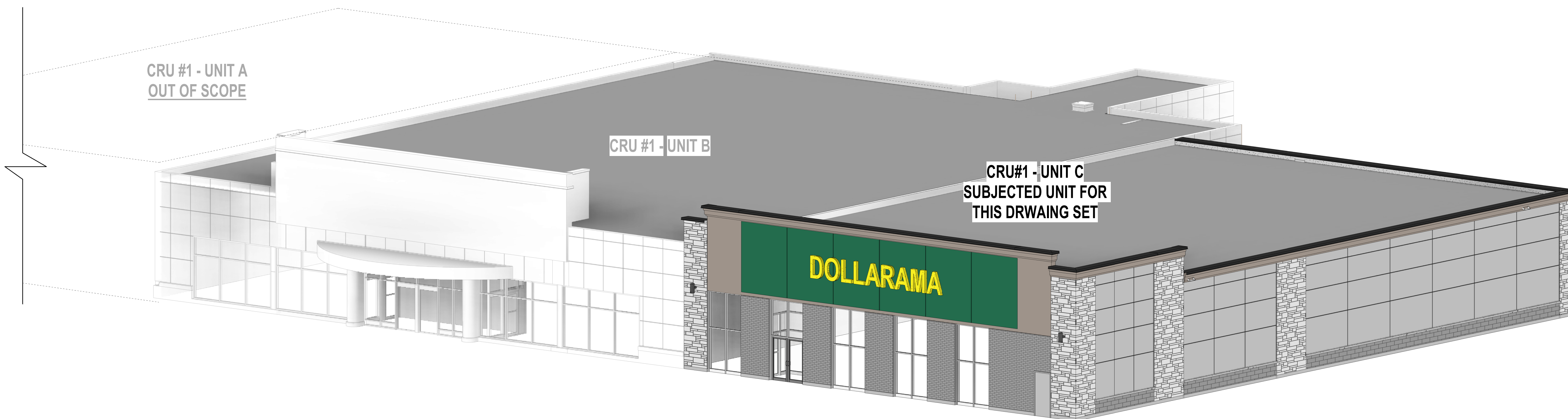


1300 FANSHAWE PARK ROAD. EAST. - CRU #1 UNIT C ARCHITECTURAL DRAWINGS PROJECT #2023-102

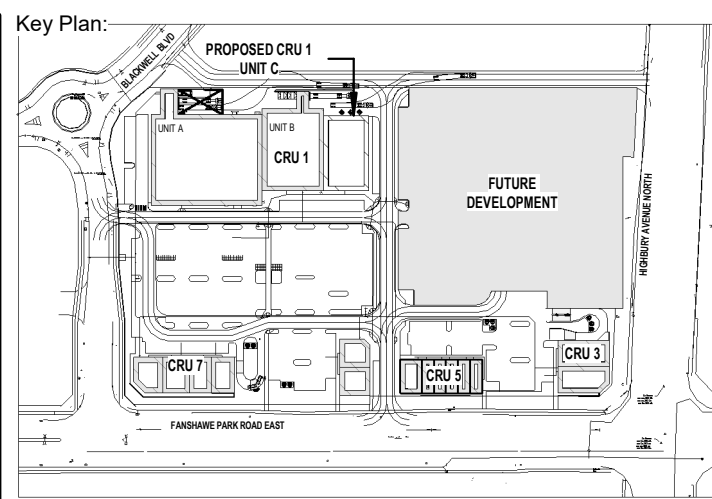
1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.



3D PERSPECTIVE VIEW

SCALE = N.T.S.

SCHEMATIC ONLY - NOT FOR CONSTRUCTION



Consultant:



CS@CREATIVESTR.CA

Consultant:



Seal:

North Arrow:

General Notes:
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No.	Date	Revision
3	APR 02, 2024	ISSUED FOR TENDER
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

Project:

WESTDELL
DEVELOPMENT CORP
1300 FANSHAWE PARK ROAD.
EAST. - CRU #1 UNIT C
1300 FANSHAWE PARK ROAD, EAST, LONDON, ON.

Drawing Title:

COVER SHEET

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

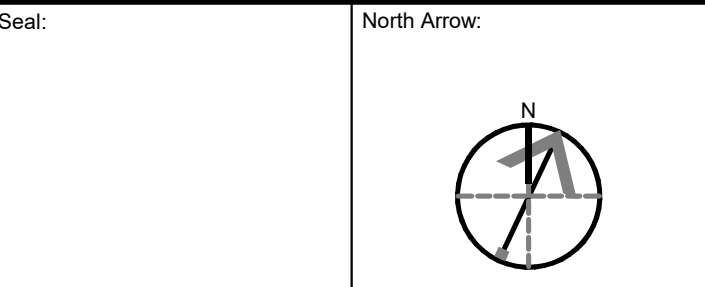
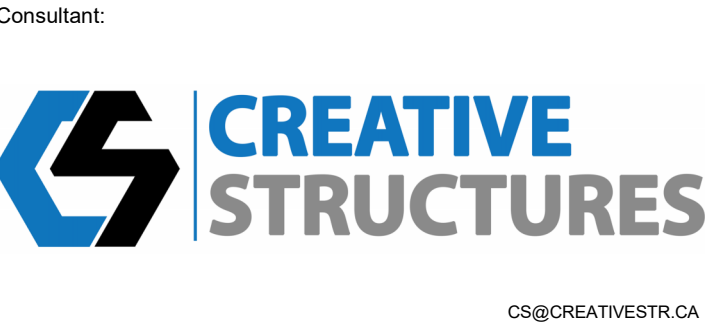
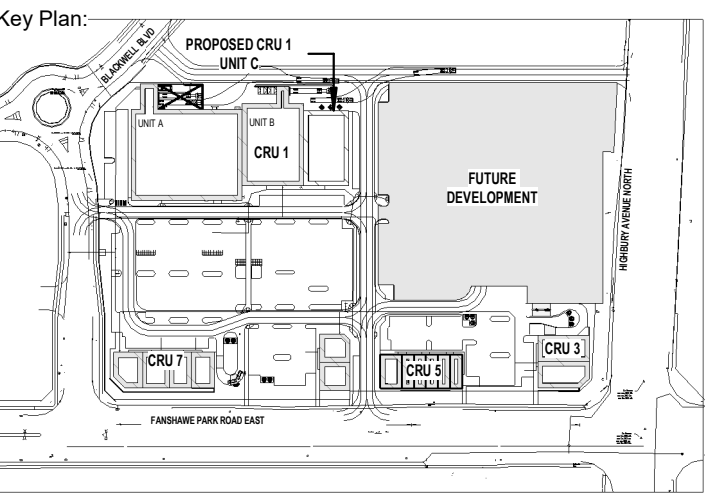
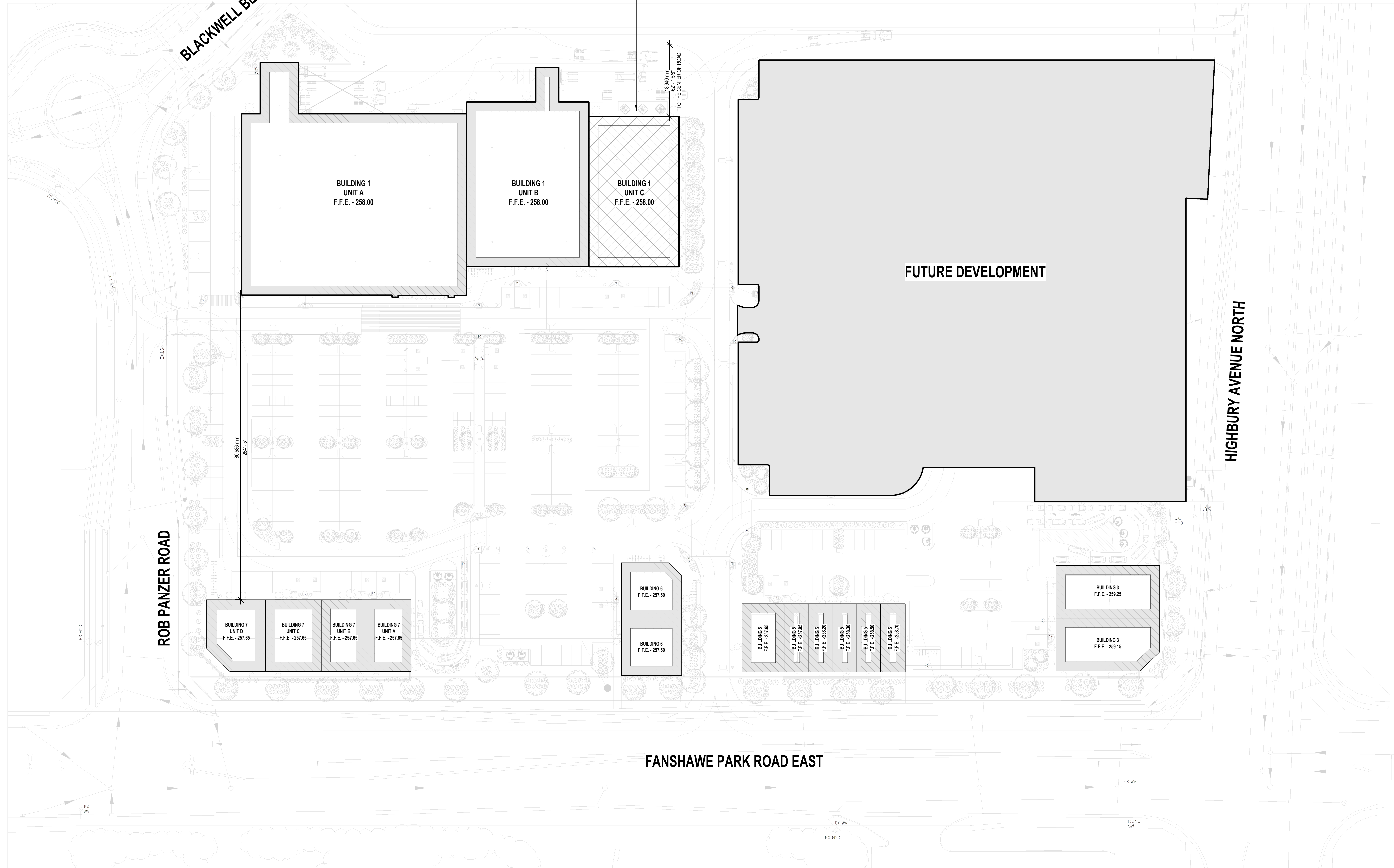
Project Date: JAN 2024

Project No: 2023-102

Drawing No: Revision

A-0.0 | **3**

1300 FANSHAW PARK ROAD EAST
PROPOSED CRU 1C



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Project:
WESTDELL DEVELOPMENT CORP
1300 FANSHAW PARK ROAD, EAST. - CRU #1 UNIT C
1300 FANSHAW PARK ROAD, EAST, LONDON, ON

Drawing Title:

SITE PLAN

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: Revision

A-0.1 3

SITE PLAN

SCALE: 1 : 500

- REFERENCES - SITE PLAN INFORMATION**
- SITE PLAN INFORMATION TAKEN FROM SITE PLAN.
 - LEGEND, ZONING CHART ISSUED ON NOV 02, 2023
 - SITE PLAN PREPARED BY SBM DATED FEBRUARY 14, 2024

REFERENCED SITE PLAN REFER TO SITE PLAN BY OTHERS FOR INFORMATION REVIEW

WALL ASSEMBLIES SCHEDULE GENERAL NOTES

- FIRESTOP CAULKING TO SEAL JOINTS WHERE GYPSUM BOARD PARTITION ABUTTS FLOOR, U/S OF STRUCTURE, CONCRETE MASONRY UNIT (CMU) AND ALL PENETRATIONS THRU FIRE SEPARATIONS. TYP.
- REFER TO FLOOR PLANS FOR LOCATION OF WALLS BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- CONFIRM WALL THICKNESS WITH STRUCTURAL DRAWINGS.
- ALL GYPSUM BOARD SURFACES SHALL BE PAINTED 1 COAT PRIMER, 2 COATS FINISH.
- EGGSHELL SHEEN ON WALLS, SEMI-GLOSS IN KITCHENS ABOVE COUNTER, BATHROOM WALLS, AND DOORS/FRAMES; FLAT SHEEN CEILINGS.
- REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL CONCRETE WALL TYPES, MATERIALS, THICKNESS. TYP. MAX 2" THICK LIFT OF SPRAYFOAM INSULATION PER PASS.
- CONC. BLOCK TOP LATERAL SUPPORT METAL CLIP ANGLES REQUIRED. REFER TO STRUCTURAL DWGS. TYP.
- PROVIDE SAME THICKNESS WATER RESISTANT GYPSUM BOARD BEHIND & BESIDE WATER FIXTURES TYP.
- ALL PARTITIONS SHALL BE PROVIDED WITH LATERAL STABILITY/CROSS BRACING AT TOPS OF FRAMING FOR LATERAL SECUREMENT.
- PAINT ALL STEEL EXPOSED TO VIEW. NEW STRUCTURAL STEEL SHALL BE PRIMED AND PAINTED.
- PROVIDE TILE BACKER BOARD BEHIND ALL WALL TILE.
- PROVIDE ADEQUATE BLOCKING IN WALLS/PARTITIONS TO SUPPORT/SECURE ALL ITEMS FIXED TO WALL. TYP. UNLESS OTHERWISE NOTED, ALL PARTITIONS SHALL BE CONSTRUCTED UP TO U/S STRUCTURE ABOVE. FOLLOW TYP. DETAIL FOR FIRE RATED PARTITION FINISHING.
- REFER TO GEOTECHNICAL REPORT FOR ALL EARTH, MOISTURE, BEARING AND METHANE GAS PROTECTION DESIGN RELATED INFORMATION THAT MAY AFFECT BUILDING ASSEMBLIES AND CONSTRUCTION PROCESSES. TYP.
- REFER TO GEOTECHNICAL REPORT FOR ALL GROUND WATER CONTROL AND WEEP TILE @ FOOTINGS RECOMMENDATIONS.

FLOOR/ROOF ASSEMBLIES SCHEDULE GENERAL NOTES

- REFER TO SECTIONS FOR LOCATION OF FLOOR/ROOF BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- CONFIRM FLOOR/ROOF THICKNESS WITH STRUCTURAL DRAWINGS, REPORT ANY DISCREPANCIES TO THE ARCHITECT (IF REQUIRED).

EXTERIOR WALLS TYPE SCHEDULE

EW1

- 3-1/2" STONE VENEER (SEE ELEVATION LEGEND FOR MATERIAL INFO & LOCATION) c/w GAL. MASONRY TIES (SEE STRUCT.)
- 1" AIR SPACE
- 2.0" RIGID INSULATION (R-12)
- AIR MOISTURE BARRIER CONTINUOUS
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

EW1b

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

EW2

- 3-1/2" BRICK VENEER (SEE ELEVATION /ATION LEGEND FOR MATERIAL INFO & LOCATION) c/w GAL. MASONRY TIES (SEE STRUCT.)
- 1" AIR SPACE
- 2.0" RIGID INSULATION (R-12)
- AIR MOISTURE BARRIER CONTINUOUS
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

EW2b

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

EW3

- 3-1/2" STONE VENEER (SEE ELEVATION /ATION LEGEND FOR MATERIAL INFO & LOCATION) c/w GAL. MASONRY TIES (SEE STRUCT.)
- 1" AIR SPACE
- 2.0" RIGID INSULATION (R-12)
- AIR MOISTURE BARRIER CONTINUOUS
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

EW3b

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

EW4

- DRYVIT OUTSULATION MD C/W V-GROOV - SEE ELEVATION FOR COLOUR AND INFO. PROVIDE PLASTIC WEEP VENTS, CAULKING AT WALL BASE
- 4" EXPANDED POLYSTYRENE INSULATION WITH P.U.C.C DRAINAGE SYSTEM DRYVIT BACKSTOP NT-TEXTURE AIR BARRIER APPLIED OVER ENTIRE SUBSTRATE SURFACE
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

PROVIDED REINFORCED, HIGH IMPACT ARMOUR MESH TO 4'-0" AFF TO ALL STUCCO TREATMENT. REFER TO ELEVATIONS FOR EIFS COLOUR

EW4b

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

EW5

- DRYVIT OUTSULATION MD C/W V-GROOV - SEE ELEVATION FOR COLOUR AND INFO. PROVIDE PLASTIC WEEP VENTS, CAULKING AT WALL BASE
- 4" EXPANDED POLYSTYRENE INSULATION WITH P.U.C.C DRAINAGE SYSTEM DRYVIT BACKSTOP NT-TEXTURE AIR BARRIER APPLIED OVER ENTIRE SUBSTRATE SURFACE
- 5/8" DENSGLASS TYPE 'X' SHEATHING
- 6" THERMAL BATT INSULATION (R-20)
- 6" STEEL STUD @ 16" o/c MAX. (SEE STRUCT.)
- 10 mil POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM BOARD

PROVIDED REINFORCED, HIGH IMPACT ARMOUR MESH TO 4'-0" AFF TO ALL STUCCO TREATMENT. REFER TO ELEVATIONS FOR EIFS COLOUR

EW5b

REPLACE 5/8" TYPE 'X' GYPSUM BOARD WITH TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD

* REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

INTERIOR WALLS TYPE SCHEDULE

W1

- 1/2" TYPE 'X' GYPSUM BOARD
- SOUND ATTENUATING BATT INSULATION
- 6" STEEL STUDS @ 16" o/c MAX. (SEE STRUT.)
- 1/2" TYPE 'X' GYPSUM BOARD

WALL TYPE	REFR.	F.R.	S.T.C.	R (R.S.I)
W1 INTERIOR, 6" METAL STUD 1/2" GWB - 1HR	ULC-U407	1HR	51	

W2

- (2) 1/2" TYPE 'X' GYPSUM BOARD
- SOUND ATTENUATING BATT INSULATION
- 6" STEEL STUDS @ 16" o/c MAX. (SEE STRUT.)
- (2) 1/2" TYPE 'X' GYPSUM BOARD

WALL TYPE	REFR.	F.R.	S.T.C.	R (R.S.I)
W2 INTERIOR, 6" METAL STUD 1/2" GWB - 2HR	ULC-U411	2HR	51	

FLOOR TYPE SCHEDULE

FL1

- C.I.P. CONC. SLAB-ON-GRADE WITH W.W.M.
- 10 MIL POLY VAPOUR BARRIER w/4" LAPPED JOINTS, TYP. ALL APPLICATIONS BENEATH CONC. S.O.G.
- R15 RIGID INSULATION 48" WIDE @ PERIMETER TYPE EXTRUDED POLYSTYRENE TYPE 3 OR 4
- 8" (MIN.) COMPACTED GRANULAR (SEE STRUCT. DWGS)

TO BE INSTALLED AS A SINGLE PLANE LEVEL SLAB W/ SMOOTH TROWELED FINISH READY TO ACCEPT TENANT FLOOR FINISH (COORDINATE WITH TENANT FITUP DWGS PRIOR TO INSTALLATION).

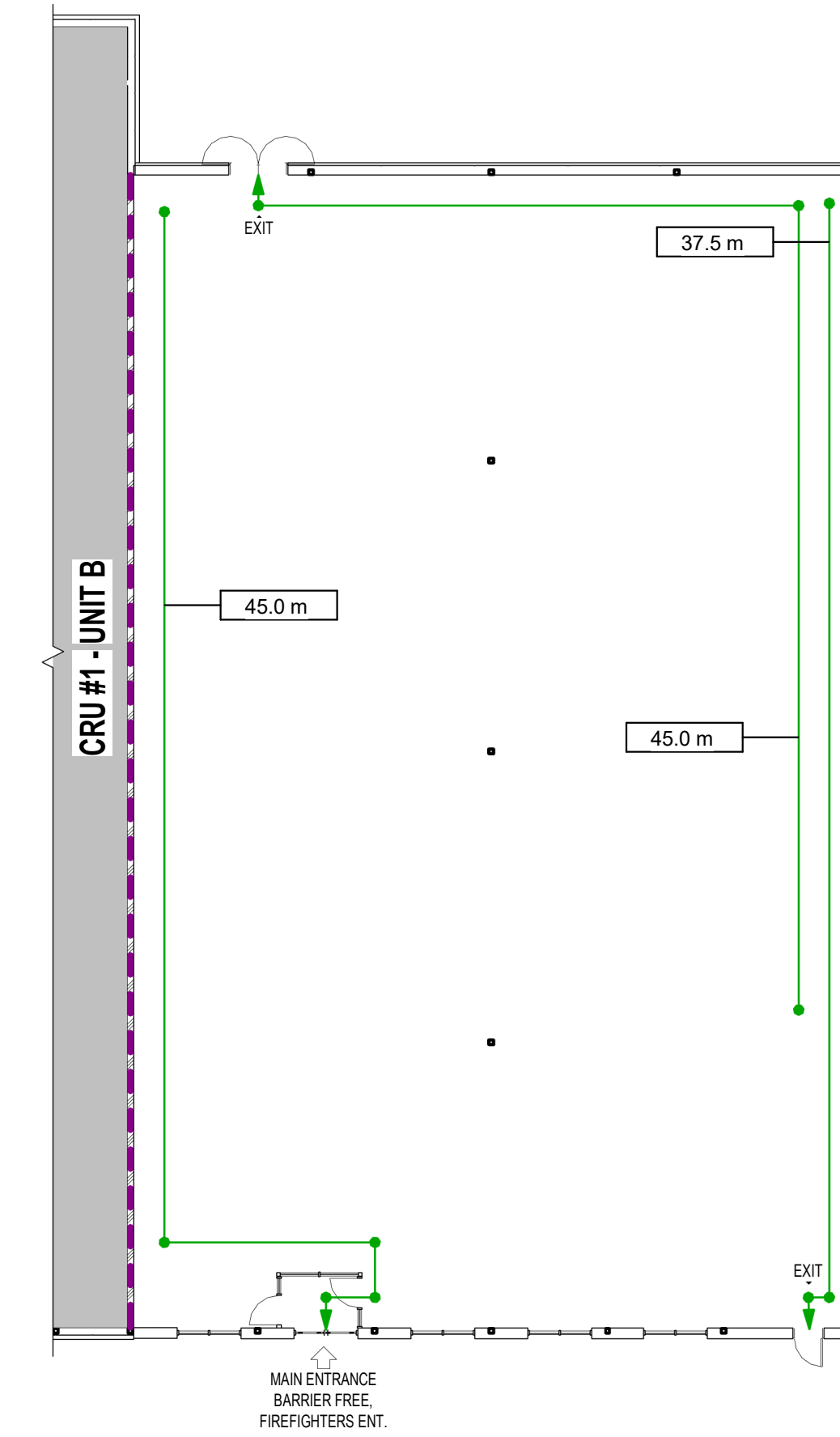
WALL TYPE	REFR.	F.R.	S.T.C.	R (R.S.I)
FL1 FLOOR, C.I.P. CONCRETE & R15 INSUL.				

ROOF TYPE SCHEDULE

RF1

- 60MIL TPO ROOF MEMBRANE SYSTEM (FIRESSTONE OR APPROVED EQUAL)
- BONDING AGENT
- MIN. R-35 RIGID INSULATION, ACHIEVE ROOF SLOPE THROUGH STEEL SLOPES
- 6 mil VAPOUR BARRIER CONT. over
- 3" METAL DECK (SEE STRUCT.)
- BEAM AND OSWB SLOPED FOR DRAINAGE (SEE STRUCT.)

WALL TYPE	REFR.	F.R.	S.T.C.	R (R.S.I)
RF1 ROOF, MIN. R-35 INSUL. & 1-1/2" METAL DECK				

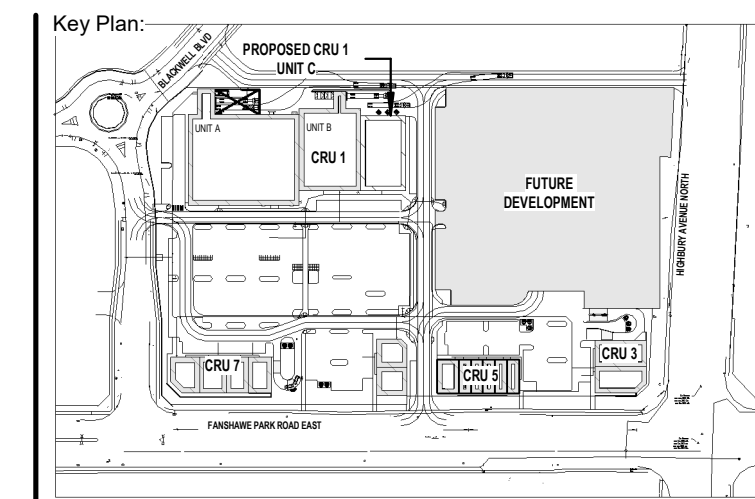


LIFE SAFETY PLAN

SCALE: 1 : 200

LIFE SAFETY LEGEND

- PATH OF TRAVEL
- 1HR FIRE RATED WALL
- 2HR FIRE RATED WALL
- EXIT SIGN W/ EMERGENCY LIGHT



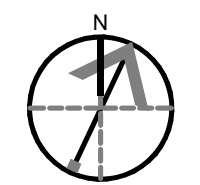
Consultant:



Consultant:



Seal: North Arrow



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WESTDELL
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EAST. - CRU #1 UNIT C
1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

Drawn Title:

ASSEMBLY TYPES

Drawn By: D.H. Scale: AS INDICATED

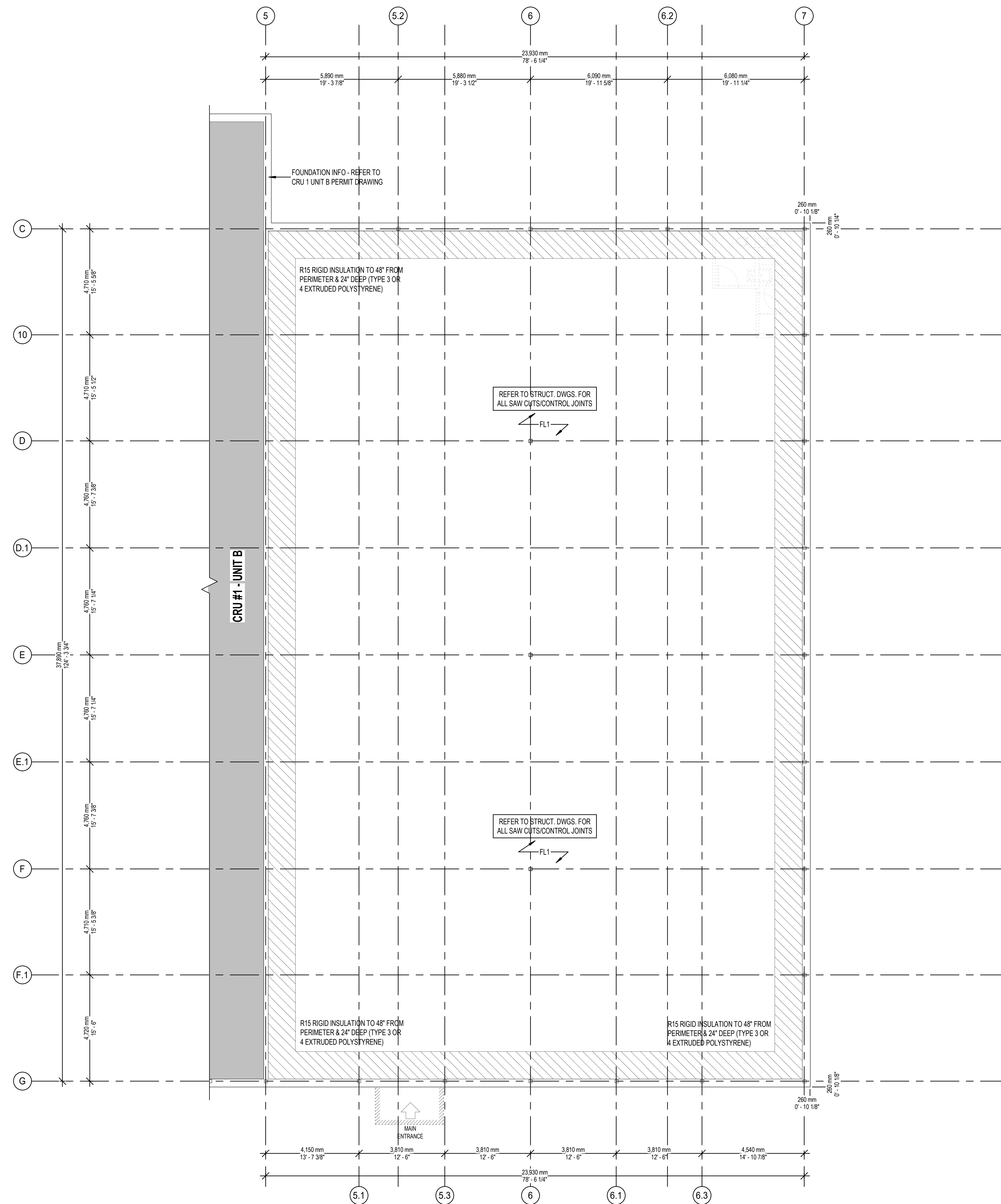
Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawn No: Revision

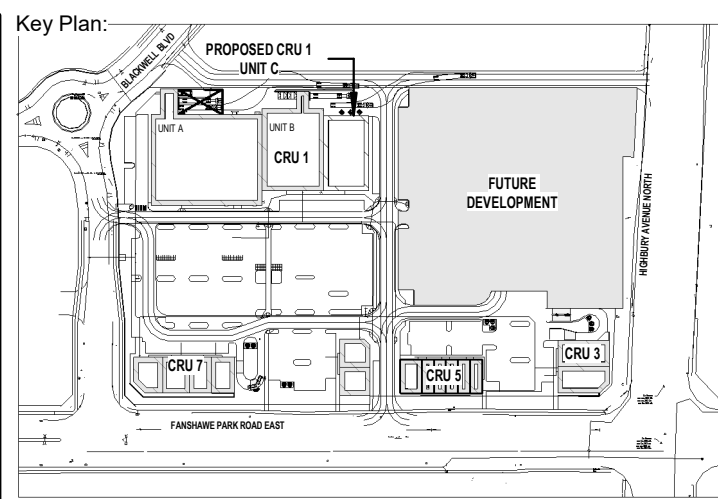
A-1.1 3



FOUNDATION PLAN

SCALE: 1 : 100

NOTE:
TO BE READ IN CONJUNCTION WITH THE STRUCTURAL FOUNDATION
PLAN. REFER TO STRUCTURAL DWGS. FOR ALL REINFORCING,
FOUNDATION WALL & PIERS SIZES & US OF FOOTING ELEVATIONS.



Consultant:



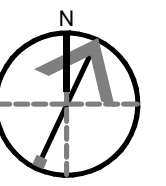
CS@CREATIVESTR.CA

Consultant:



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Drawing Title:

FOUNDATION PLAN

Drawn By: D.H. Scale: AS INDICATED

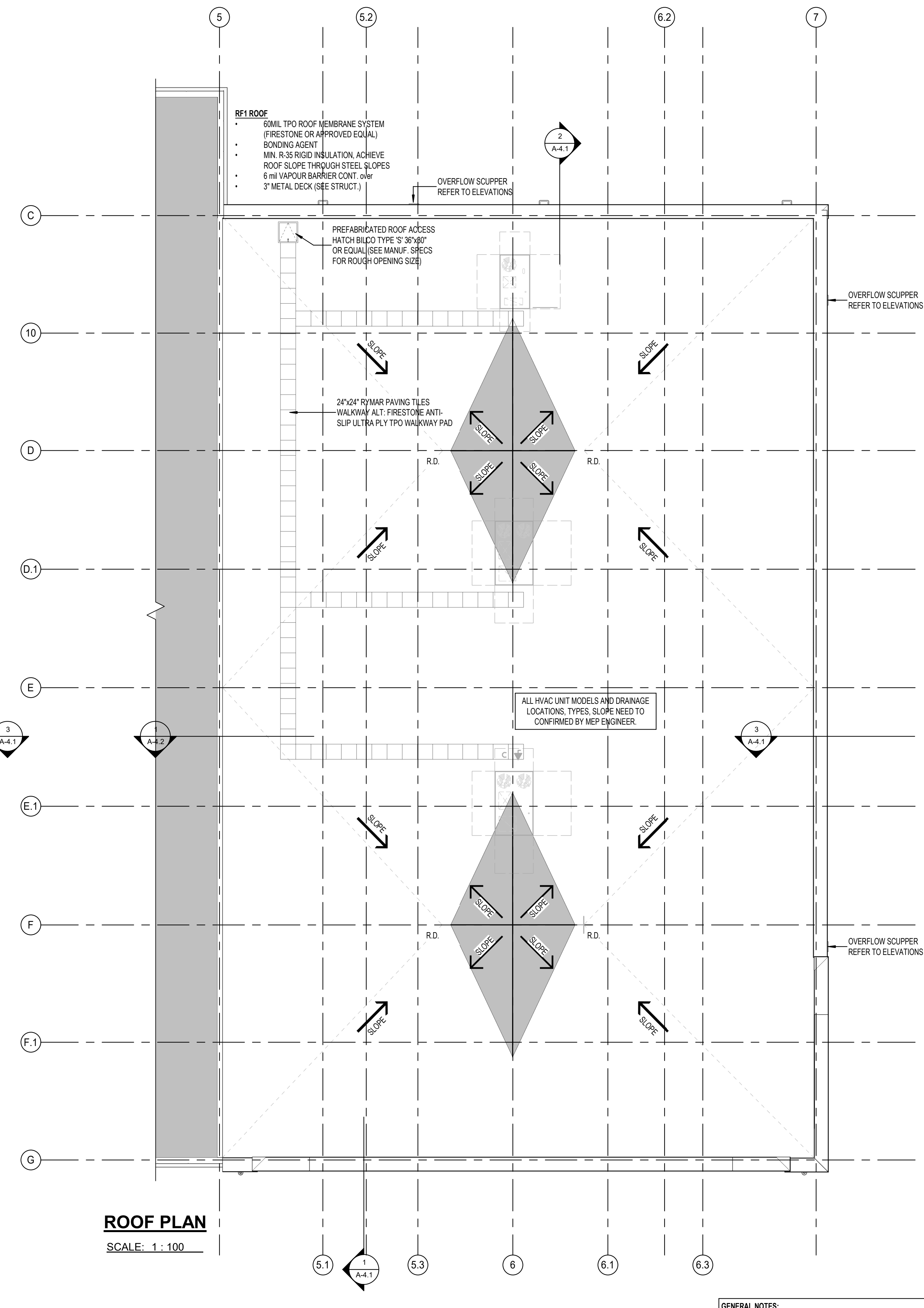
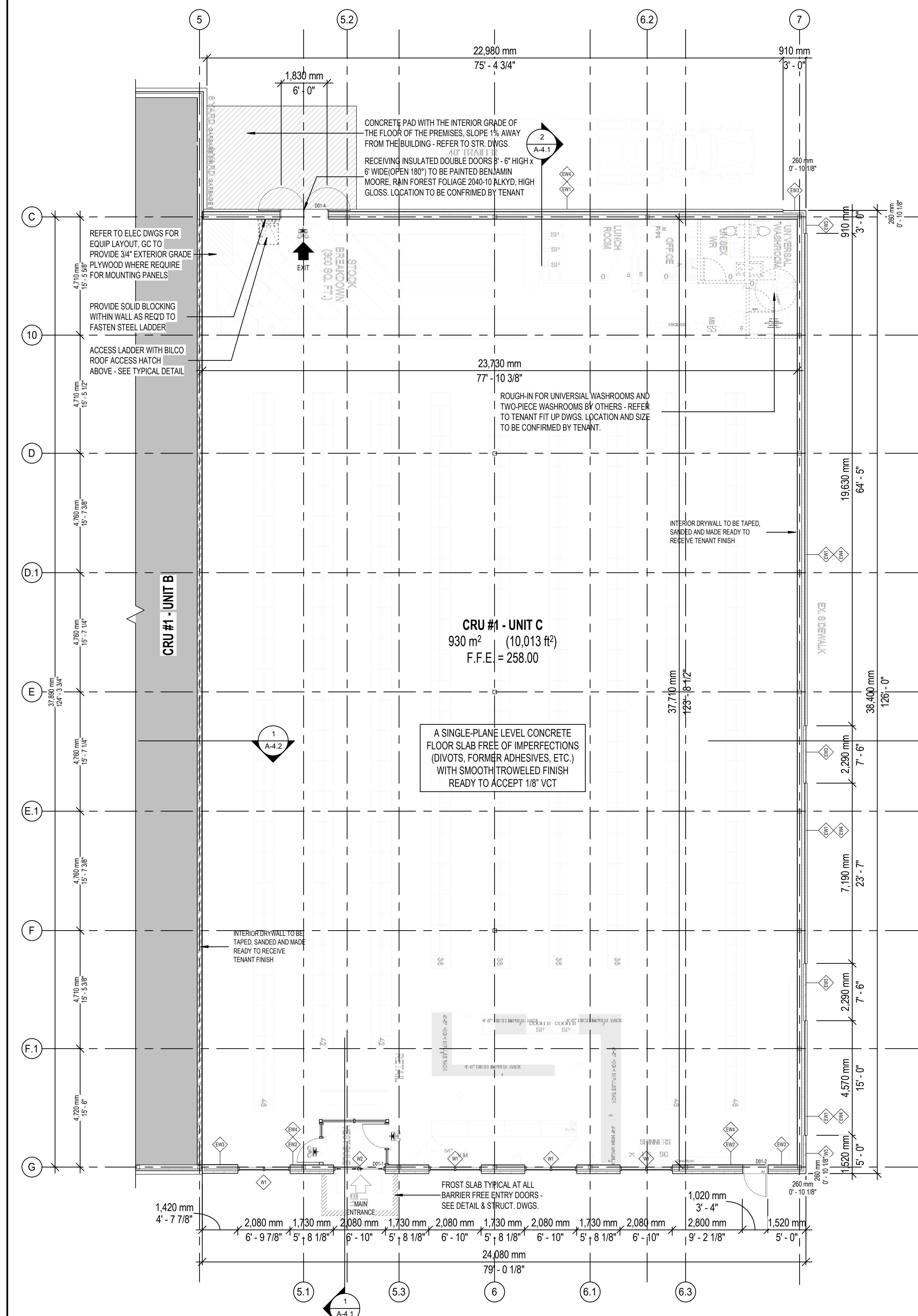
Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: Revision

A-2.1 **3**



FLOOR PLAN

SCALE: 1 : 100

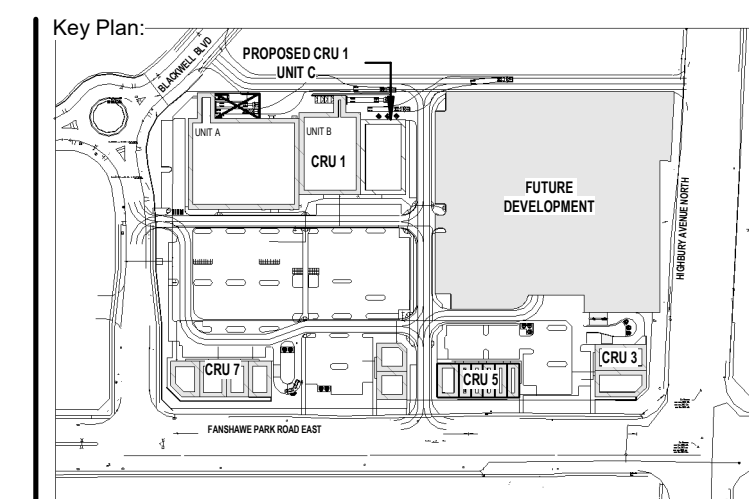
- NOTES:**
1. PROVIDE ALL UNDER SLAB PLUMBING, INCLUDING PLUMBING FOR REFRIGERATION EQUIPMENT, DRAINS, UNCLUDING DRAINS FOR REFRIGERATION EQUIPMENT, AND UNDER SLAB CONDUITS: REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR EXACT LOCATIONS.
 2. CONCRETE FLOOR TO BE FINISHED POWER TROWEL SMOOTH READY TO ACCEPT TENANT FINISHES. REFER TO STR. DWGS.
 3. FOR DOOR SCHEDULE REFER TO DOOR SCHEDULE SHEET
 4. FOR REGIONS THAT ARE NOT REQUIRED TO MEET MIN. ASHRAE STANDARDS AT TIME OF SHEEL OCCUPANCY, MAY LEAVE SALES SIDE VESTIBULE GYPSUM WALL BOARD TO BE SUPPLIED BY TENANT.
 5. VERTICAL CONTROL JOINTS IN INTERIOR DRYWALL SHALL BE INSTALLED AT A MINIMUM DISTANCE OF 20'

ROOF PLAN

SCALE: 1 : 100

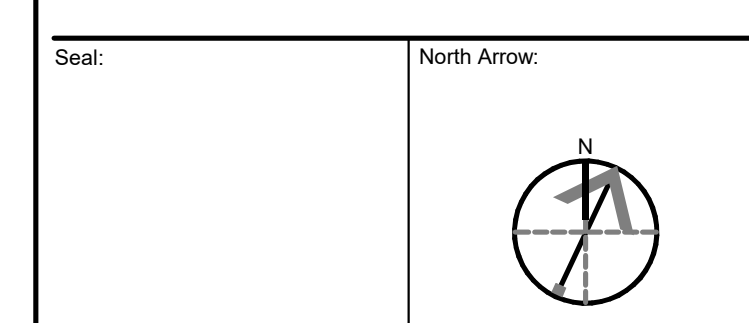
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Consultant:
CREATIVE STRUCTURES
 CS@CREATIVESTR.CA

Consultant:
N/A NGACAKU ARCHITECTURE INC



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No.	Date	Revision
3	APR 02, 2024	ISSUED FOR TENDER
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

Project:
WESTDELL DEVELOPMENT CORP
 1300 FANSHAWE PARK ROAD, EAST. - CRU #1 UNIT C
 1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

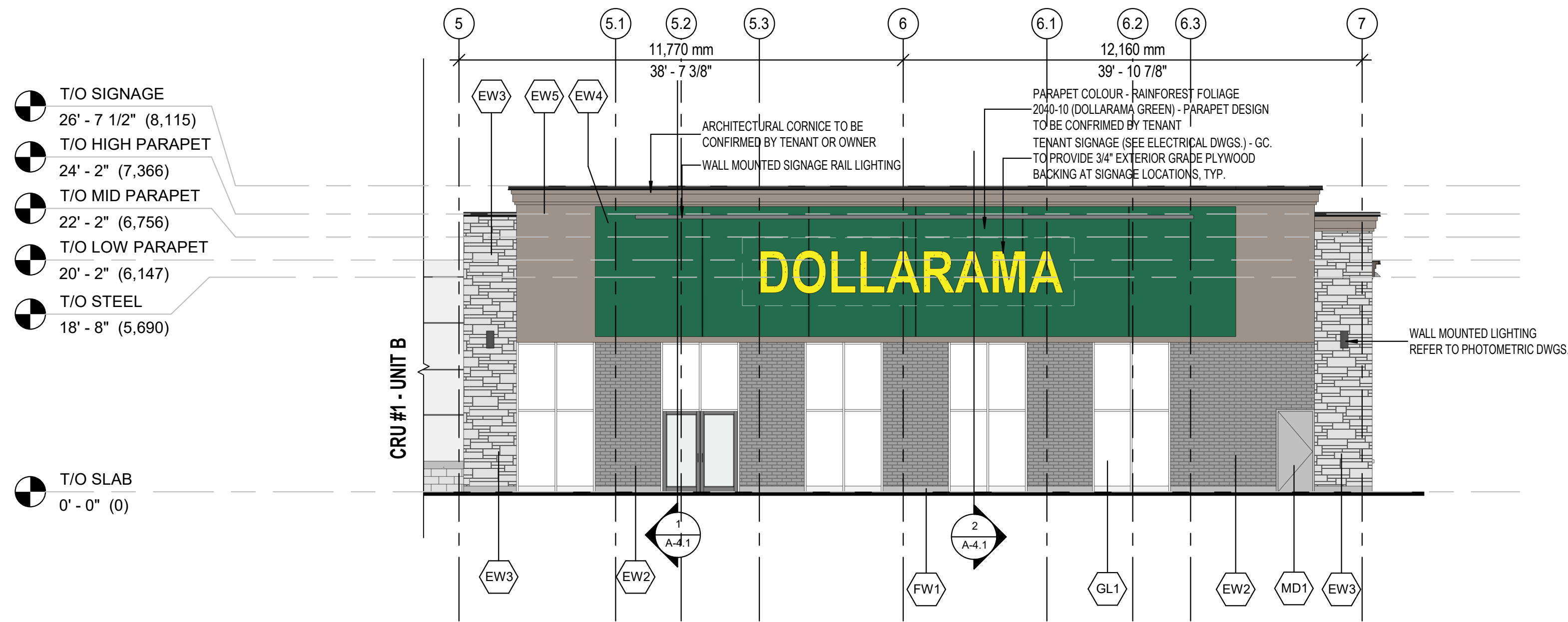
Drawing Title:
FLOOR AND ROOF PLAN

Drawn By: D.H. Scale: AS INDICATED
 Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

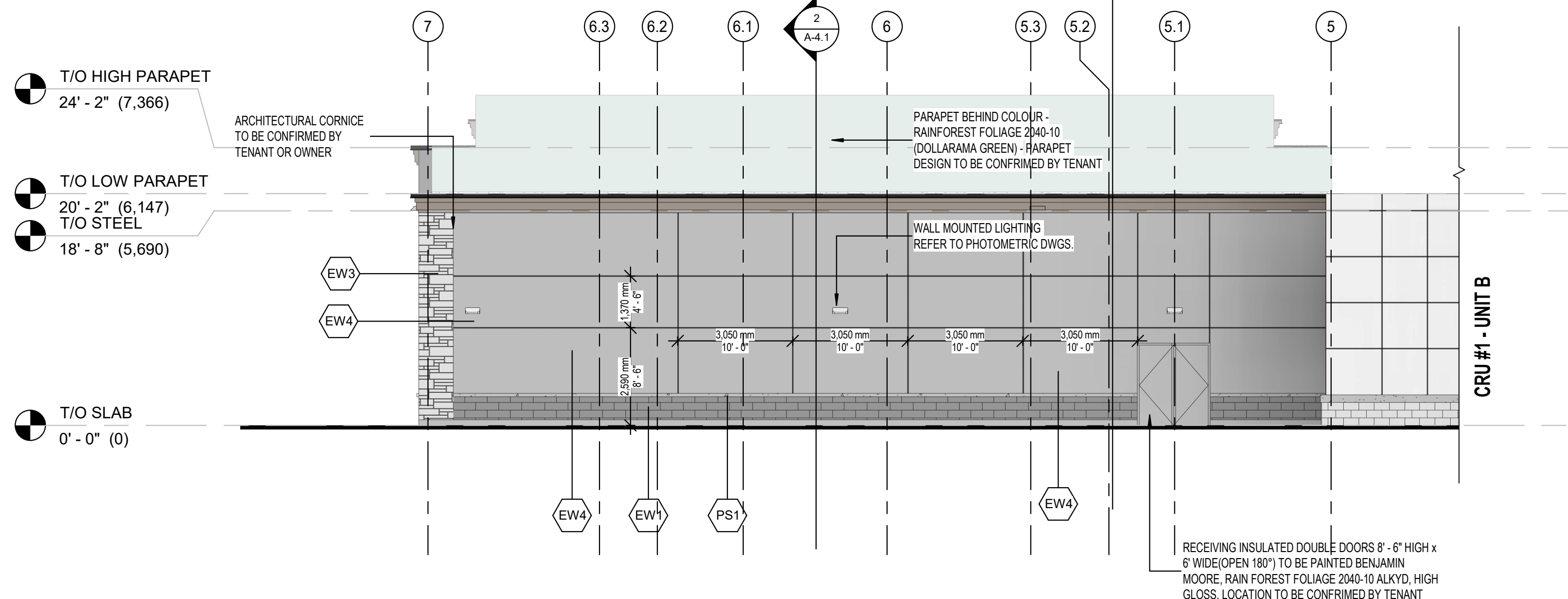
Project No: 2023-102

Drawing No: **A-2.2** Revision: **3**



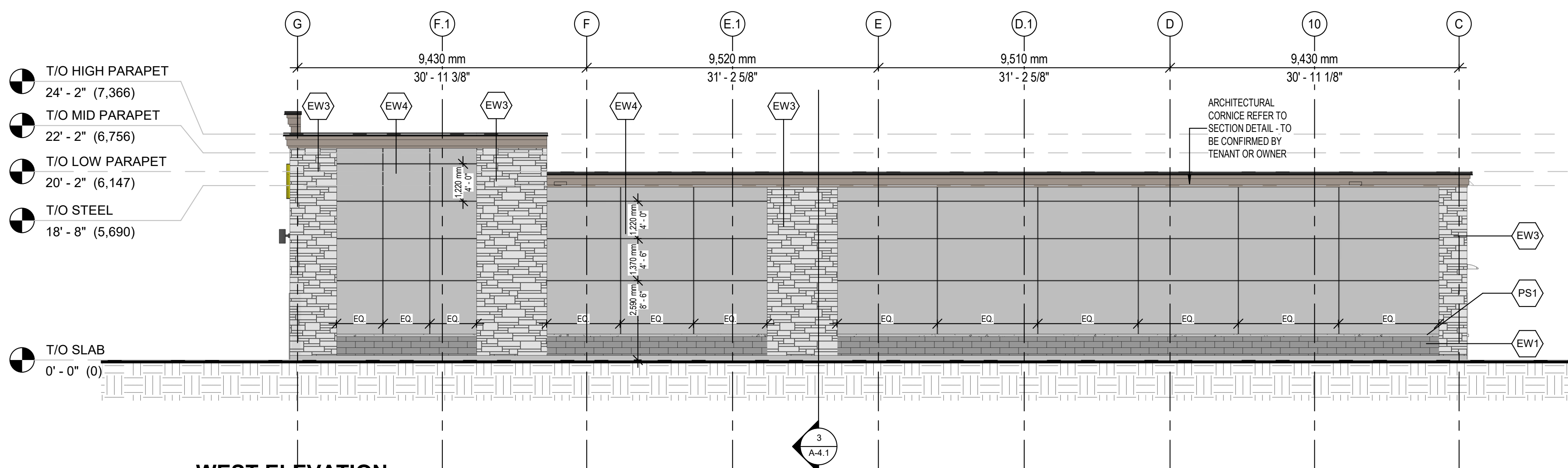
SOUTH ELEVATION (PARKING SPACES)

SCALE: 1 : 100



NORTH ELEVATION (LOADING DECK SIDE)

SCALE: 1 : 100



WEST ELEVATION

SCALE: 1 : 100

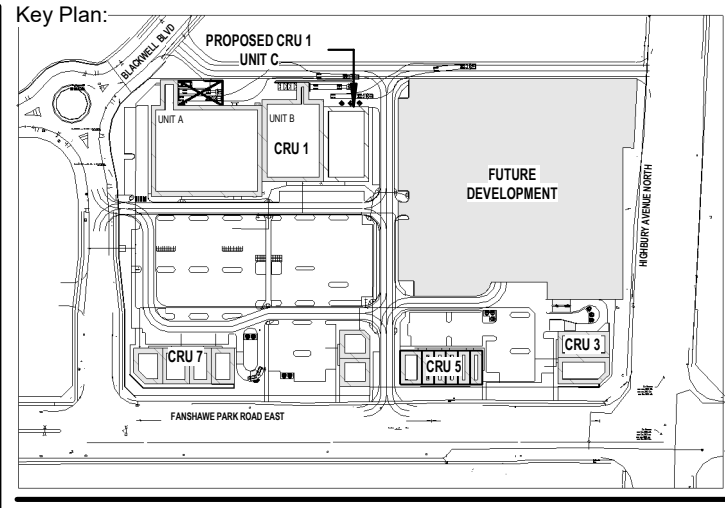
MATERIAL LEGEND

- FL1 PRE-FINISHED METAL CAP FLASHING
EQUAL (WARRANTY PERIOD BY OWNER)
SIZE: N/A
COLOUR: BLACK TBC BY OWNER
- EW1 STONE VENEER
MANUFACTURER: SHOULDICE OR APPROVED EQUAL
(WARRANTY PERIOD BY OWNER)
SIZE: 190MM X 90 MM
COLOUR: DARK GREY TBC BY OWNER
- EW2 BRICK VENEER
MANUFACTURER: SHOULDICE OR APPROVED EQUAL
(WARRANTY PERIOD BY OWNER)
SIZE: 79MM X 25MM
COLOUR: OXENDEN TBC BY OWNER
- EW3 LAFFIT MASONRY STONE VENEER
MANUFACTURER: PERMACON OR APPROVED EQUAL
(WARRANTY PERIOD BY OWNER)
SIZE: VARIABLE
COLOUR: OASIS TBC BY OWNER
- EW4 EXTERIOR INSULATION C/W V-GROOVES
MANUFACTURER: DRYVIT OR APPROVED
EQUAL (WARRANTY PERIOD BY OWNER)
SIZE: N/A
COLOUR: SAND TBC BY OWNER
- EW5 EXTERIOR INSULATION C/W V-GROOV
MANUFACTURER: DRYVIT OR APPROVED
EQUAL (WARRANTY PERIOD BY OWNER)
SIZE: N/A
COLOUR: DARK BEIGE TBC BY OWNER
- PS1 PRE-CAST SOTNE SILL
MANUFACTURER: SHOULDICE OR APPROVED EQUAL
(WARRANTY PERIOD BY OWNER)
SIZE: N/A
COLOUR: GREY TBC BY OWNER
- FW1 EXPOSED FOUNDATION WALL
MANUFACTURER: N/A (WARRANTY PERIOD BY OWNER)
SIZE: N/A
COLOUR: N/A
- GL1 EXTERIOR WINDOW
MANUFACTURER: KAWNEER OR APPROVED EQUAL
(WARRANTY PERIOD BY OWNER)
SIZE: N/A
COLOUR: CLEAR TBC BY OWNER
- SP1 SPANDREL PANEL
MANUFACTURER: KAWNEER OR APPROVED EQUAL
(WARRANTY PERIOD BY OWNER)
SIZE: N/A
COLOUR: TO MATCH GL-1 TBC BY OWNER
- AC1 ALUMINUM CLADDING PANEL
SIZE: REFER TO ELEVATION AND STR. DWGS.
COLOUR: BLACK TBC BY OWNER
- CP1 STEEL C-CHANNEL CANOPY W/ TENSION RODS
SIZE: REFER TO STR DWGS.
COLOUR: BLACK TBC BY OWNER
- CP2 MOMENT CONNECTED STEEL C-CHANNEL
SIZE: REFER TO STR DWGS.
COLOUR: BLACK TBC BY OWNER
- MD1 INSULATED METAL DOOR
SIZE: REFER TO SHEET A-6.0
COLOUR: BLACK TBC BY OWNER
- LF1 EXTERIOR WALL MOUNTED LIGHTING FIXTURE
SIZE: REFER TO PHOTOMETRIC DWGS. AND ELEC
DWGS. FOR INFO

- NOTE:
1. GC TO PROVIDE SAMPLES OF ALL FINISHES FOR OWNER/ARCHITECT APPROVAL
 2. SHOP DWGS. TO BE PROVIDED FOR APPROVAL FOR ALL LIGHT FIXTURES. REFER TO ELEC. DWGS. FOR ALL WALL MOUNTED UTILITY/SECURITY LIGHTING & CAMERAS (IF REQUIRED).
 3. MASONRY CONTROL JOINTS (CJ) TO BE PLACED AS SHOWN. CALCULATING COLOURS TO MATCH MASONRY UNIT MORTAR COLOUR. CALCULATING AT ALL WINDOWS TO MATCH WINDOW FRAMES.
 4. ALL SILLS TO COME WITH DRIP EDGE.
 5. TBC - TO BE CONFIRMED

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Consultant:

CS@CREATIVESTR.CA

Consultant:

Seal: _____ North Arrow: _____

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2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

Project:

1300 FANSHAWE PARK ROAD, EAST. - CRU #1 UNIT C

1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

Drawing Title:

ELEVATIONS I

Drawn By: D.H. Scale: AS INDICATED

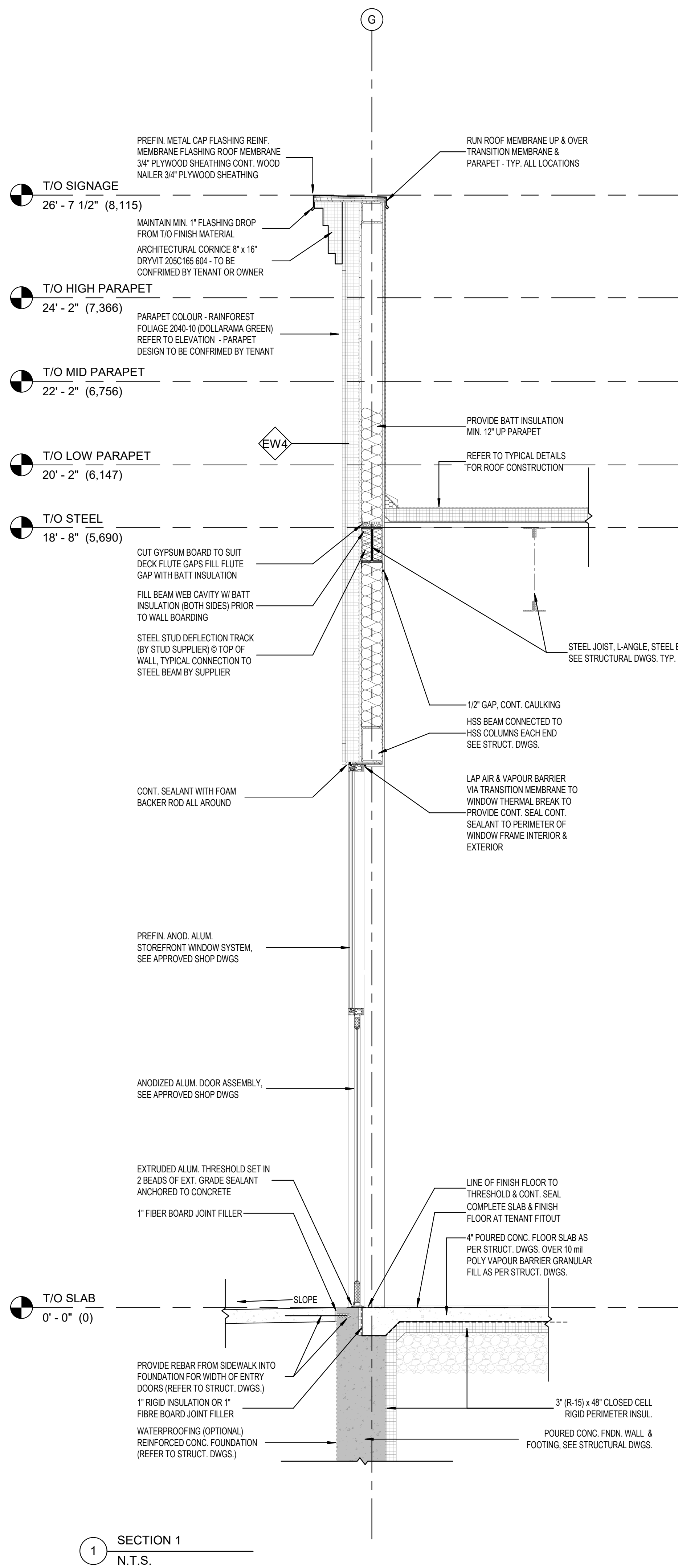
Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

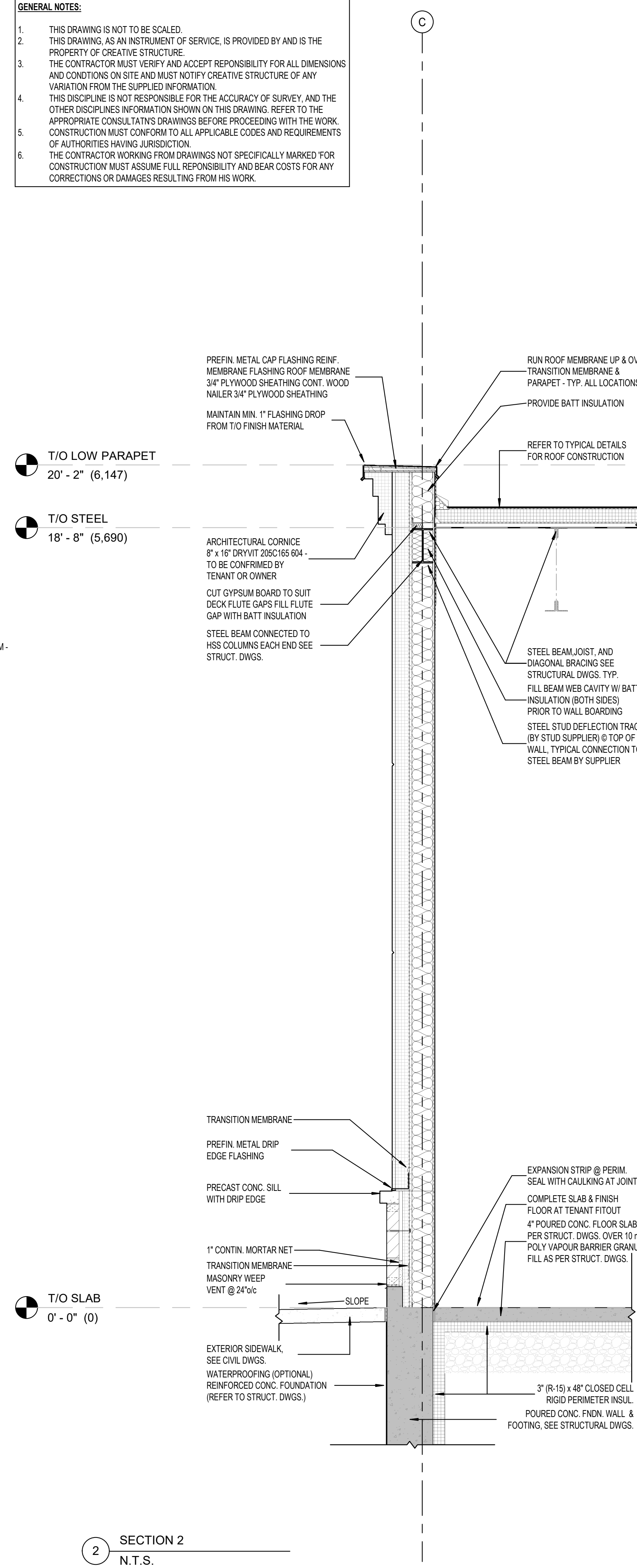
Project No: 2023-102

Drawing No: _____ Revision: _____

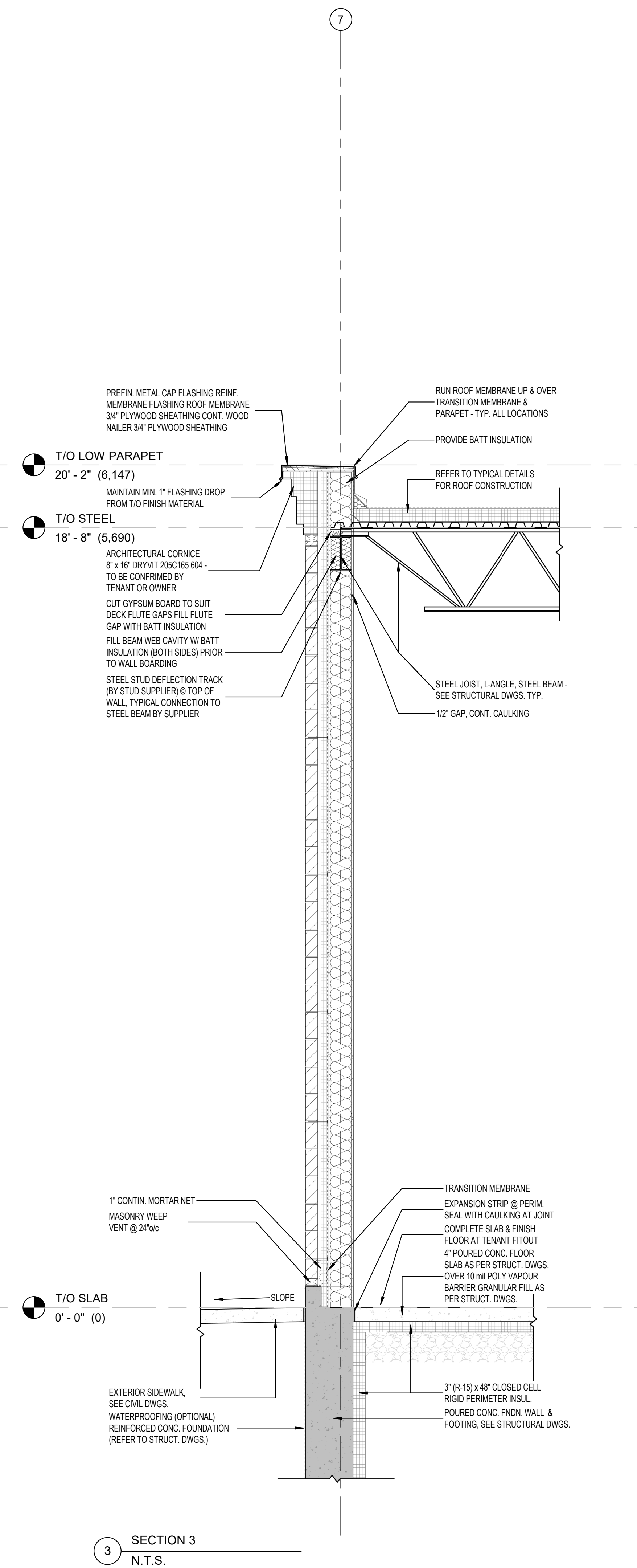
A-3.1 3



1 SECTION 1
N.T.S.



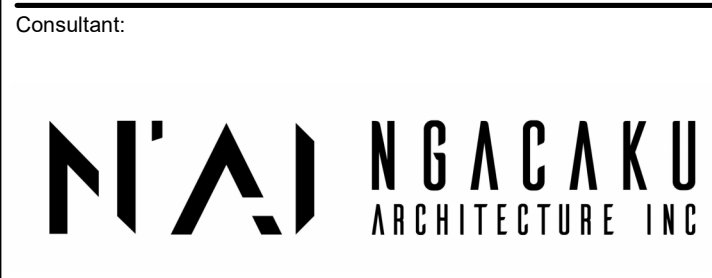
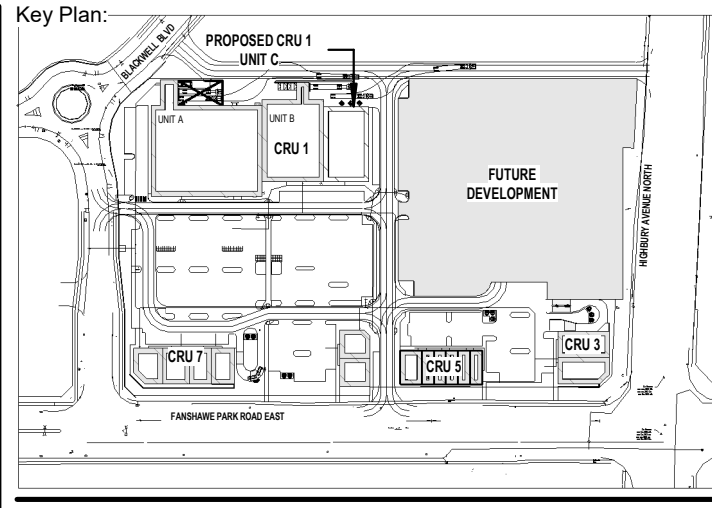
2 SECTION 2
N.T.S.



3 SECTION 3
N.T.S.

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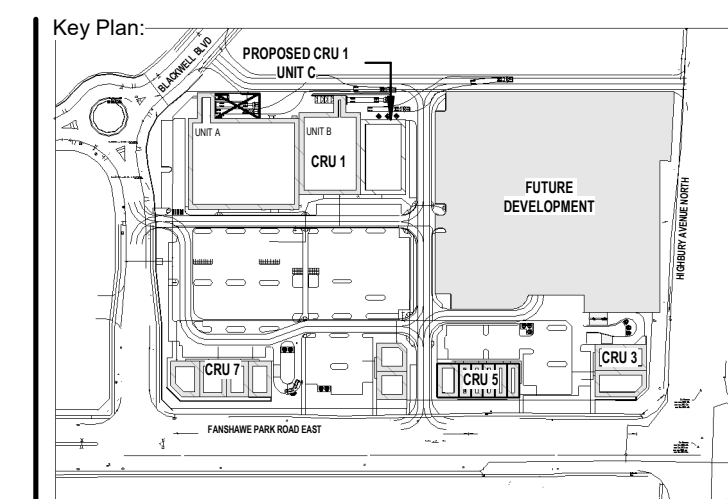
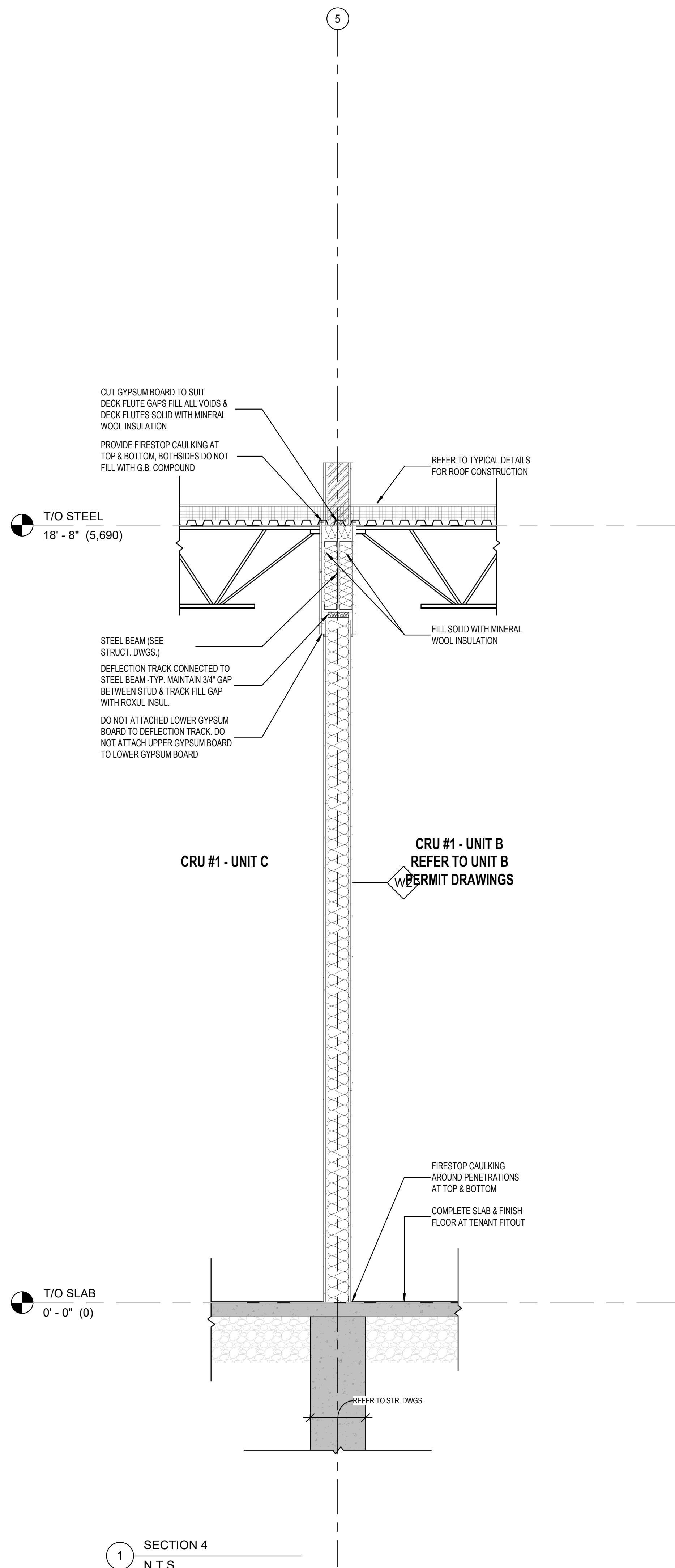
No.	Date	Revision
3	APR 02, 2024	ISSUED FOR TENDER
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1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

Project:
Westdell DEVELOPMENT CORP
 1300 FANSHAWE PARK ROAD, EAST. - CRU #1 UNIT C
 1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

Drawing Title: **WALL SECTION I**

Drawn By: D.H. Scale: AS INDICATED
 Checked By: K.N. Plot Date: APR 02, 2024
 Project Date: JAN 2024
 Project No: 2023-102
 Drawing No: Revision



Consultant:



CS@CREATIVESTR.CA

Consultant:



Seal: North Arrow:

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No.	Date	Revision
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ISSUES/REVISION TABLE

Project:

WESTDELL
DEVELOPMENT CORP
1300 FANSHAW PARK ROAD,
EAST. - CRU #1 UNIT C
1300 FANSHAW PARK ROAD, EAST, LONDON, ON

Drawing Title:

WALL SECTION II

Drawn By: D.H. Scale: AS INDICATED

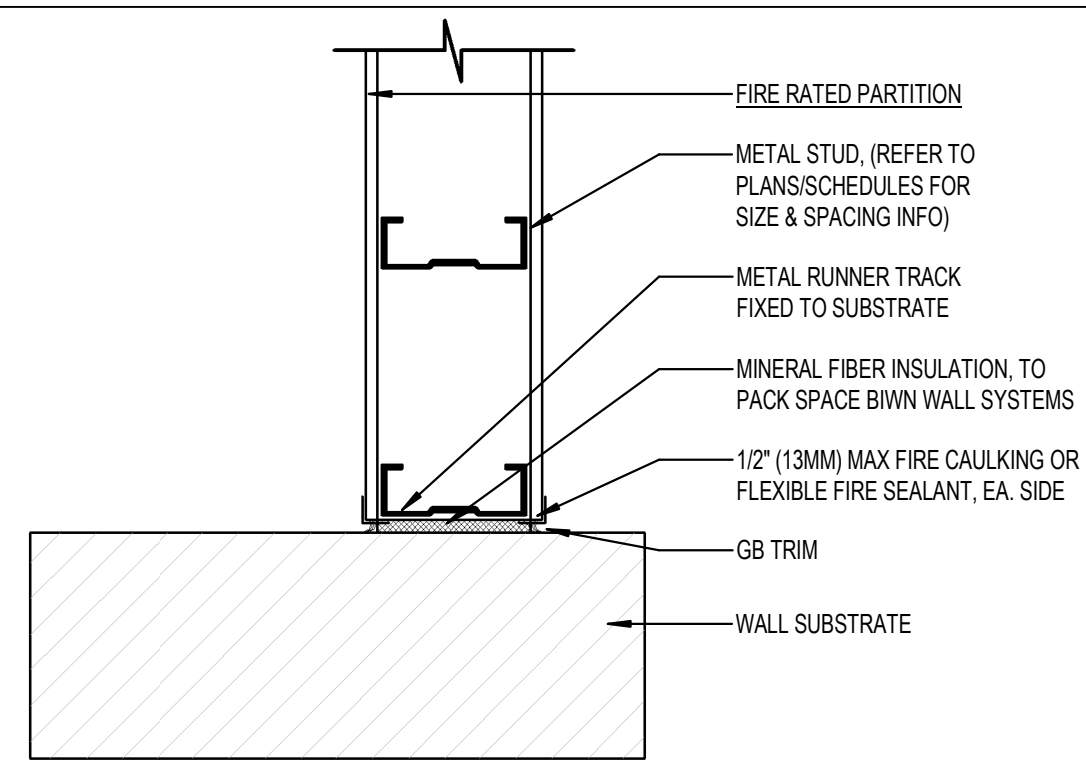
Checked By: K.N. Plot Date: APR 02, 2024

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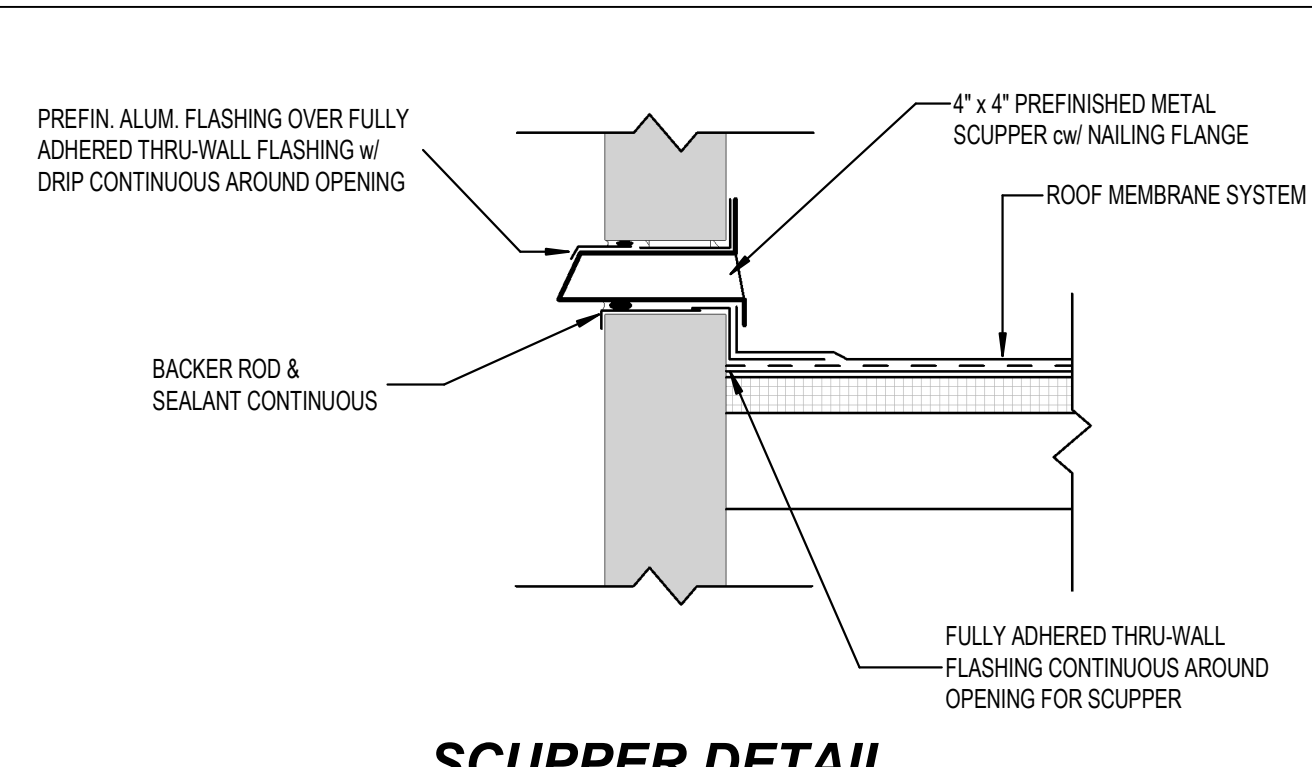
Project No: 2023-102

Drawing No: Revision

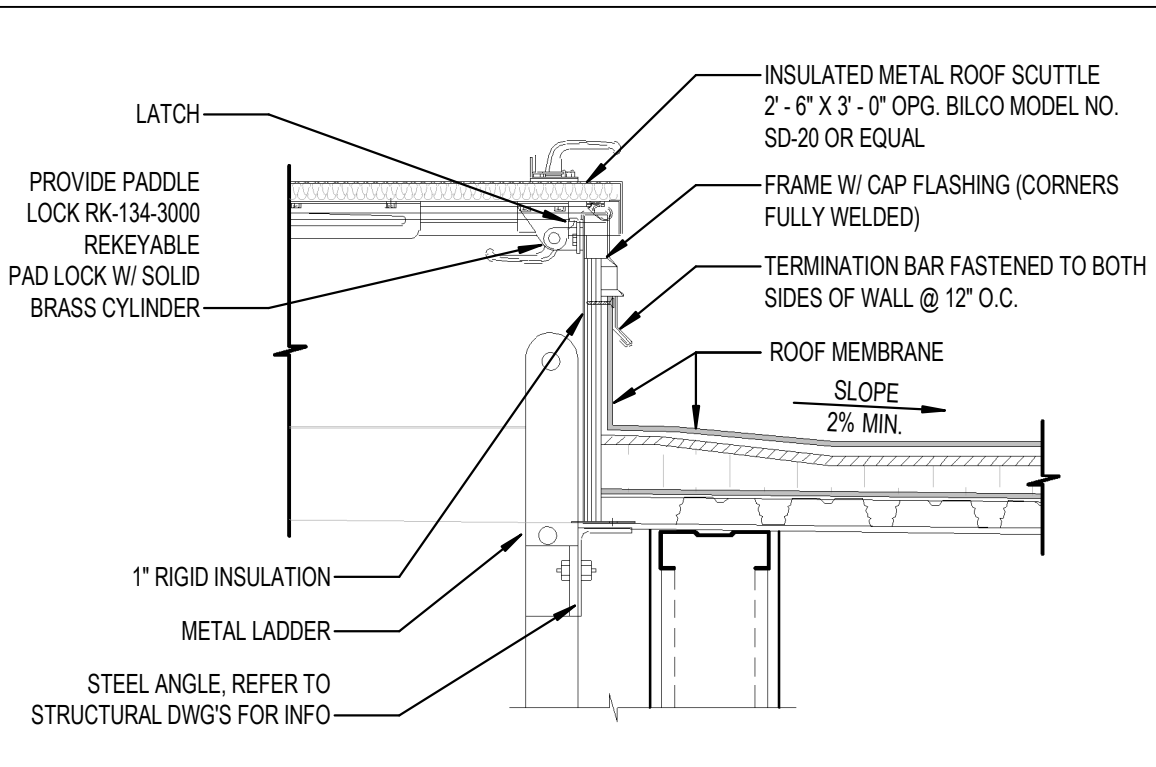
A-4.2 **3**



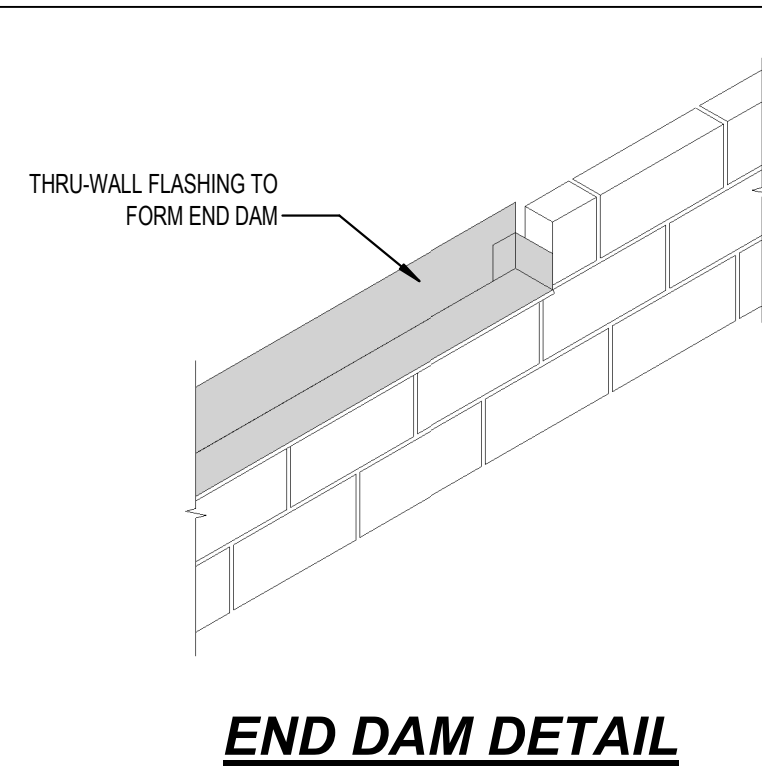
FIRE SEPARATION TERMINATION @ WALL EDGE
SCALE= N.T.S.



SCUPPER DETAIL
SCALE= N.T.S.

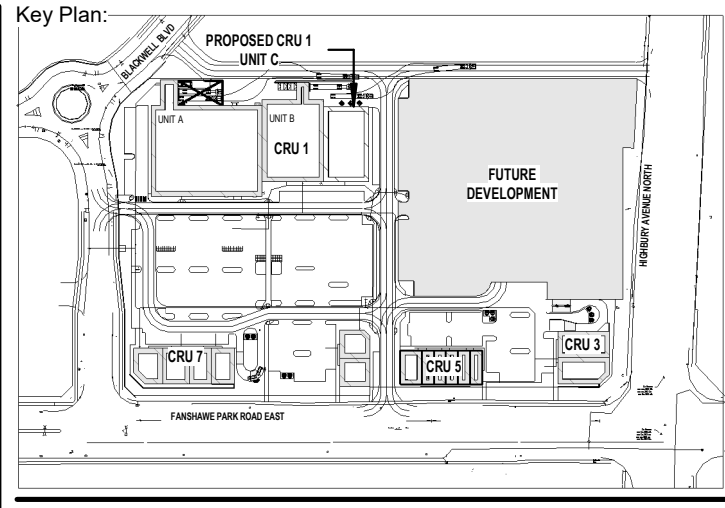


ROOF ACCESS HATCH CURB DETAIL
SCALE= N.T.S.



END DAM DETAIL
SCALE= N.T.S.

- NOTE:**
1. DETAILS, CONNECTIONS, AND DETAILED SHAPES PROVIDED ARE SCHEMATIC ONLY.
 2. ALL ELEVATION DECORATION (INCLUDING BUT NOT LIMITED) SIGNAGE, CANOPY DETAILS CONNECTIONS, AND OTHERS ARE DESIGNED BY OTHERS - PROVIDE STAMPED SHOP DRAWINGS PRIOR TENDERING, FABRICATION, AND CONSTRUCTION.
 3. REFER TO ELEVATIONS FOR COLOR, MANUFACTURER AND WARRANTY.
 4. REFER TO WALL ASSEMBLYS FOR THICKNES AND SIZES OF THE MATERIALS.



CREATIVE STRUCTURES
CS@CREATIVESTR.CA

N/A NGACAKU ARCHITECTURE INC

Scale: North Arrow:

General Notes:

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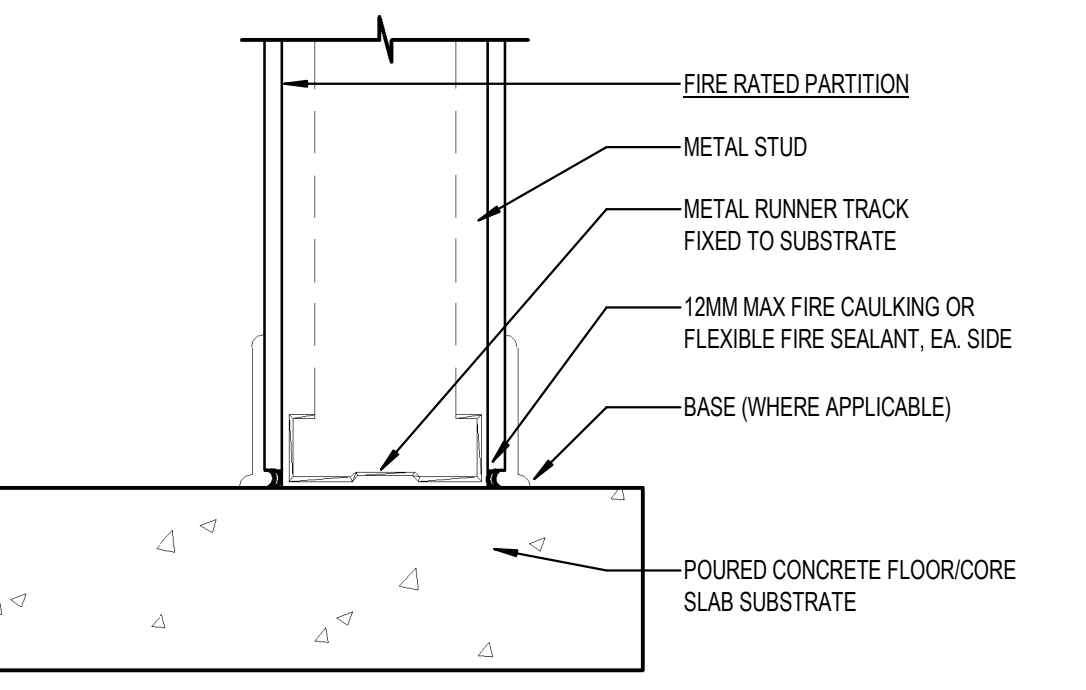
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO CREATIVE STRUCTURES LTD. AND NGACAKU ARCHITECTURE INC. PRIOR TO COMMENCING WORK. ALL DIMENSIONS AND LEVELS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY OWNER AND GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION.

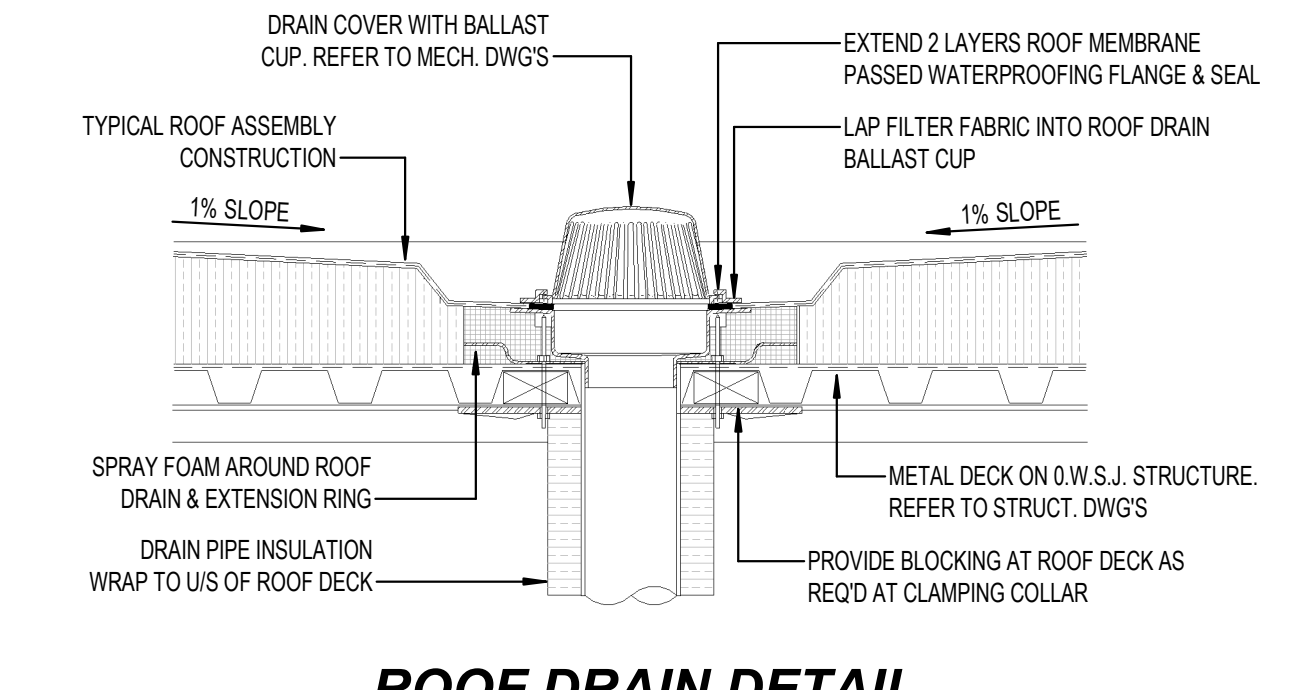
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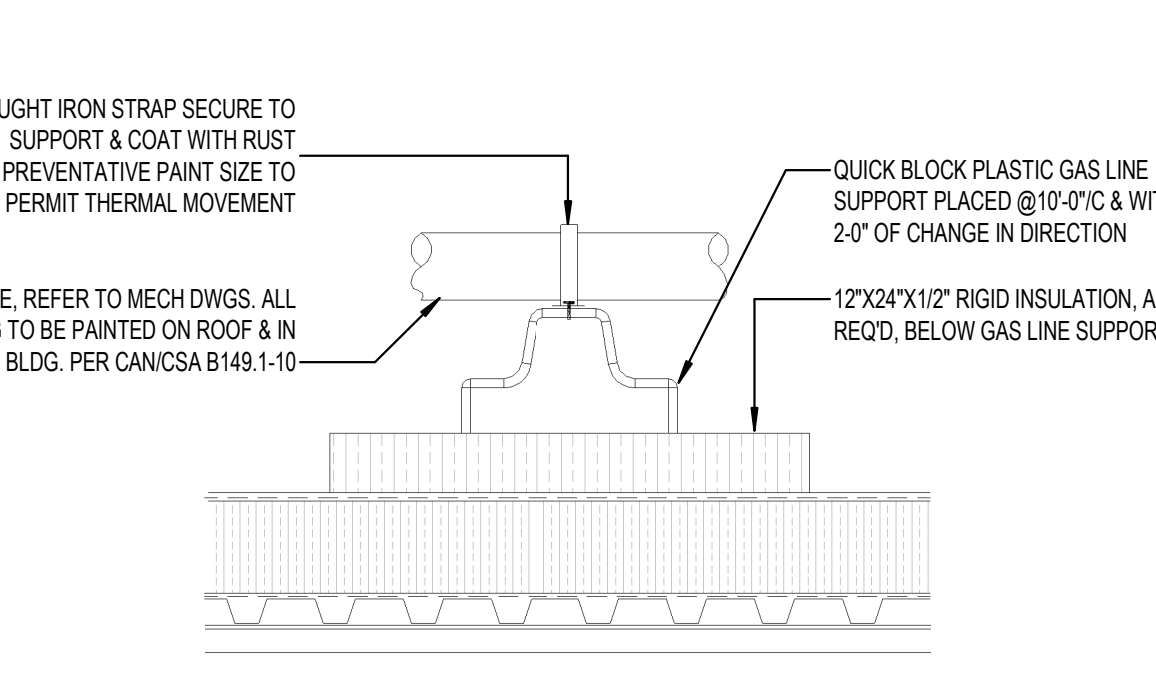


FIRE SEPARATION TERMINATION @ WALL BASE
SCALE= N.T.S.



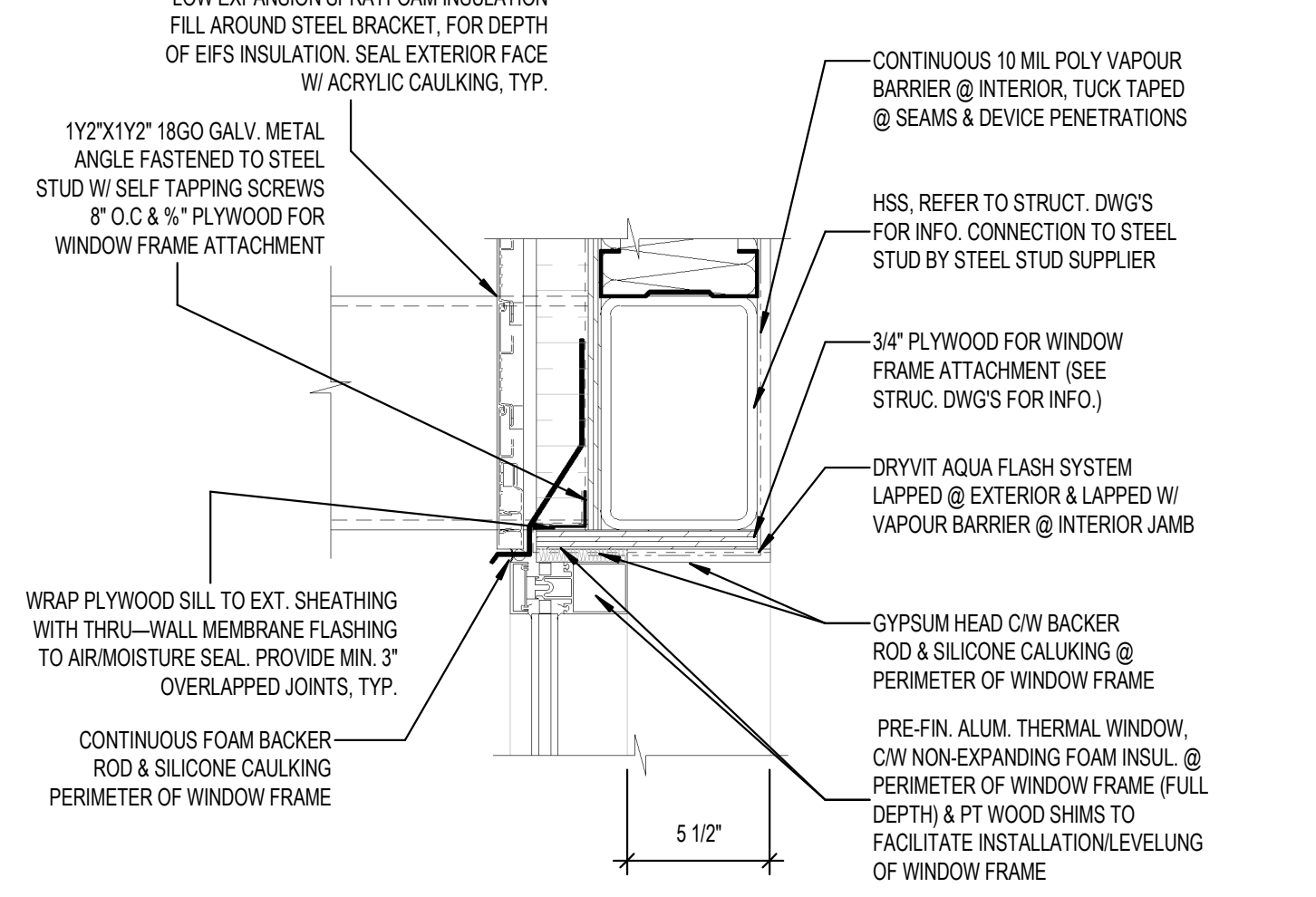
ROOF DRAIN DETAIL
SCALE= N.T.S.

REFER TO MECH. DWGS. FOR LOCATION & EXTENT OF ROOF DRAINS. REFER TO ROOF DRAIN MANUF. SPEC. FOR ALL INSTALLATION INSTRUCTIONS.

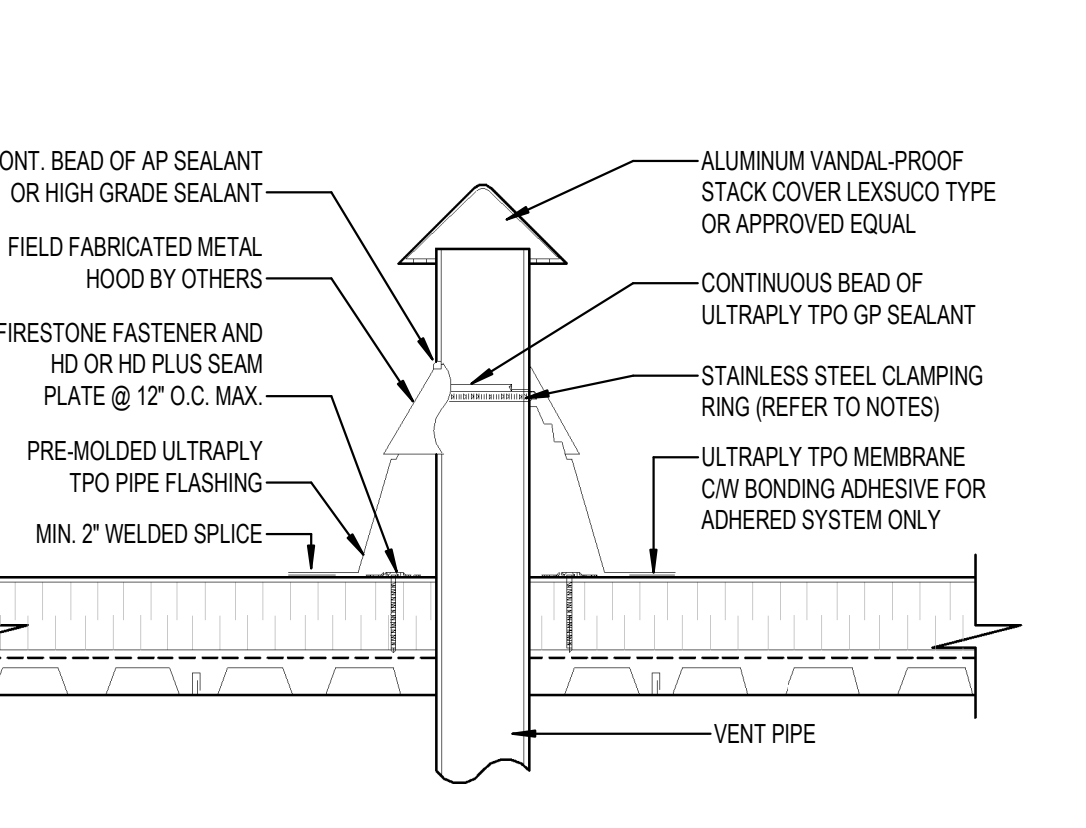


GAS PIPE ROOF SUPPORT DETAIL
SCALE= N.T.S.

REFER TO MECH. DWGS. ALL PIPING TO BE PAINTED ON ROOF & IN THE BLDG. PER CANCSA B149.1-10



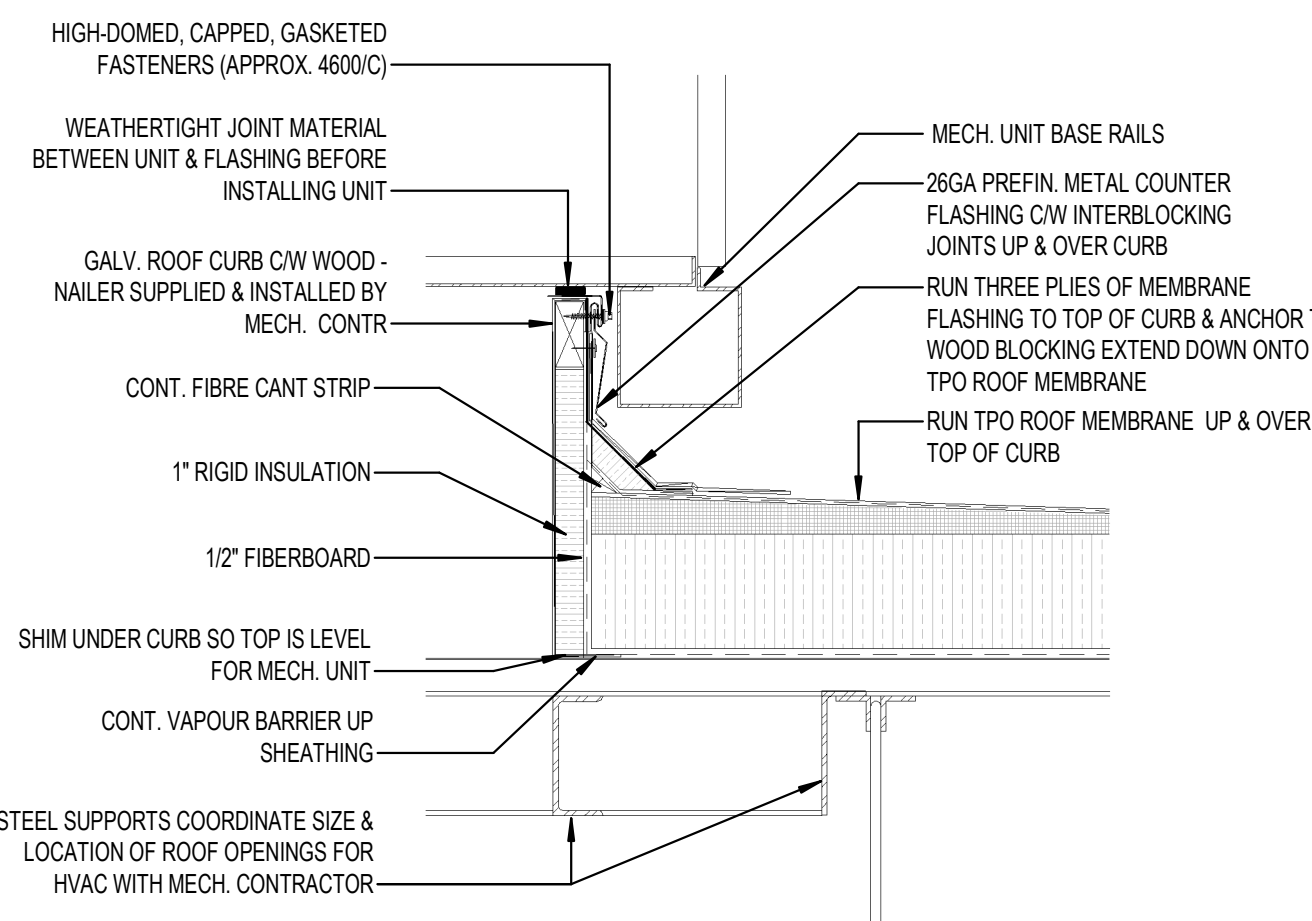
WINDOW HEAD FLASHING DETAIL
SCALE= N.T.S.



VENT PIPE DETAIL
SCALE= N.T.S.

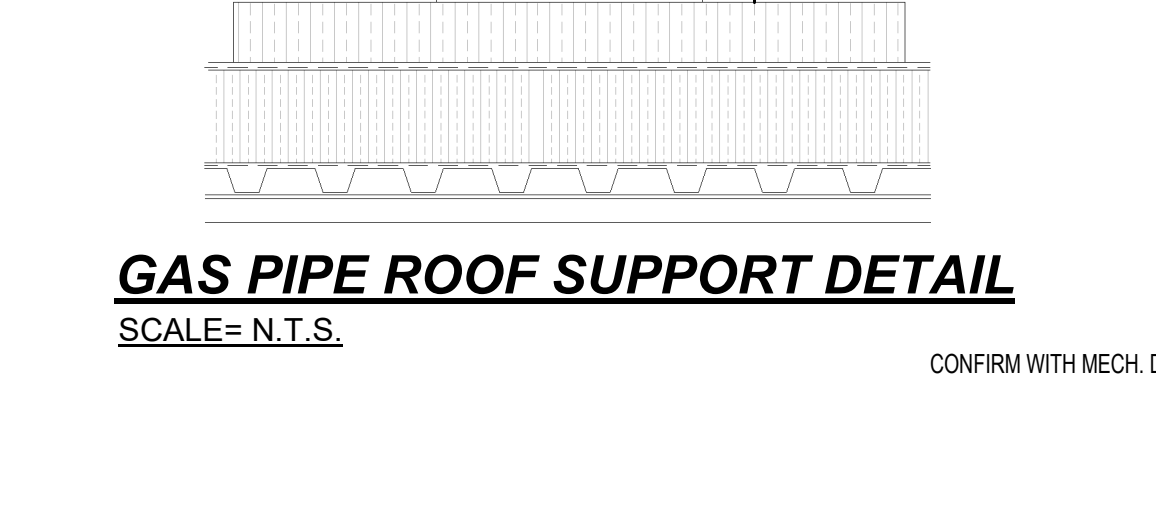
NOTES:

1. PIPE MUST BE ANCHORED TO ENSURE STABILITY
2. PRE-MOLDED PIPEFLASHING MAY BE CUT TO HEIGHT, BUT NO LOWER THAN REINFORCING RING (ENSURE NO WRINKLES OR FOLDS UNDER CLAMPING RING)
3. APPLY GP SEALANT BETWEEN PENETRATION AND PRE-MOLDED PIPE FLASHING PRIOR TO INSTALLATION OF CLAMPING RING
4. LARGE PRE-MOLDED PIPE FLASHING FITS 4\"/>



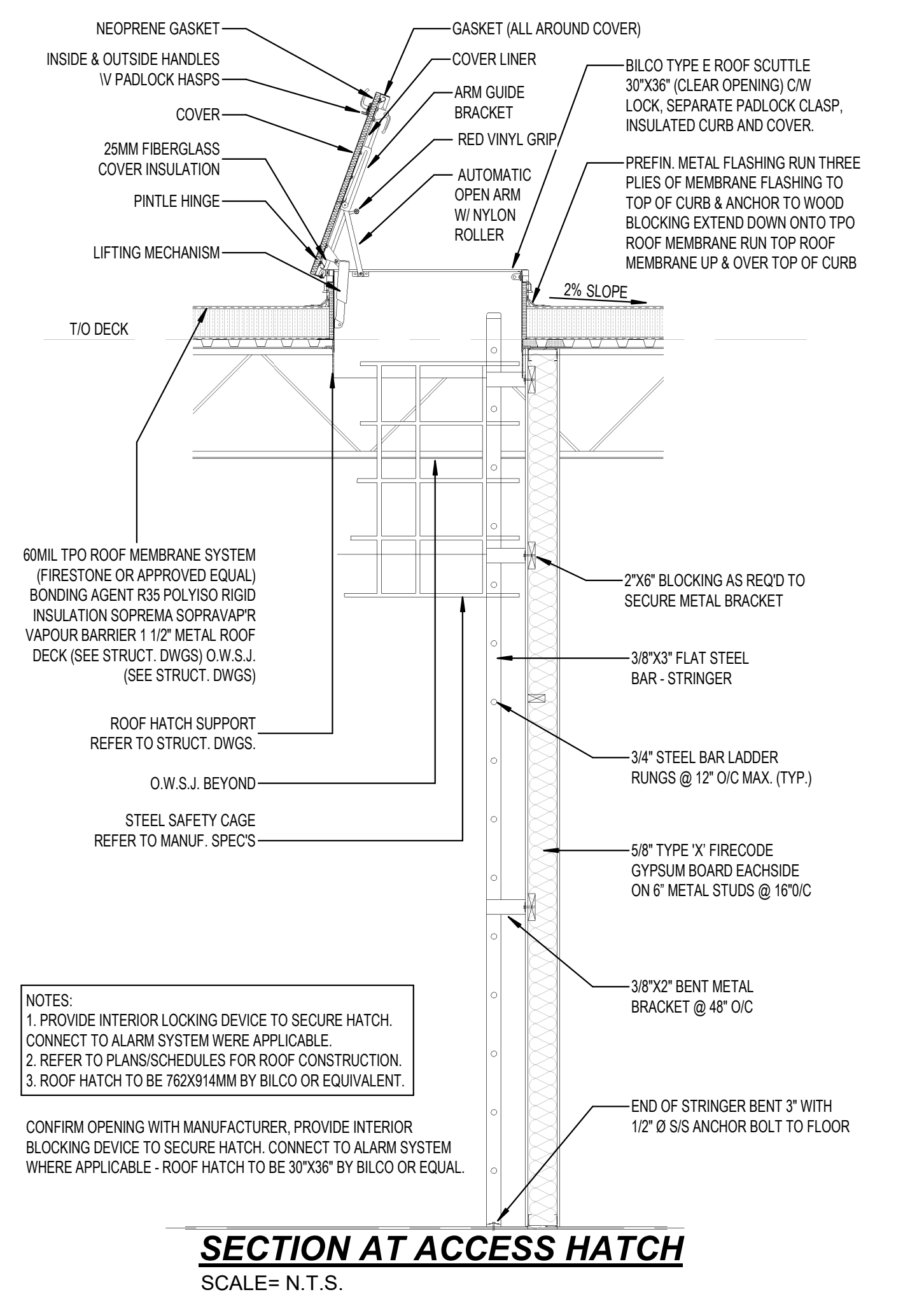
HVAC ROOF CURB DETAIL
SCALE= N.T.S.

NOTE: WHEN POSSIBLE, THE MECHANICAL UNITS SHOULD NOT BE SET UNTIL THE ROOF MEMBRANE AND FLASHING HAVE BEEN INSTALLED. THE CURBS, TOP NAILER AND SEAL STRIP ARE TO BE SUPPLIED BY THE CURB MANUFACTURER. PROVIDE SECURITY SCREEN IN ALL OPENINGS GREATER THAN 12\"/>



CONTROL JOINT (CJ)
SCALE= N.T.S.

TYPICAL CONTROL JOINT IN FACE BRICK & MASONRY VENEERS

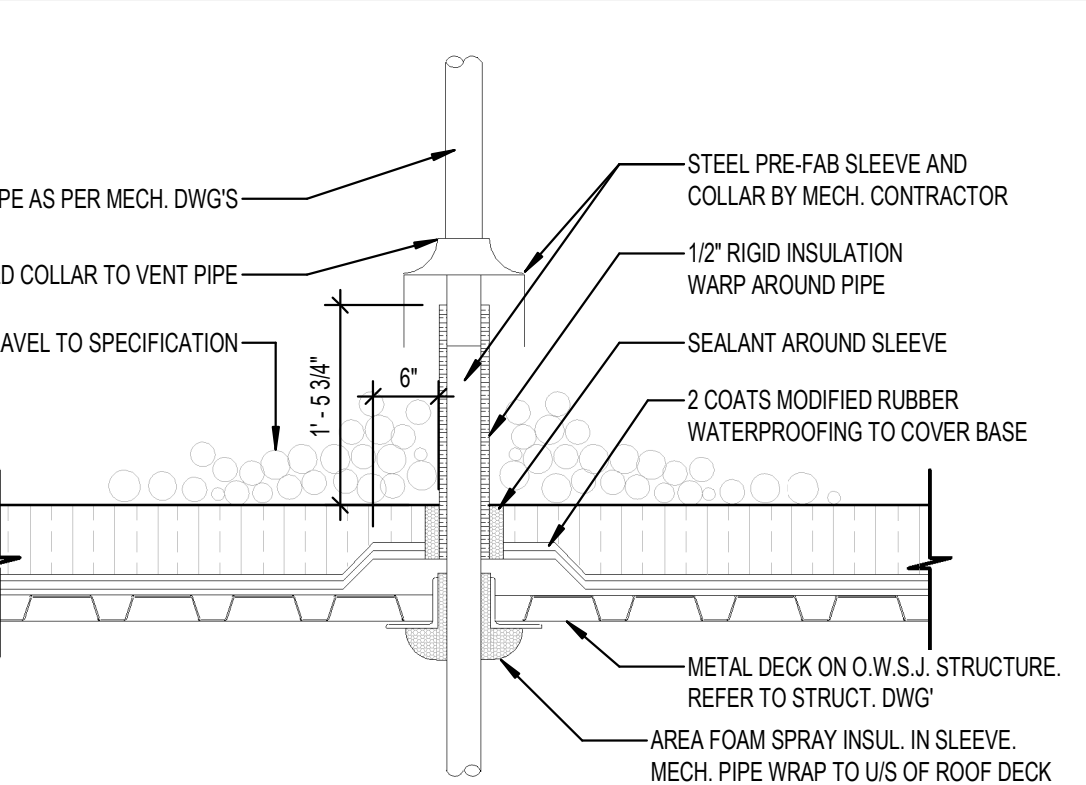


SECTION AT ACCESS HATCH
SCALE= N.T.S.

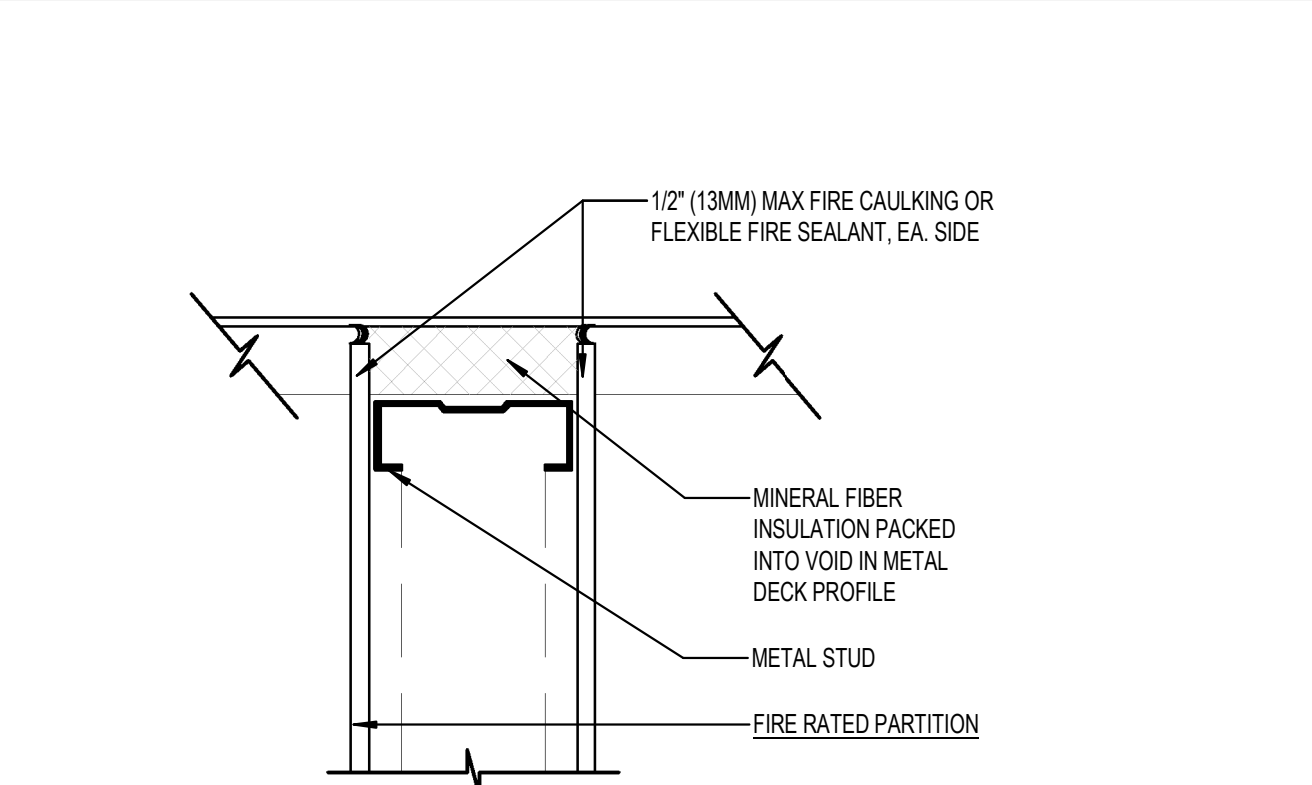
NOTES:

1. PROVIDE INTERIOR LOCKING DEVICE TO SECURE HATCH. CONNECT TO ALARM SYSTEM WHERE APPLICABLE.
2. REFER TO PLANS/SCHEDULES FOR ROOF CONSTRUCTION.
3. ROOF HATCH TO BE 762X914MM BY BILOCO OR EQUIVALENT.

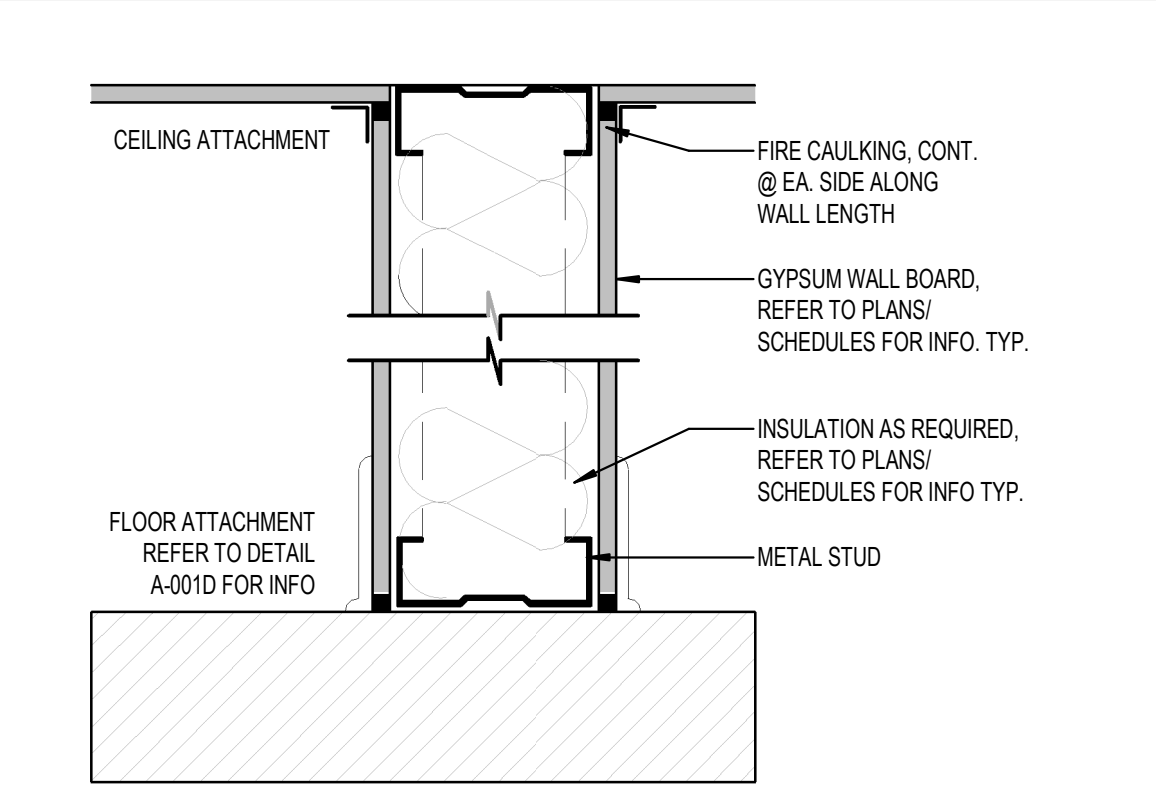
CONFIRM OPENING WITH MANUFACTURER. PROVIDE INTERIOR BLOCKING DEVICE TO SECURE HATCH. CONNECT TO ALARM SYSTEM WHERE APPLICABLE - ROOF HATCH TO BE 30\"/>



VENT STACK DETAIL
SCALE= N.T.S.



FIRE SEPARATION TERMINATION @ WALL BASE
SCALE= N.T.S.



FIRE RESISTANT ASSEMBLY PARTITION SECTION
SCALE= N.T.S.

ISSUES/REVISION TABLE

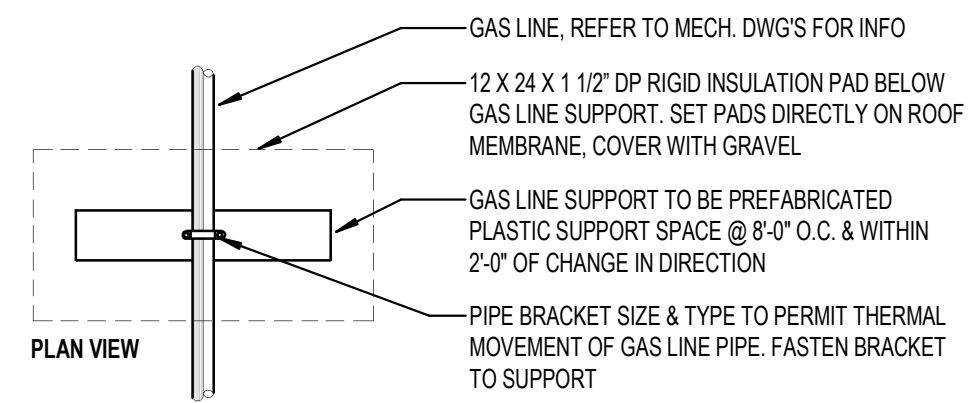
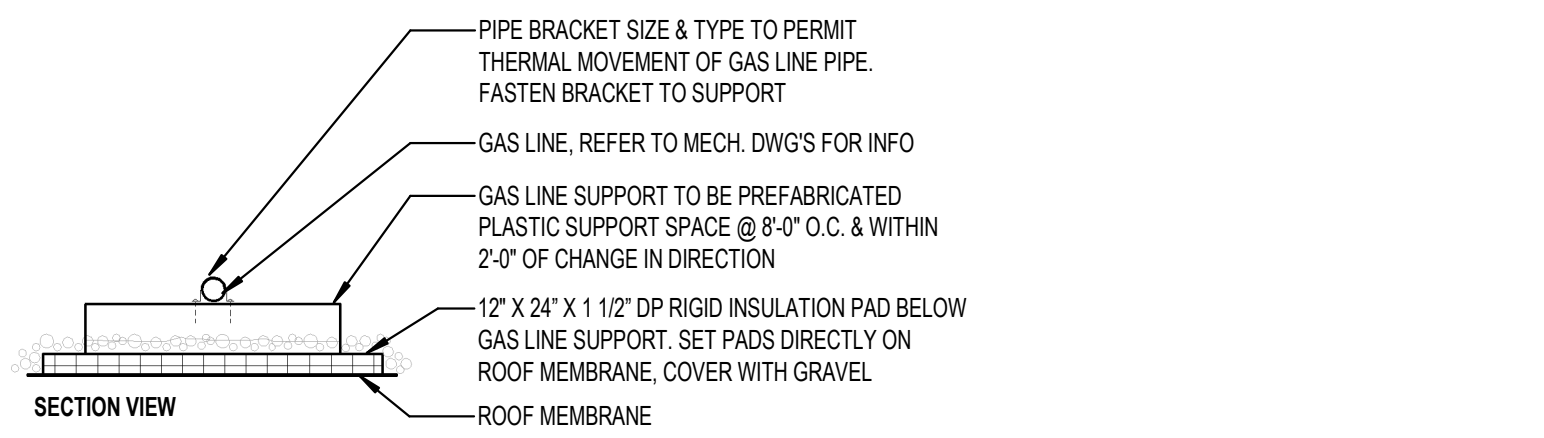
No.	Date	Revision
3	APR 02, 2024	ISSUED FOR TENDER
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW

Project: **Westdell** DEVELOPMENT CORP

1300 FANSHAWE PARK ROAD. EAST. - CRU #1 UNIT C
1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

Drawing Title: **TYPICAL DETAILS I**

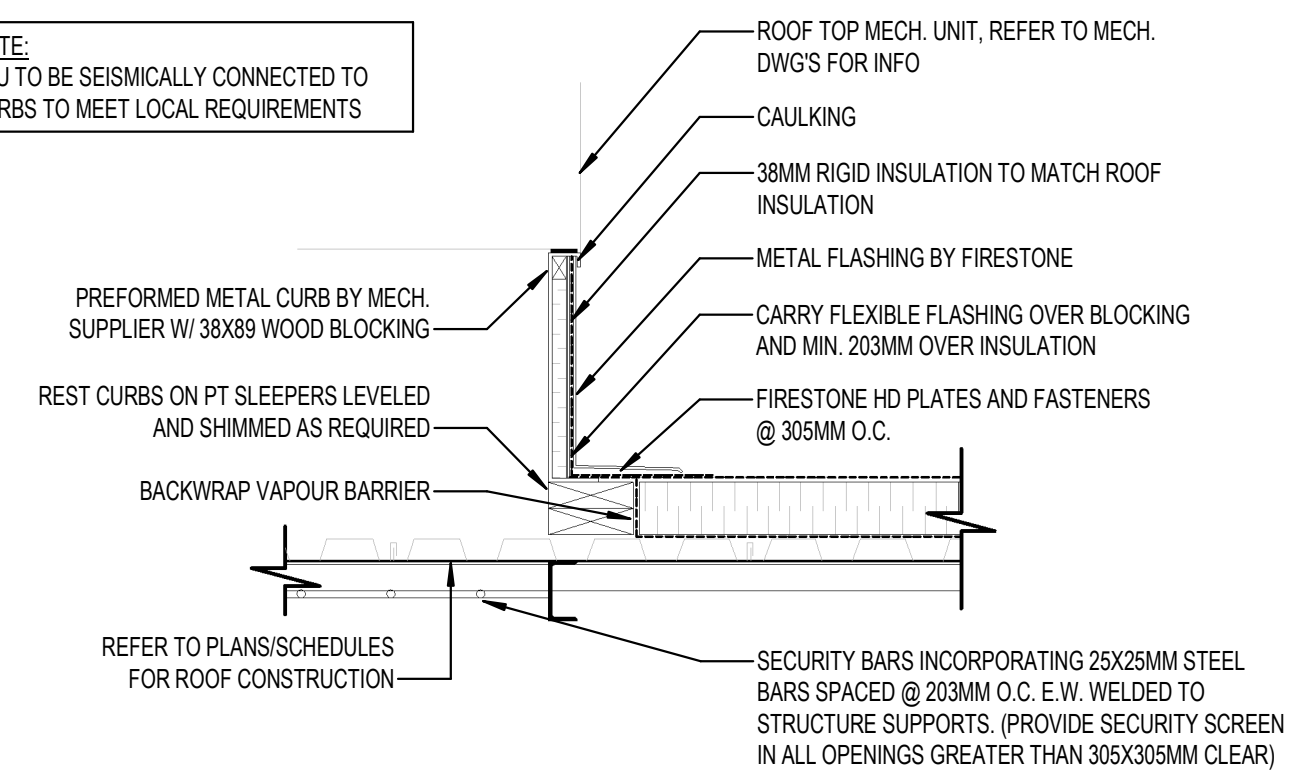
Drawn By: D.H. Scale: AS INDICATED
Checked By: K.N. Plot Date: APR 02, 2024
Project Date: JAN 2024
Project No: 2023-102
Drawing No: Revision



GAS PIPE ROOF SUPPORT DETAIL

SCALE= N.T.S.

NOTE:
RTU TO BE SEISMICALLY CONNECTED TO CURBS TO MEET LOCAL REQUIREMENTS

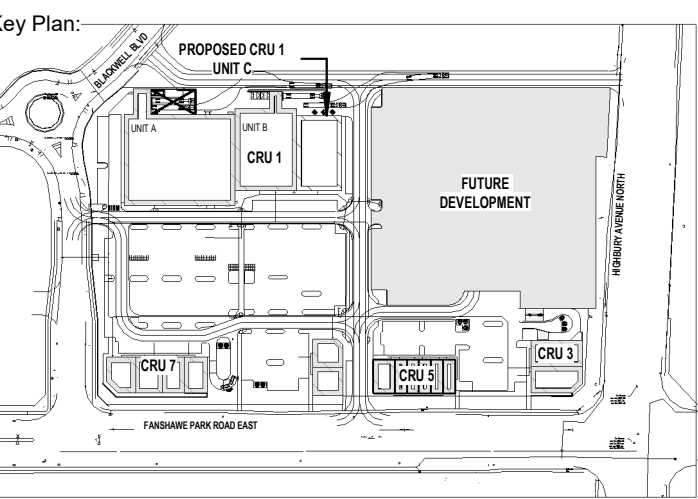


MECH. UNIT ROOF CURB DETAIL

SCALE= N.T.S.

NOTE:

1. DETAILS, CONNECTIONS, AND DETAILED SHAPES PROVIDED ARE **SCHEMATIC ONLY**.
2. ALL ELEVATION DECORATION (INCLUDING BUT NOT LIMITED) SIGNAGE, CANOPY DETAILS CONNECTIONS, AND OTHERS ARE DESIGNED BY OTHERS - PROVIDE STAMPED SHOP DRAWINGS PRIOR TENDERING, FABRICATION, AND CONSTRUCTION.
3. REFER TO ELEVATIONS FOR COLOR, MANUFACTURER AND WARRANTY.
4. REFER TO WALL ASSEMBLYS FOR THICKNES AND SIZES OF THE MATERIALS.



Consultant:



CS@CREATIVESTR.CA

Consultant:



Seal:

North Arrow:

General Notes:
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3	APR 02, 2024	ISSUED FOR TENDER
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW

No.	Date	Revision
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ISSUES/REVISION TABLE

Project:



1300 FANSHAWE PARK ROAD, EAST. - CRU #1 UNIT C

1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

Drawing Title:

TYPICAL DETAILS II

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

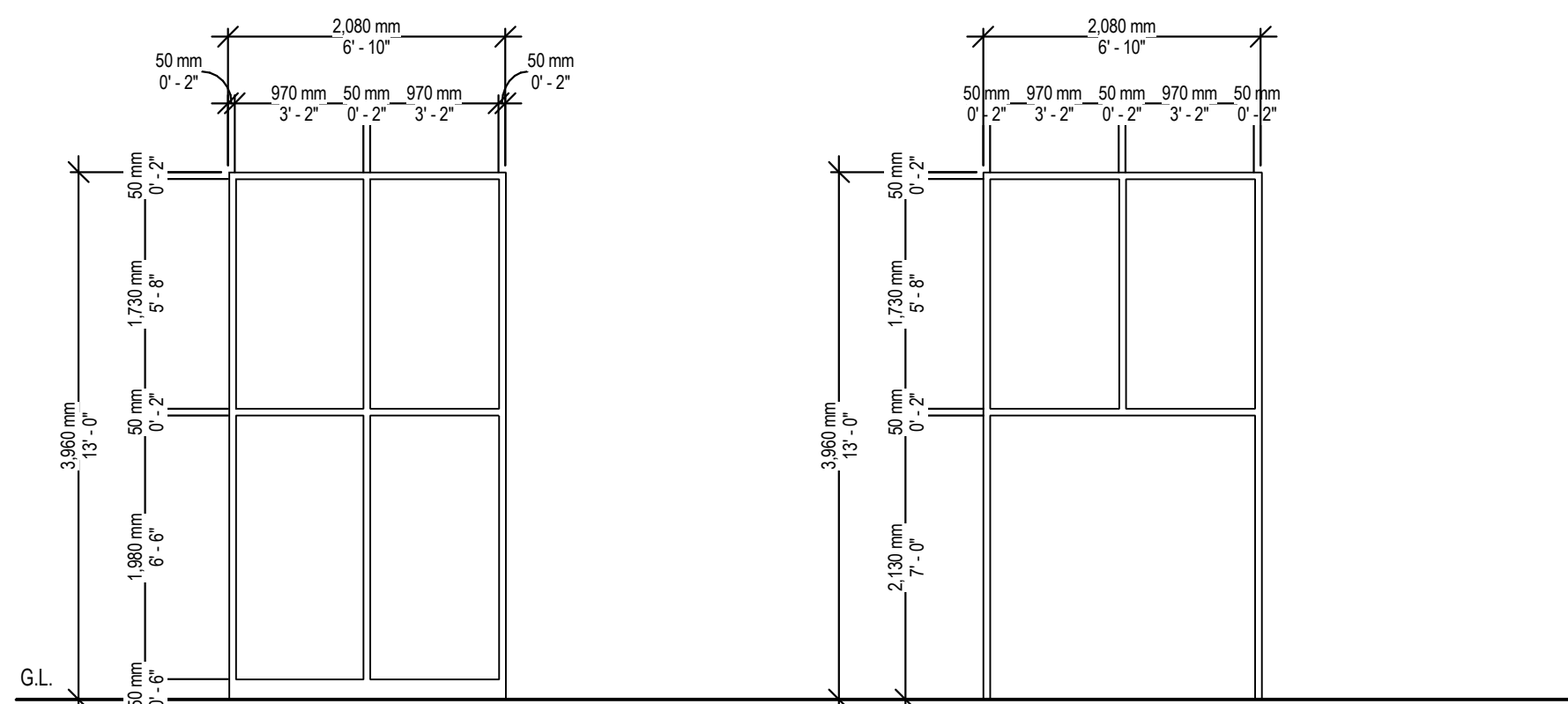
Project No: 2023-102

Drawing No:

Revision

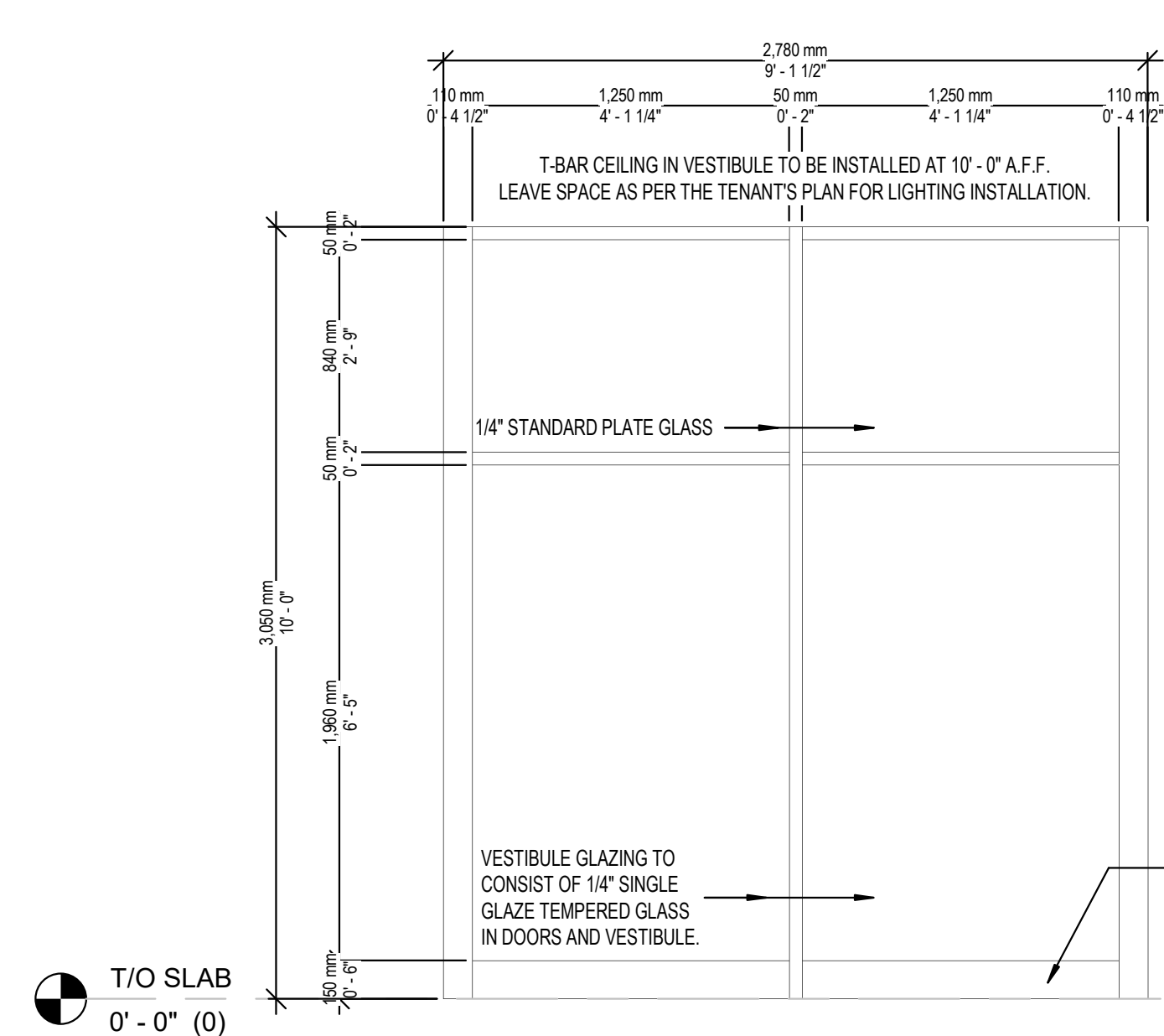
A-5.2

3

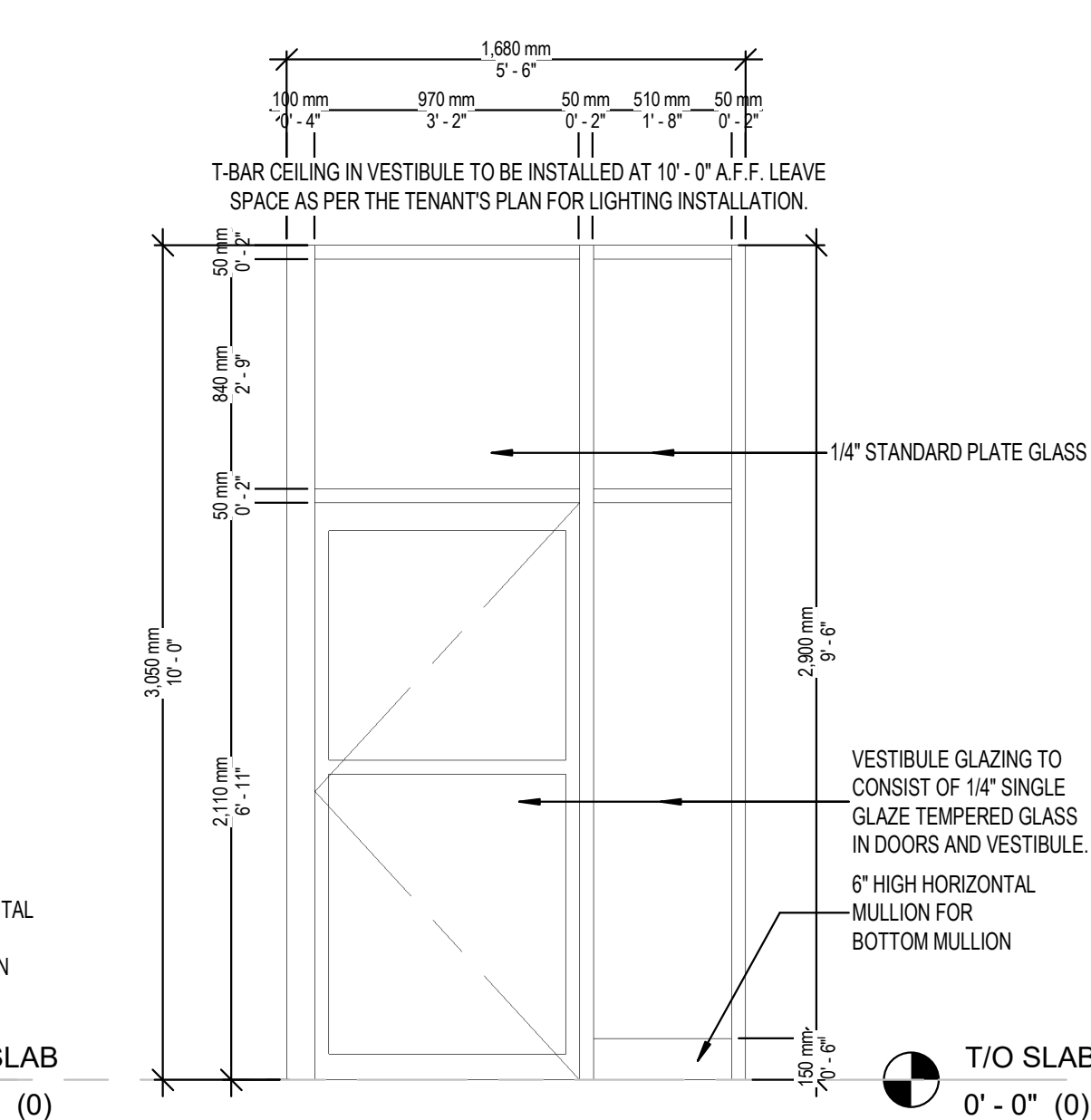


W1 CLEAR LOW E THERMOPANE GLAZING WITH ANODIZED ALUM. FRAMES KAWNEER 451T OR APPROVED EQUAL

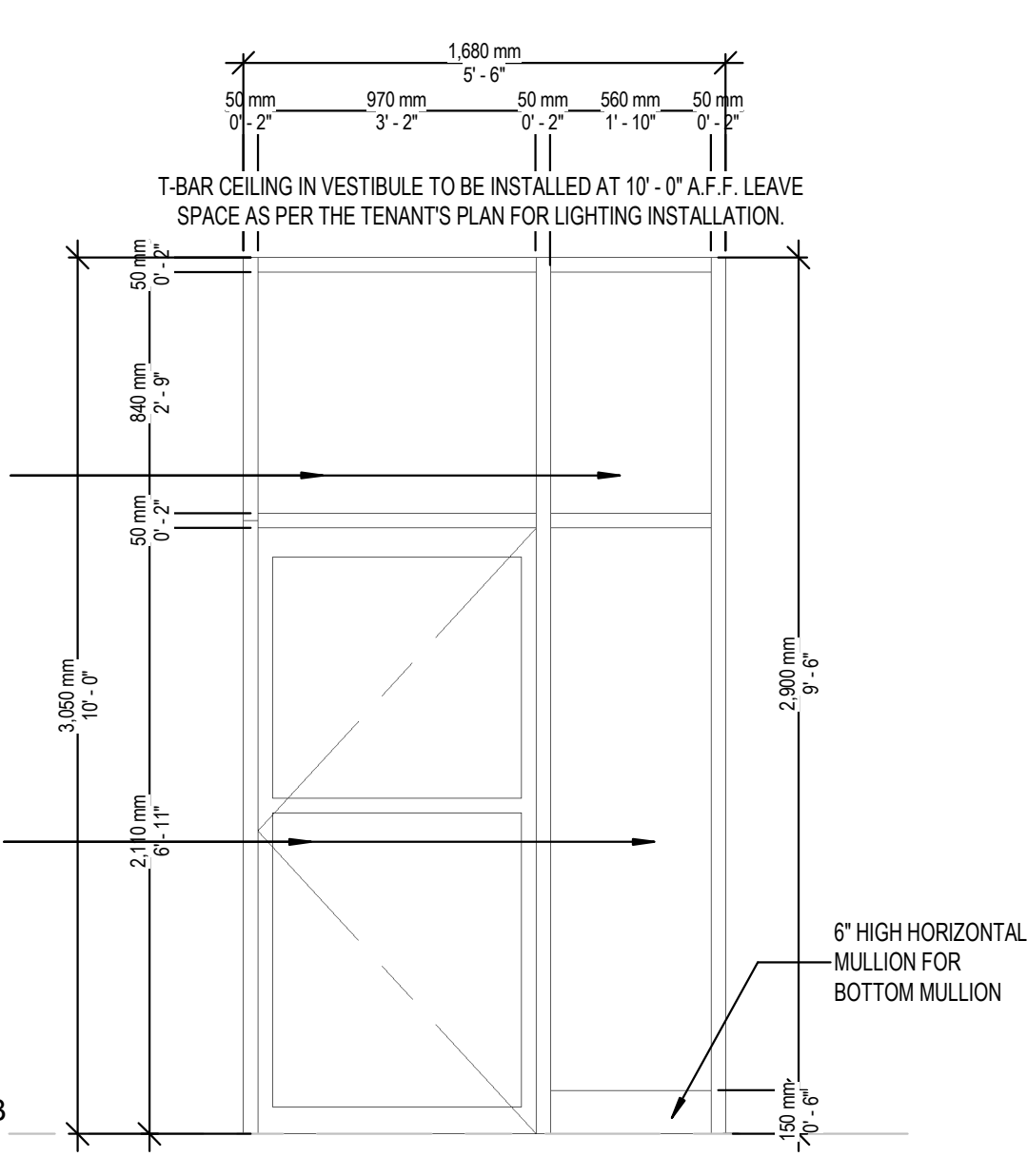
W2 CLEAR LOW E THERMOPANE GLAZING WITH ANODIZED ALUM. FRAMES KAWNEER 451T OR APPROVED EQUAL



1 VESTIBULE FRONT SIDE
N.T.S.



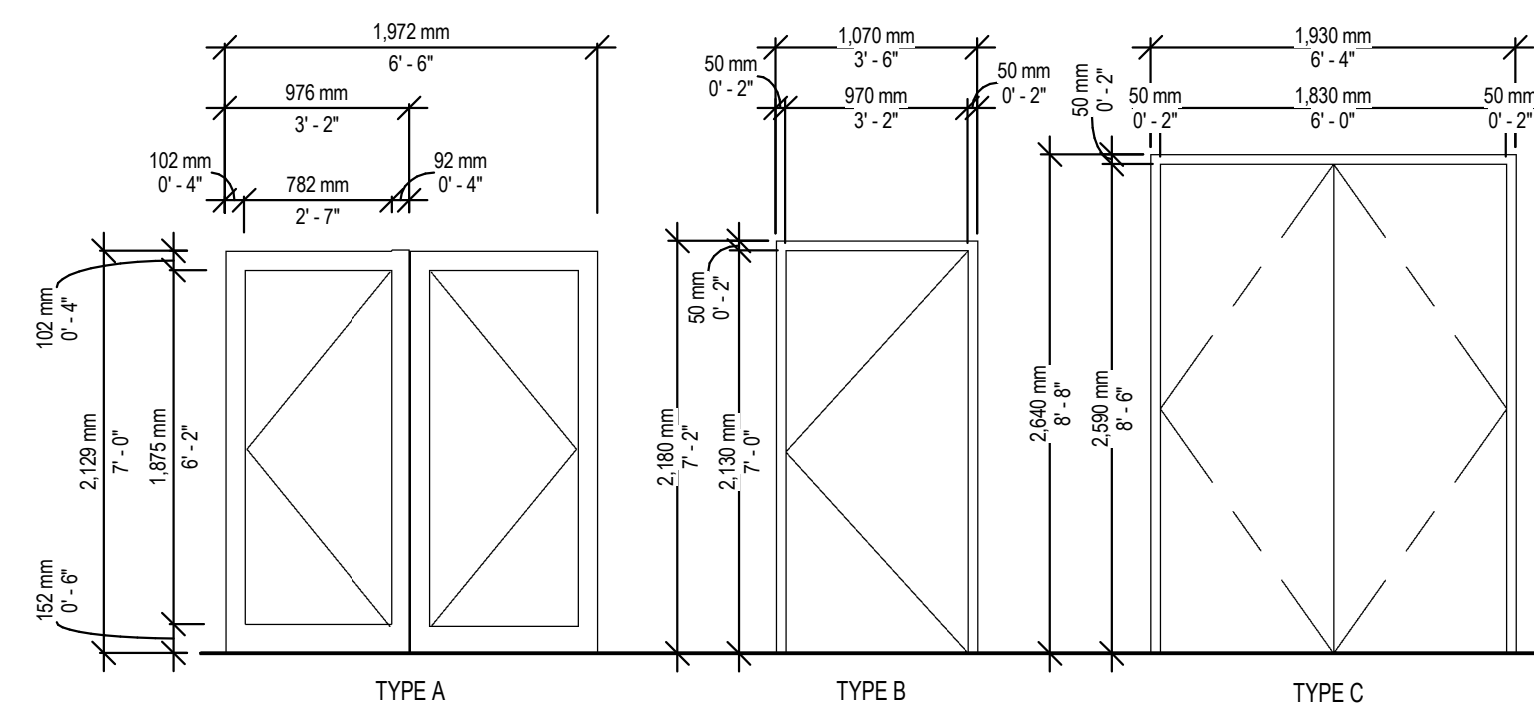
2 VESTIBULE LEFT SIDE
N.T.S.



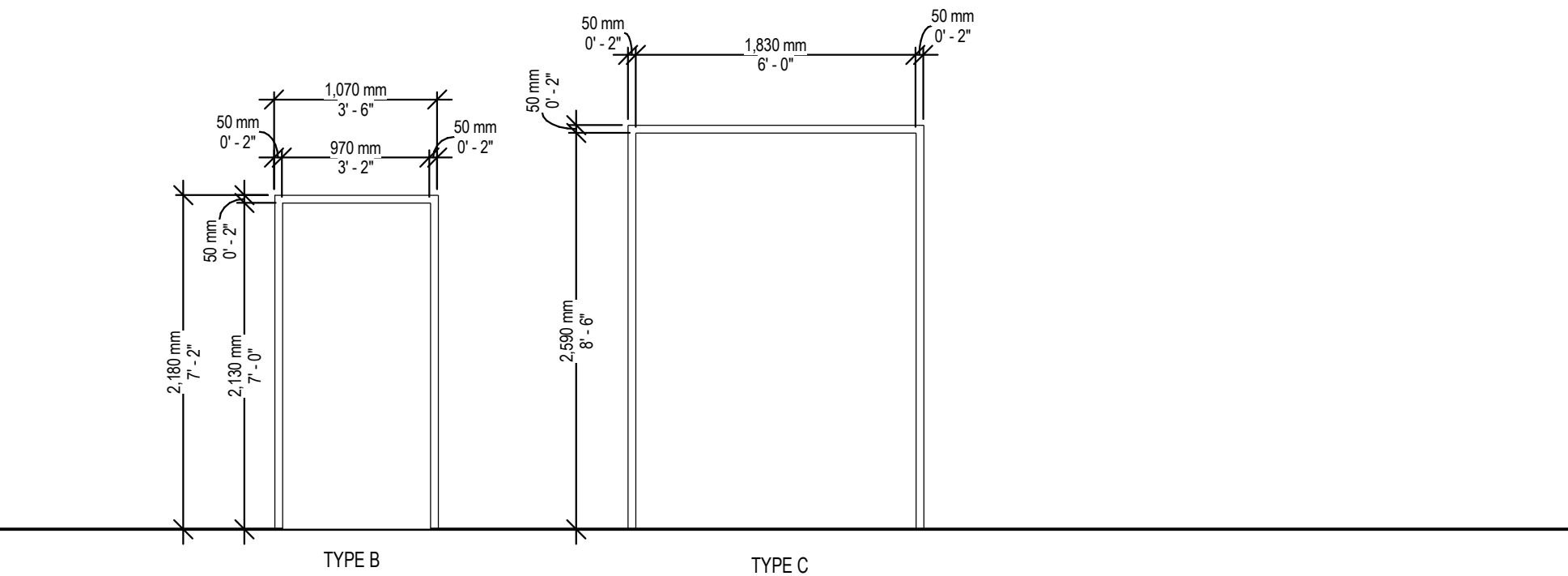
3 VESTIBULE RIGHT SIDE
N.T.S.

* ALL VESTIBULE DOORS SHALL BE EQUIPPED WITH LARSEN & SHAW L-5300 STAINLESS STEEL CONTINUOUS HINGES; INSTALL HUNTER HA-8 (OR APPROVED EQUIVALENT) AUTOMATIC DOOR OPERATORS ON ACTIVE EXTERIOR DOOR AND BOTH INTERIOR DOORS INCLUDING HARDWIRED PUSH BUTTONS; INACTIVE EXTERIOR DOOR TO BE EQUIPPED WITH MANUAL DOOR CLOSER.

NOTE:
ALL VESTIBULE DIMENSIONS TAKEN FROM DOLLARAMA STONEY CREEK COMMON PROPOSED FLOOR PLAN BY SCOLER LEE BORENSTEIN + ASSOCIATES ARCHITECTS INC. DATED 06 MARCH 2024 ISSUED FOR CLIENT REVIEW SCHEME NO. SK-2C. ALL DIMENSIONS TO BE CONFIRMED BY TENANT.



DOOR TYPE



FRAME TYPE

DOOR SCHEDULE												
No.	LOCATION	TYPE	DOOR				FRAME				REMARKS	
			DOOR SIZES	MATERIAL	FINISH	FIRE RATING	GLAZING	TYPE	MATERIAL	FINISH		FIRE RATING
D01-1	MAIN ENTRANCE	A	2 - 3'-3" x 7'-0" x 1 3/4"	ALUM.	ANOD.	-	SDG/TEMP	W2	ALUM.	ANOD.	-	
D01-2	FRONT FACADE	B	3'-2" x 7'-0" x 1 3/4"	H.M.	PRIME/PAIN	-	-	B	H.M.	PRIME/PAIN	-	TO BE PAINTED BENJAMIN MOORE, RAIN FOREST FOLIAGE 2040-10 ALKYD, HIGH GLOSS. TO BE CONFIRMED BY TENANT HARDWARE TO BE CONFIRMED BY TENANT - REFER TO TENANT FIT-UP DRAWINGS
D01-4	LOADING DOOR	C	2 - 3'-0" x 8'-6" x 1 3/4"	H.M.	PRIME/PAIN	-	-	C	H.M.	PRIME/PAIN	-	TO BE PAINTED BENJAMIN MOORE, RAIN FOREST FOLIAGE 2040-10 ALKYD, HIGH GLOSS. TO BE CONFIRMED BY TENANT HARDWARE - REFER TO BELOW TENANT REQUIREMENTS

D01-1 MAIN ENTRANCE REQUIREMENTS:
SHALL HAVE ALUMINUM THRESHOLDS, WEATHER STRIPPING, EXTERIOR KEYPED LOCK AND CODE-COMPLIANT INTERIOR TUMB TURN.

D01-1 / VESTIBULE DOORS REQUIREMENTS:
INSTALL HUNTER HA-8 (OR APPROVED EQUIVALENT) AUTOMATIC DOOR OPERATORS ON ACTIVE EXTERIOR DOOR AND BOTH INTERIOR DOORS INCLUDING HARDWIRED PUSH BUTTONS; INACTIVE EXTERIOR DOOR TO BE EQUIPPED WITH MANUAL DOOR CLOSER.

D01-4 LOADING DOOR REQUIREMENTS:
PROVIDE 8' 6" HIGH x 6' WIDE - INACTIVE DOOR TO BE 8' 6" x 3' AND EQUIPPED WITH FLUSHBOLT OR A SURFACE BOLT ON THE BOTTOM AND A PULL CHAIN SURFACE BOLT ON THE TOP. THE ACTIVE DOOR IS TO BE 8' 6" x 3' AND EQUIPPED WITH AN ASTRAGAL, A REVOLVING DOOR VIEWER INSTALLED AT 5' A.F.F. (PEEPHOLE MODEL PEEK-O REVOLVING DOOR VIEWERS, 595 + US-3 OR EQUIVALENT), PANIC BAR, AND A 6" LONG METAL PULL HANDLE SURFACE MOUNTED ABOVE THE PANIC BAR ON THE INTERIOR SIDE OF DOOR. BOTH DOORS ARE TO BE WEATHER-STRIPPED, INCLUDING NEOPRENE DOOR SWEEPS, AND HAVE A 1/4" THICK ALUMINUM CHECKERPLATE THRESHOLD MEASURING 1/4" DEPTH x 72" WIDTH. NO HARDWARE IS TO BE EXPOSED TO THE EXTERIOR (INCLUDING LOCKING CYLINDERS); EXTERIOR DOORS SHALL OPEN 180 DEGREES OUT FROM THE STORE WITH STAINLESS STEEL WALL MOUNTED HOOK EYELET DOOR STOPS (SUPPLIED BY RICHELLEU); ITEM# 476175) TO HOLD DOORS OPEN.

GENERAL WINDOW NOTES

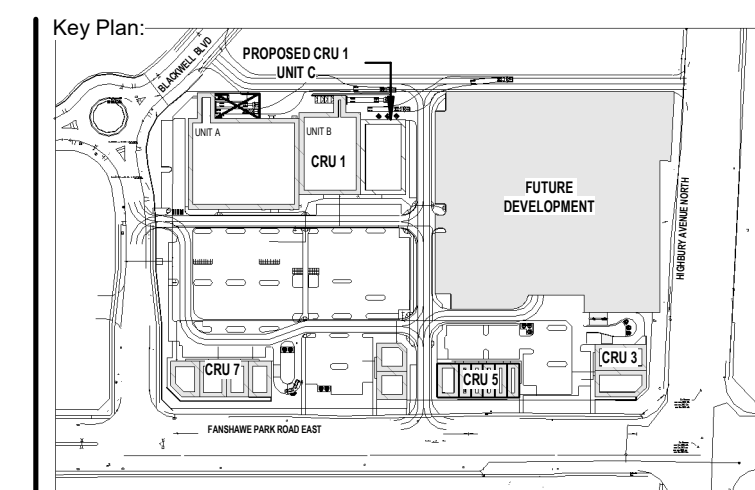
- WINDOW SUPPLIER SHALL SITE MEASURE ALL OPENINGS % REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO WINDOW FABRICATION.
- OPENINGS DIMENSIONED ON FLOOR PLANS, SECTIONS, DETAILS & WINDOW SCHEDULE ARE NOMINAL.
- WINDOW SUPPLIER SHALL PROVIDE PREFINISHED ALUMINUM CLOSURE TRIM TO SUIT OPENINGS AS REQUIRED. COLOUR OF TRIM TO MATCH COLOUR OF WINDOW FRAMES.
- PROVIDE CAULKING AROUND ALUMINUM WINDOW FRAMES INSIDE & OUT. CAULKING COLOUR TO MATCH COLOUR OF FRAMES.
- LOW E GLAZING TO MEET ALL REQUIREMENTS FOR ENERGY EFFICIENCY OF SB-10, ASHRAE 9.01.
- WINDOW FRAME FINISH & GLASS TINT TO BE CONFIRMED BY OWNER PRIOR TO ORDERING.

SUBMIT SHOP DRAWINGS AS REQUIRED BY THIS WORK. THE CONSULTANTS OR BY AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR SHALL CHECK, SIGN AND MAKE NOTATIONS HE CONSIDERS NECESSARY ON SHOP DRAWINGS BEFORE EACH SUBMISSION TO CONSULTANTS. SHOP DRAWING REVIEW BY CONSULTANTS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT AND IS A PRECAUTION AGAINST OVERSIGHT OR ERROR. THIS REVIEW SHALL NOT MEAN THAT THE CONSULTANT APPROVES THE DETAIL DESIGN INHERENT IN THE SHOP DRAWINGS, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS, OMISSIONS OR MEETING ALL THE REQUIREMENTS OF THIS CONTRACT.

GL: DENOTES GLAZING
SP: DENOTES GLASS SPANDREL
AC: DENOTES PREFIN. ALUM. CLOSURE FINISH TO MATCH WINDOW FRAME.

GENERAL DOOR NOTES

- DOOR & FRAME SUPPLIER (HOLLOW METAL & ALUMINUM) SHALL PROVIDE ALL REQUIRED CLOSURE TRIM FOR ALL EXTERIOR FRAMES TO SUIT CORRESPONDING OPENINGS.
- PROVIDE WEATHERSTRIPPING TO ALL EXTERIOR & FIRE RATED DOORS.
- EXTERIOR HOLLOW METAL DOORS & FRAMES TO BE 18g AND HAVE G90 GALVANIZED FINISH OR APPROVED EQUAL.
- PROVIDE CAULKING AROUND ALL EXTERIOR HOLLOW METAL & ALUMINUM DOOR FRAMES INSIDE & OUT. CAULKING COLOUR TO MATCH COLOUR OF FRAMES.
- ALL COLOURS TO BE CHOSEN BY OWNER.
- ALUMINUM DOOR SUPPLIER SHALL PROVIDE REQUIRED HARDWARE AS LISTED ON THE DOOR SCHEDULE FOR ALUMINUM DOORS.
- EXTERIOR AND INTERIOR DOOR SUPPLIERS SHALL SITE MEASURE AND CONFIRM OPENINGS PRIOR TO FABRICATION AND INSTALLATION. CONTRACTOR MUST CONFIRM ALL DOOR TYPES, MATERIAL & FINISHES WITH OWNER PRIOR TO CONSTRUCTION.
- GLASS IN ALL DOORS SHALL BE 1/4" CLEAR TEMPERED OR LAMINATED SAFETY GLASS.
- ALL HARDWARE TO BE MEDIUM DUTY, COMMERCIAL GRADE.
- DOOR CLOSER TO BE MOUNTED ON DOOR FRAME.
- PROVIDE 3 KEYS PER LOCKSET.
- BARRIER FREE DOOR ACCESS PADDLES MOUNTED ON WINDOW OR DOORS MULLIONS ARE TO BE REMOTELY CONNECTED TO DOOR OPERATOR BY DOOR PADDLE MOUNTED ON INTERIOR WALL TO BE FLUSH MOUNTED IN WALL & HARDWIRED TO DOOR OPERATOR.
- ALL HARDWARE TO BE SUPPLIED WITH ALL REQUIRED ACCESSORIES.



Consultant: **CREATIVE STRUCTURES**
CS@CREATIVESTR.CA

Consultant: **NGACAKU ARCHITECTURE INC**

Scale: North Arrow.

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No.	Date	Revision
3	APR 02, 2024	ISSUED FOR TENDER
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

Project: **WESTDELL DEVELOPMENT CORP**
1300 FANSHAWE PARK ROAD, EAST. - CRU #1 UNIT C
1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

Drawing Title: **DOOR & WINDOW SCHEDULE**

DOOR & WINDOW SCHEDULE

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: **A-6.0** Revision: **3**