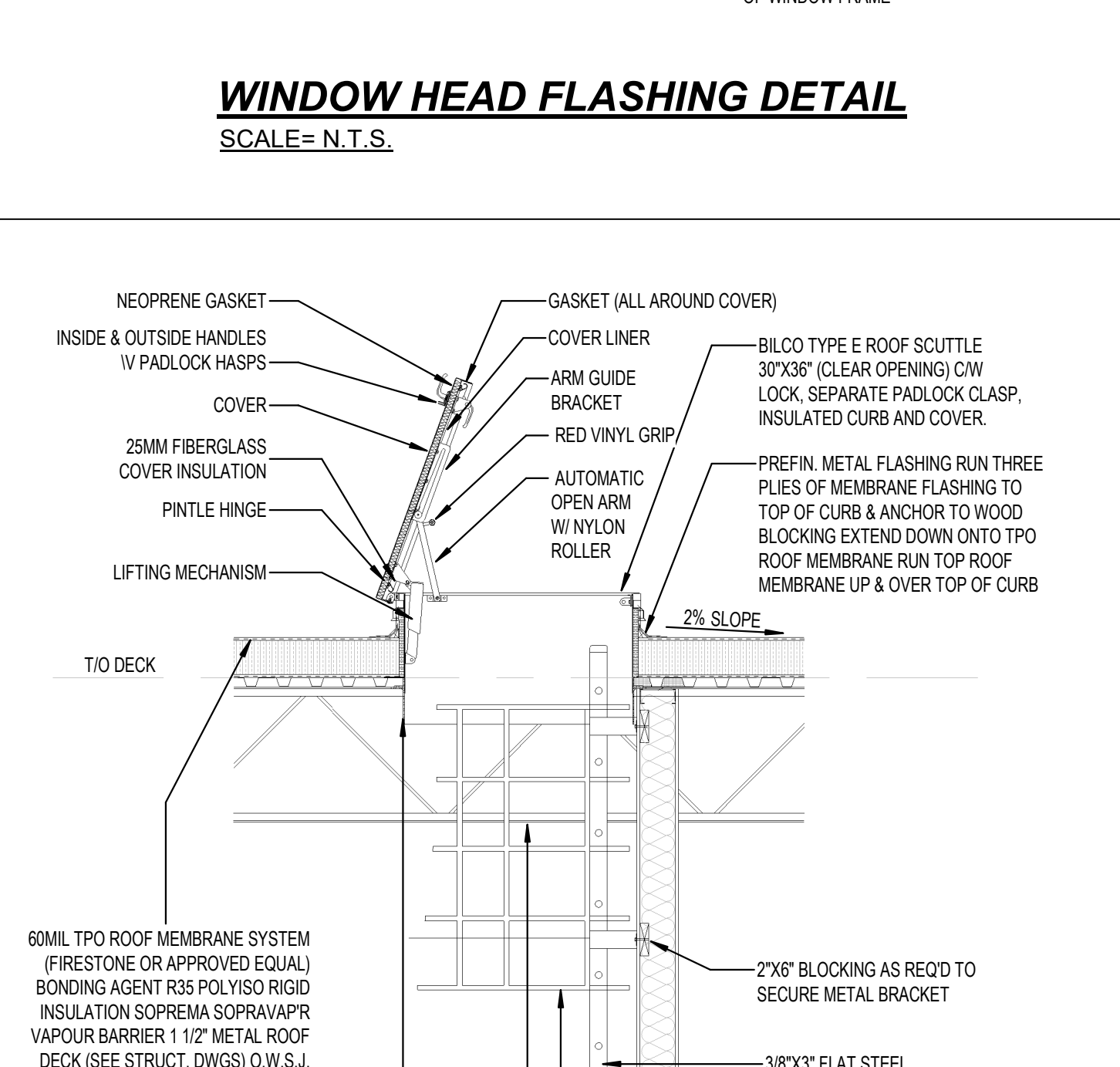


HVAC ROOF CURB DETAIL
SCALE= N.T.S.

NOTE:
WHEN POSSIBLE, THE MECHANICAL UNITS SHOULD NOT BE SET UNTIL THE ROOF MEMBRANE AND FLASHING HAVE BEEN INSTALLED. THE CURBS, TOP NAILER AND SEAL STRIP ARE TO BE SUPPLIED BY THE CURB MANUFACTURER. PROVIDE SECURITY SCREEN IN ALL OPENINGS GREATER THAN 12\"/>



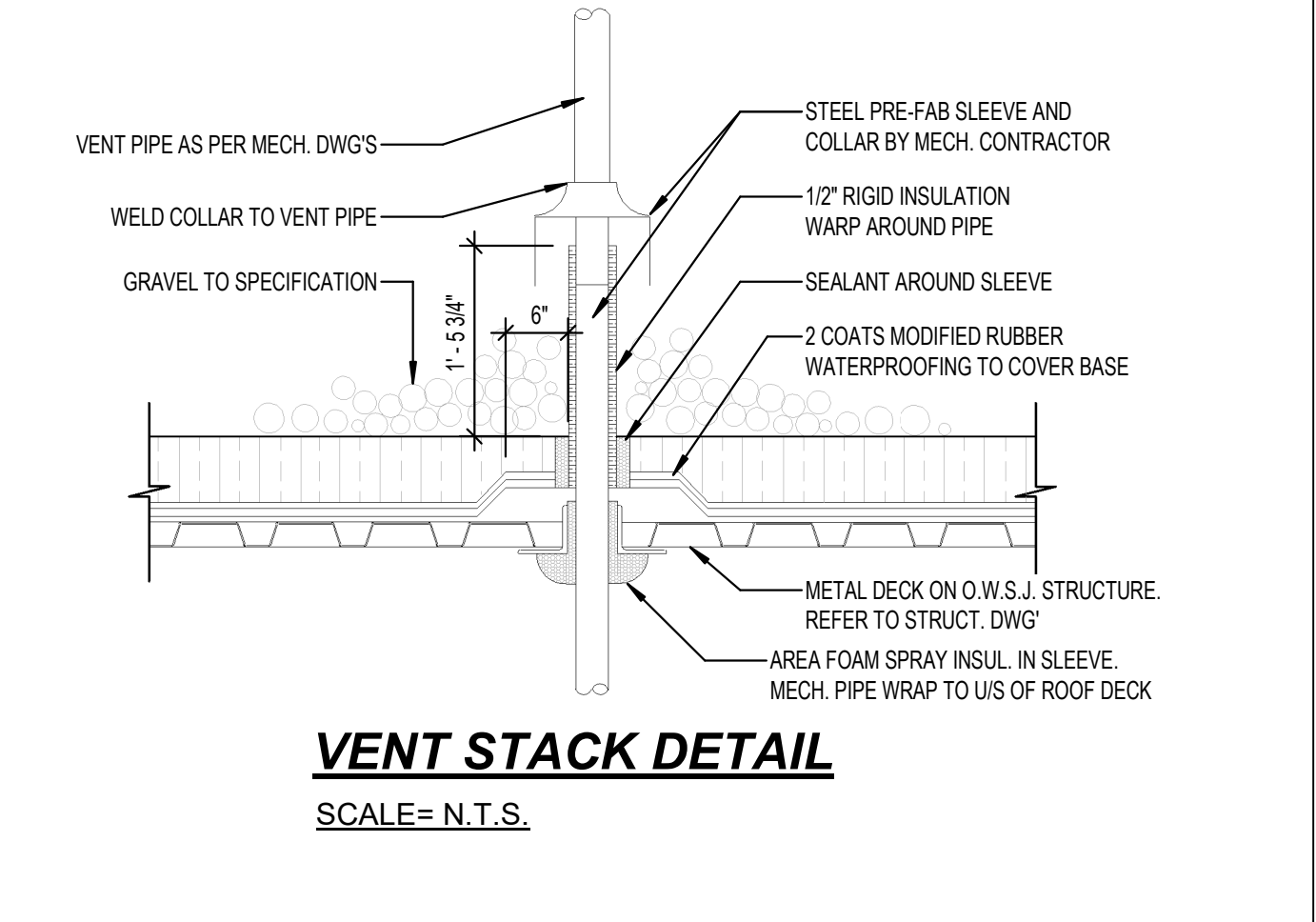
CONTROL JOINT (CJ)
SCALE= N.T.S.



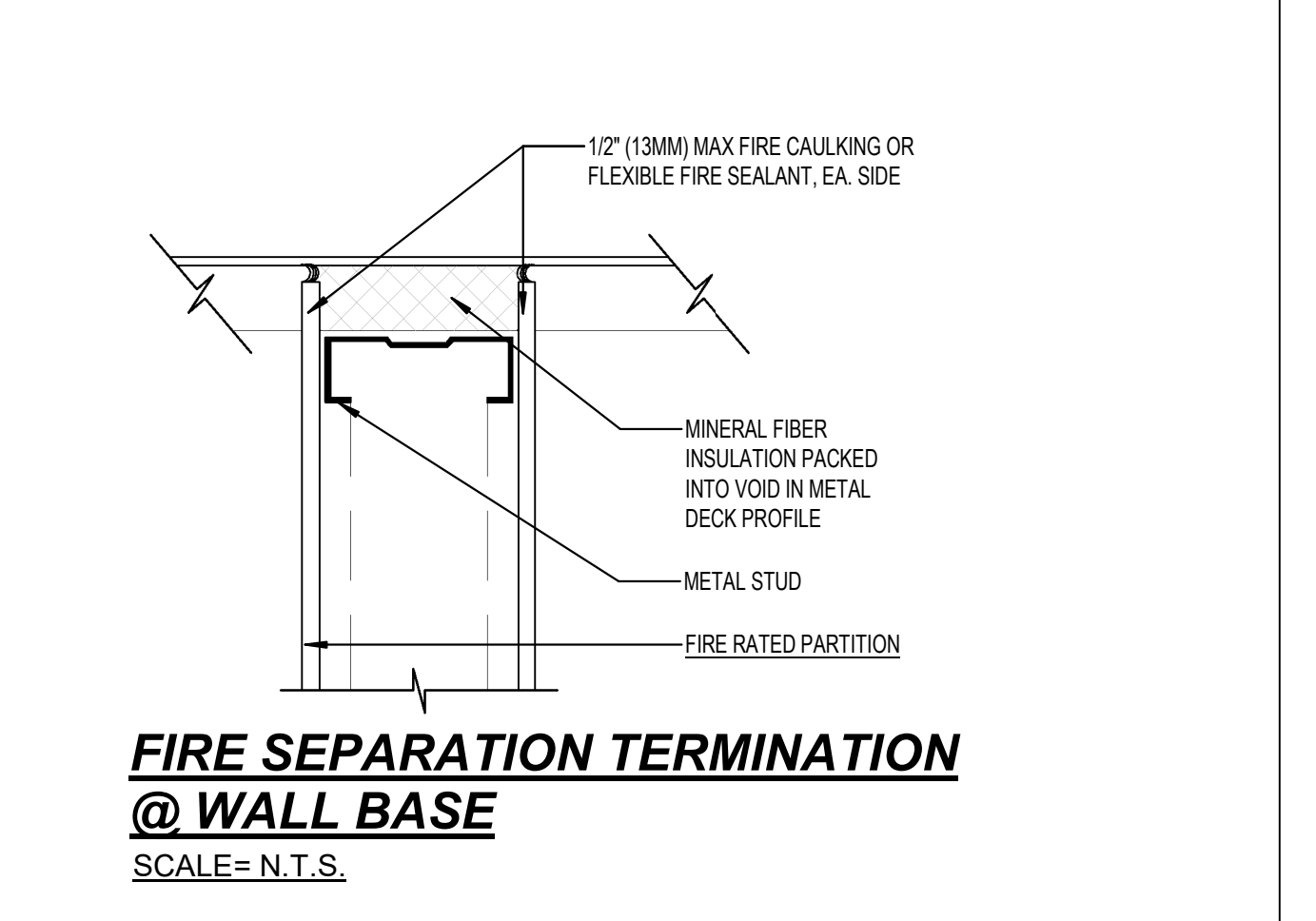
SECTION AT ACCESS HATCH
SCALE= N.T.S.

NOTES:
1. PROVIDE INTERIOR LOCKING DEVICE TO SECURE HATCH. CONNECT TO ALARM SYSTEM WHERE APPLICABLE.
2. REFER TO PLANS/SCHEDULES FOR ROOF CONSTRUCTION.
3. ROOF HATCH TO BE 762X914MM BY BILOCO OR EQUIVALENT.

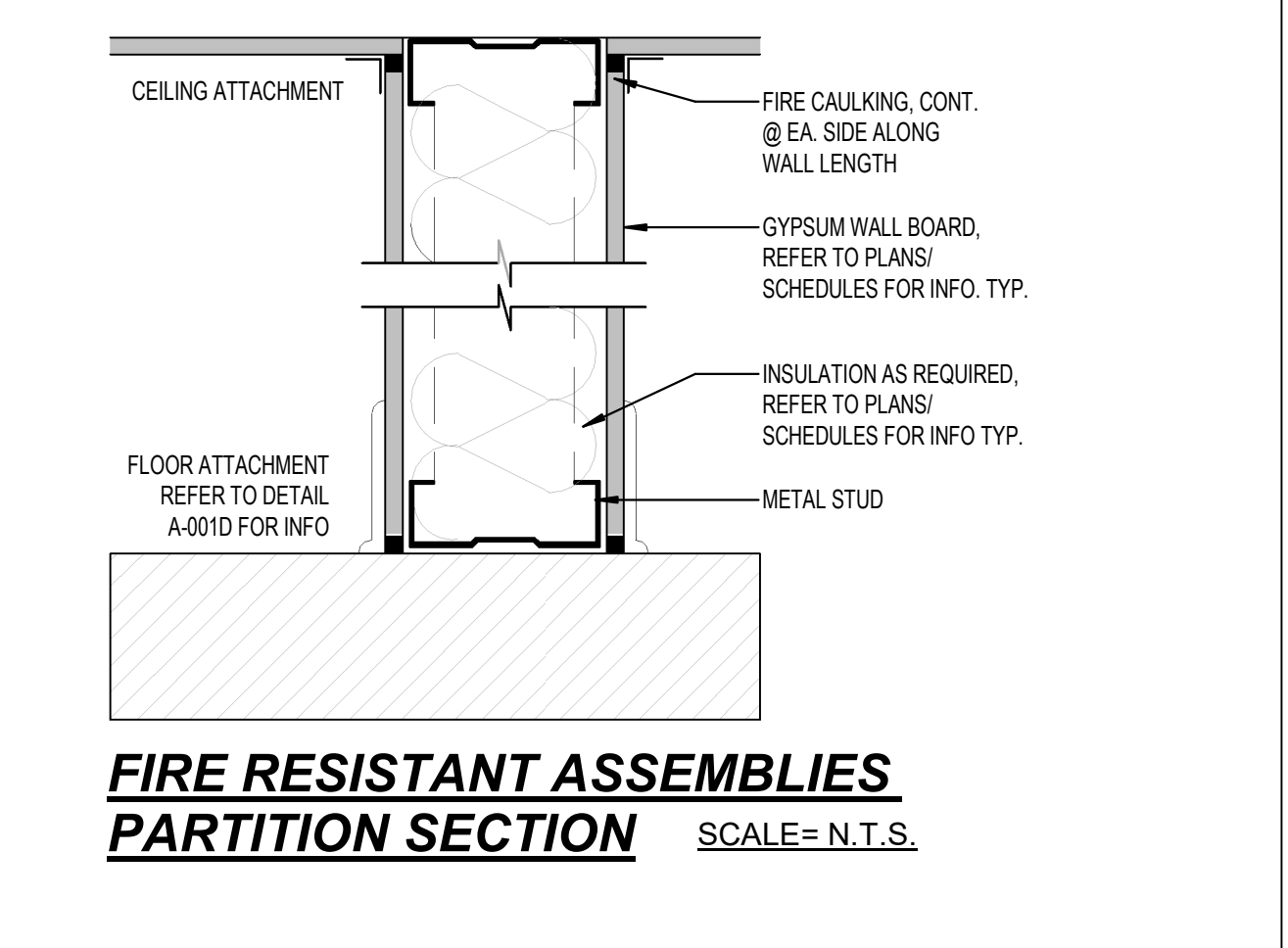
CONFIRM OPENING WITH MANUFACTURER. PROVIDE INTERIOR BLOCKING DEVICE TO SECURE HATCH. CONNECT TO ALARM SYSTEM WHERE APPLICABLE - ROOF HATCH TO BE 30\"/>



VENT STACK DETAIL
SCALE= N.T.S.



FIRE SEPARATION TERMINATION @ WALL BASE
SCALE= N.T.S.



FIRE RESISTANT ASSEMBLY PARTITION SECTION
SCALE= N.T.S.

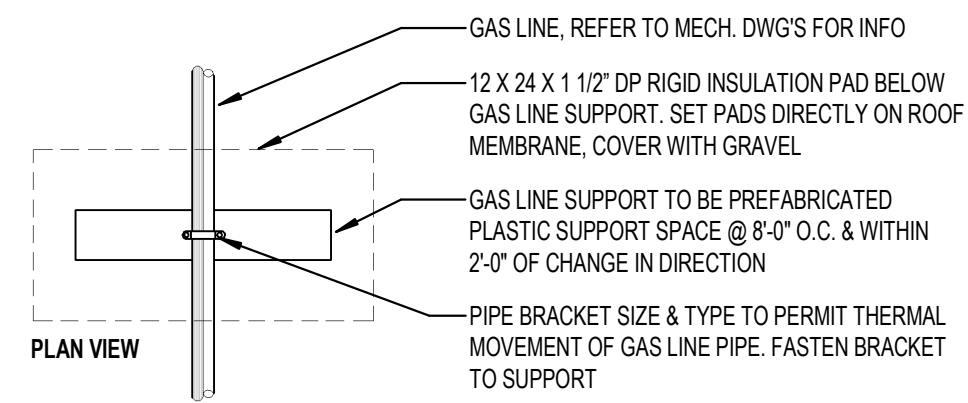
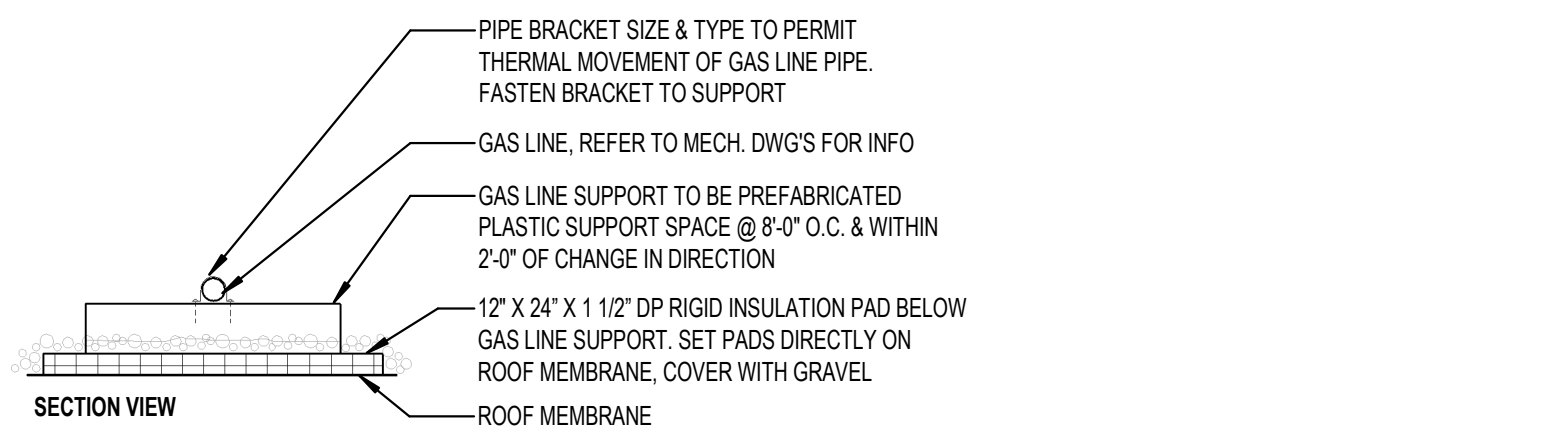
No.	Date	Revision
2	APR. 02, 2024	ISSUED FOR TENDER
1	JAN 31, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

Project:
Westdell DEVELOPMENT CORP
1300 FANSHAWE PARK RD. EAST. - CRU #3 UNIT B
1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:
TYPICAL DETAILS I

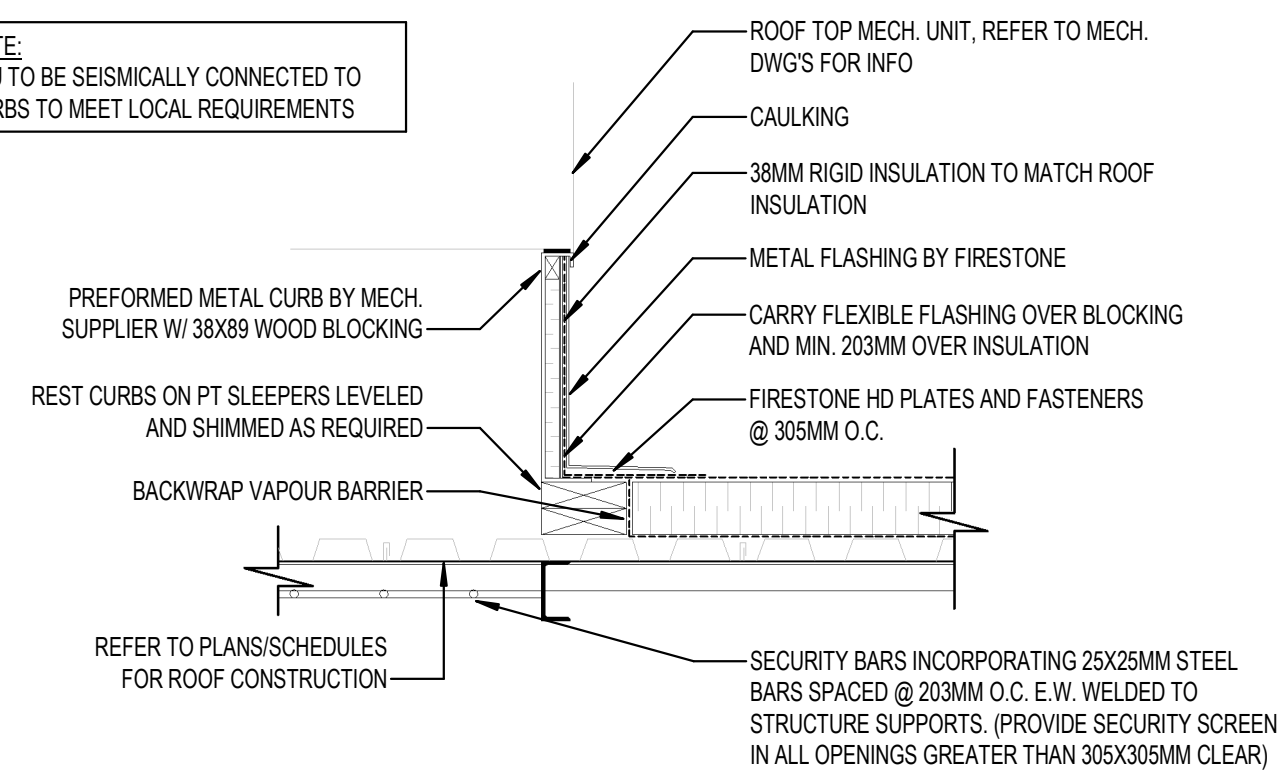
Drawn By: D.H. Scale: AS INDICATED
Checked By: K.N. Plot Date: APR 02, 2024
Project Date: JAN 2024
Project No: 2023-102
Drawing No: Revision



GAS PIPE ROOF SUPPORT DETAIL

SCALE= N.T.S.

NOTE:
RTU TO BE SEISMICALLY CONNECTED TO CURBS TO MEET LOCAL REQUIREMENTS

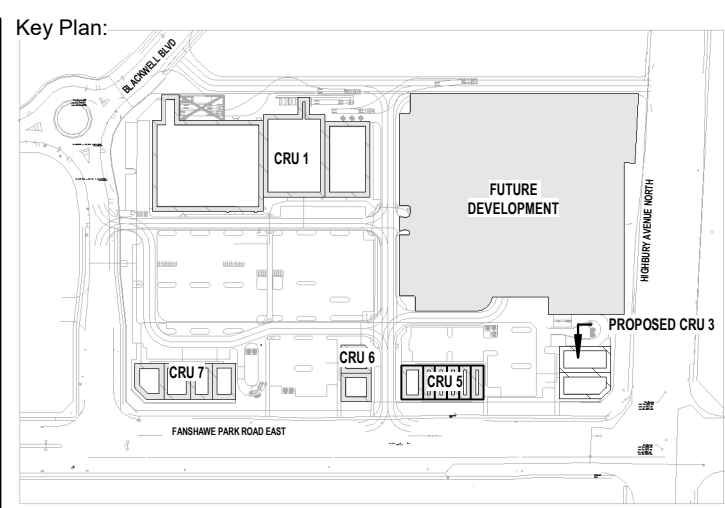


MECH. UNIT ROOF CURB DETAIL

SCALE= N.T.S.

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4. REFER TO WALL ASSEMBLYS FOR THICKNES AND SIZES OF THE MATERIALS.



Consultant:



CS@CREATIVESTR.CA

Consultant:



Seal:

North Arrow:

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2	APR. 02, 2024	ISSUED FOR TENDER
1	JAN 31, 2024	60% ISSUED FOR CLIENT REVIEW
No.	Date	Revision

ISSUES/REVISION TABLE

Project:

WESTDELL
DEVELOPMENT CORP
1300 FANSHAWE PARK RD.
EAST. - CRU #3 UNIT B
1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:

TYPICAL DETAILS II

Drawn By: D.H. Scale: AS INDICATED

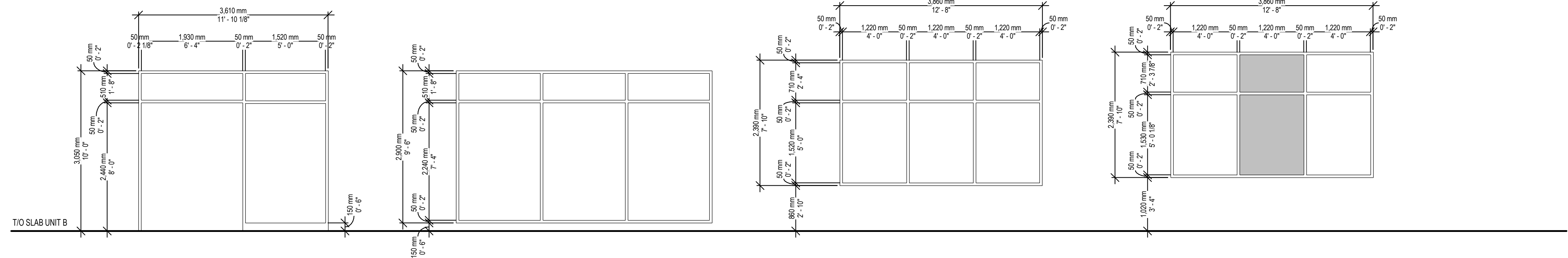
Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: Revision

A-5.2 | **2**

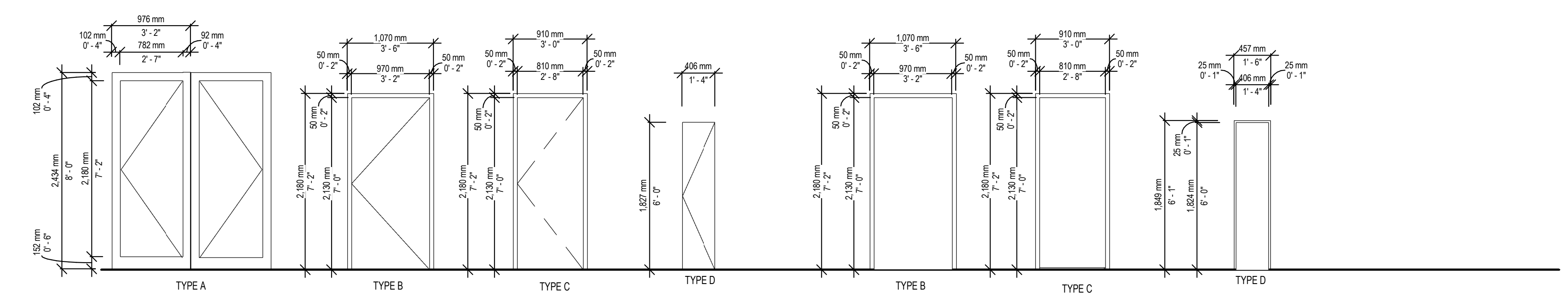


W3 CLEAR, LOW E THERMOPANE GLAZING WITH ANODIZED ALUM. FRAMES KAWNEER 451T OR APPROVED EQUAL

W4 CLEAR, LOW E THERMOPANE GLAZING WITH ANODIZED ALUM. FRAMES KAWNEER 451T OR APPROVED EQUAL

W5 CLEAR, LOW E THERMOPANE GLAZING WITH ANODIZED ALUM. FRAMES KAWNEER 451T OR APPROVED EQUAL

W6 CLEAR, LOW E THERMOPANE GLAZING & SPANDREL GLAZING WITH INSULATED METAL BACK PAN IN CLEAR ANODIZED WITH ANODIZED ALUM. FRAME KAWNEER 451T OR APPROVED EQUAL



DOOR TYPE

FRAME TYPE

DOOR SCHEDULE								DOOR								FRAME				HARDWARE								REMARKS		
No.	LOCATION	TYPE	DOOR SIZES	MATERIAL	FINISH	FIRE RATING	GLAZING	TYPE	MATERIAL	FINISH	FIRE RATING	THERMALLY BROKEN	PASSAGE SET LEVER HANDLE	PRIVACY SET LEVER HANDLE	LOCK SET	THUMB TURN	FLUSH BOLT	CLOSER	PUSH/PULL	PANIC HARDWARE	INSULATED	WEATHER STRIPPING	NON-SLIP THRESHOLD	DOOR SWEEP	DOOR STOP	KICK PLATE	ELECTROMAGNETIC STRIP	CARD READER	POWER DOOR OPERATOR	
D02-1	MAIN ENTRANCE	A	2'-3-2" x 7'-0" x 1'34"	ALUM	ANOD	-	SDG/TEMP	W3	ALUM	ANOD	-	•	-	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
D02-2	RECEIVING	B	3'-2" x 7'-0" x 1'34"	H.M.	PRIME/PANT	-	-	B	H.M.	PRIME/PANT	-	•	-	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
D02-3	W.M. CLOSET	D	1'-4" x 6'-0" x 1'34"	WOOD	PAINTED	-	-	D	WOOD	PAINTED	-	•	-	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
D03-1	UTILITY ROOM	C	2'-8" x 7'-0" x 1'34"	H.M.	PRIME/PANT	-	-	C	H.M.	PRIME/PANT	-	•	-	-	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	

GENERAL WINDOW NOTES

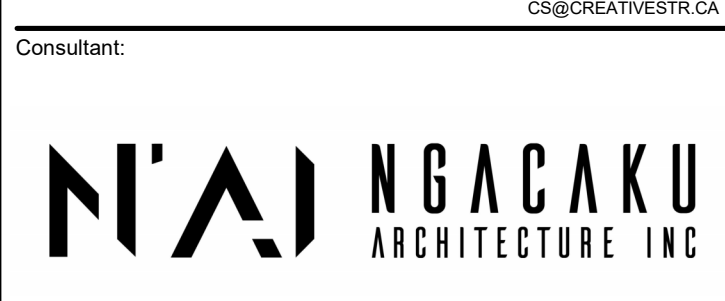
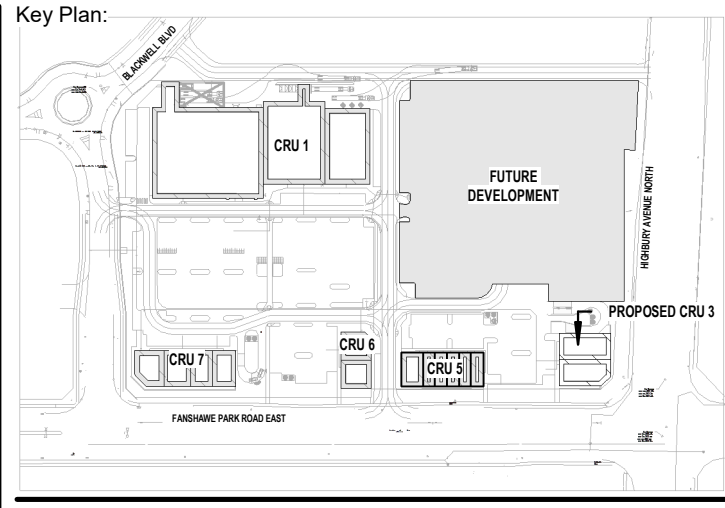
- WINDOW SUPPLIER SHALL SITE MEASURE ALL OPENINGS % REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO WINDOW FABRICATION.
- OPENINGS DIMENSIONED ON FLOOR PLANS, SECTIONS, DETAILS & WINDOW SCHEDULE ARE NOMINAL.
- WINDOW SUPPLIER SHALL PROVIDE PREFINISHED ALUMINUM CLOSURE TRIM TO SUIT OPENINGS AS REQUIRED. COLOUR OF TRIM TO MATCH COLOUR OF WINDOW FRAMES.
- PROVIDE CAULKING AROUND ALUMINUM WINDOW FRAMES INSIDE & OUT. CAULKING COLOUR TO MATCH COLOUR OF FRAMES.
- LOW E GLAZING TO MEET ALL REQUIREMENTS FOR ENERGY EFFICIENCY OF SB-10, ASHRAE 9.01.
- WINDOW FRAME FINISH & GLASS TINT TO BE CONFIRMED BY OWNER PRIOR TO ORDERING.

SUBMIT SHOP DRAWINGS AS REQUIRED BY THIS WORK. THE CONSULTANTS OR BY AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR SHALL CHECK, SIGN AND MAKE NOTATIONS HE CONSIDERS NECESSARY ON SHOP DRAWINGS BEFORE EACH SUBMISSION TO CONSULTANTS. SHOP DRAWING REVIEW BY CONSULTANTS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT AND IS A PRECAUTION AGAINST OVERSIGHT OR ERROR. THIS REVIEW SHALL NOT MEAN THAT THE CONSULTANT APPROVES THE DETAIL DESIGN INHERENT IN THE SHOP DRAWINGS, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS, OMISSIONS OR MEETING ALL THE REQUIREMENTS OF THIS CONTRACT.

- GL: DENOTES GLAZING
- SP: DENOTES GLASS SPANDREL
- AC: DENOTES PREFIN. ALUM. CLOSURE FINISH TO MATCH WINDOW FRAME.

GENERAL DOOR NOTES

- DOOR & FRAME SUPPLIER (HOLLOW METAL & ALUMINUM) SHALL PROVIDE ALL REQUIRED CLOSURE TRIM FOR ALL EXTERIOR FRAMES TO SUIT CORRESPONDING OPENINGS.
- PROVIDE WEATHERSTRIPPING TO ALL EXTERIOR & FIRE RATED DOORS.
- EXTERIOR HOLLOW METAL DOORS & FRAMES TO BE 18g AND HAVE G90 GALVANIZED FINISH OR APPROVED EQUAL.
- PROVIDE CAULKING AROUND ALL EXTERIOR HOLLOW METAL & ALUMINUM DOOR FRAMES INSIDE & OUT. CAULKING COLOUR TO MATCH COLOUR OF FRAMES.
- ALL COLOURS TO BE CHOSEN BY OWNER.
- ALUMINUM DOOR SUPPLIER SHALL PROVIDE REQUIRED HARDWARE AS LISTED ON THE DOOR SCHEDULE FOR ALUMINUM DOORS.
- EXTERIOR AND INTERIOR DOOR SUPPLIERS SHALL SITE MEASURE AND CONFIRM OPENINGS PRIOR TO FABRICATION AND INSTALLATION. CONTRACTOR MUST CONFIRM ALL DOOR TYPES, MATERIAL & FINISHES WITH OWNER PRIOR TO CONSTRUCTION.
- GLASS IN ALL DOORS SHALL BE 1/4" CLEAR TEMPERED OR LAMINATED SAFETY GLASS.
- ALL HARDWARE TO BE MEDIUM DOTY, COMMERCIAL GRADE.
- DOOR CLOSER TO BE MOUNTED ON DOOR FRAME.
- PROVIDE 3 KEYS PER LOCKSET.
- BARRIER FREE DOOR ACCESS PADDLES MOUNTED ON WINDOW OR DOORS MULLIONS ARE TO BE REMOTELY CONNECTED TO DOOR OPERATOR BY DOOR PADDLE MOUNTED ON INTERIOR WALL TO BE FLUSH MOUNTED IN WALL & HARDWIRED TO DOOR OPERATOR.
- ALL HARDWARE TO BE SUPPLIED WITH ALL REQUIRED ACCESSORIES.



Seal: North Arrow.

General Notes:
 IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (NAI) PRIOR TO COMMENCING ANY WORK.
 DO NOT SCALE DRAWING. FOR CONSTRUCTION DRAWINGS MUST HAVE ORIGINAL CONSULTANTS STAMP AND SIGNATURE. ALL CONSTRUCTION AND MATERIALS MUST CONFORM WITH APPLICABLE CODES AND C.M.I.C. STANDARDS AND BE APPROVED BY OWNER.
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 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNTIL IT HAS BEEN STAMPED BY CREATIVE STRUCTURES LTD. OR NGACAKU ARCHITECTURE INC. (NAI) AND A BUILDING PERMIT HAS BEEN ISSUED AND MARKED "ISSUED FOR CONSTRUCTION". THIS DRAWING SHALL NOT BE USED FOR PRICING, COSTING, OR TENDER UNLESS INDICATED IN THE REVISION COLUMN AND THESE DRAWINGS ARE NOT COMPLETE AND ANY PRICES BASED ON THESE DRAWINGS MUST INCLUDE ALLOWANCES FOR THIS WITH NO LIABILITY ON CREATIVE STRUCTURES LTD AND NGACAKU ARCHITECTURE INC.
 CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE.
 CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.
 ANY MATERIAL ALTERATIONS CARRIED OUT DURING CONSTRUCTION BY THE CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED BY THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

2	APR. 02, 2024	ISSUED FOR TENDER
1	JAN 31, 2024	60% ISSUED FOR CLIENT REVIEW
No.	Date	Revision

ISSUES/REVISION TABLE

Project:
WESTDELL DEVELOPMENT CORP
 1300 FANSHAWE PARK RD. EAST. - CRU #3 UNIT B
 1300 FANSHAWE PARK RD. EAST. LONDON, ON

Drawing Title:
DOOR & WINDOW SCHEDULE

Drawn By: D.H. Scale: AS INDICATED
 Checked By: K.N. Plot Date: APR 02, 2024
 Project Date: JAN 2024
 Project No: 2023-102
 Drawing No: A-6.0 Revision: 2