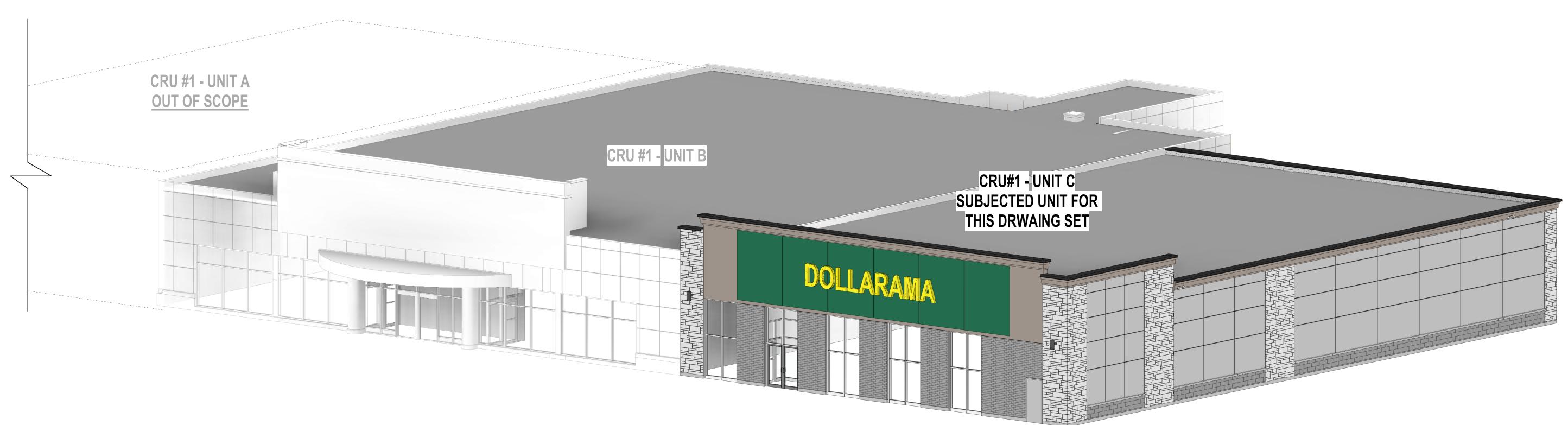
1300 FANSHAWE PARK ROAD. EAST. -CRU #1 UNIT C ARCHITECTURAL DRAWINGS

PROJECT #2023-102

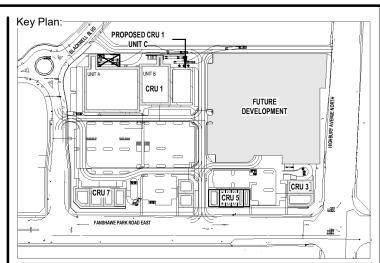
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3D PERSPECTIVE VIEW

SCALE = N.T.S.

SCHEMATIC ONLY - NOT FOR CONSTRUCTION







IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A

WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO CREATIVE STRUCTURES (CS) ORIGINAL CONSULTANTS STAMP AND SIGNATURE. ALL CONSTRUCTION AND STANDARDS AND BE APPROVED BY OWNER

CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (N'AI) AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT

SHOULD NOT BE USED FOR ANY OTHER WORK.

VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO CREATIVE STRUCTURES LTD. AND NGACAKU ARCHITECTURE APPROXIMATE AND SHOULD BE CONFIRMED BY OWNER AND GENERAL

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION. STAMPED BY CREATIVE STRUCTURES LTD. OR NGACAKU ARCHITECTURE INC.
(N'AI) AND A BUILDING PERMIT HAS BEEN ISSUED AND MARKED "ISSUED FOR

CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.

CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WITH THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

ISSUES/REVISION TABLE

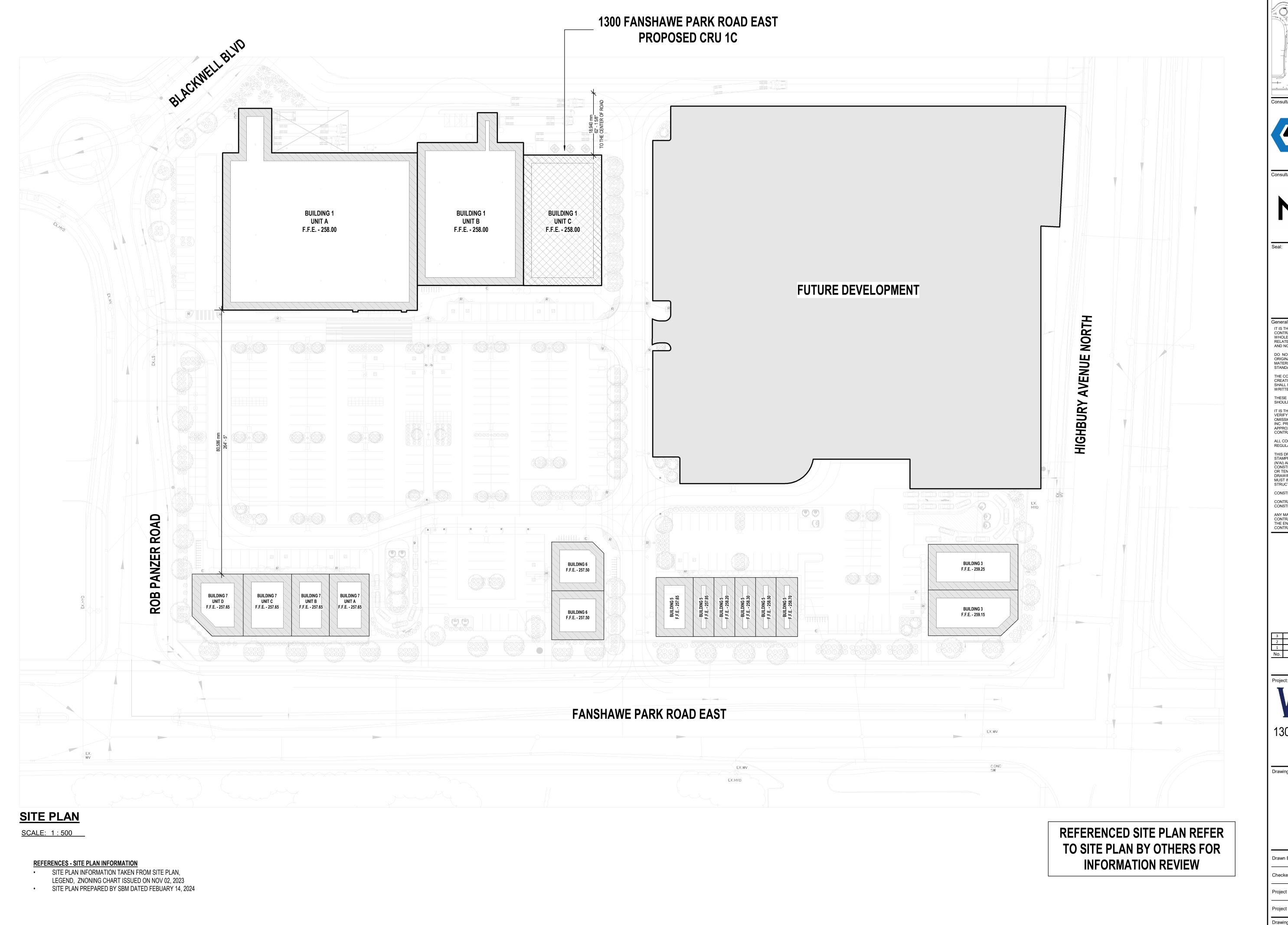
1300 FANSHAWE PARK ROAD.

EAST. - CRU #1 UNIT C 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

COVER SHEET

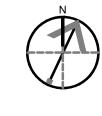
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Checked By:	K.N.	Plot Dat	e: APR 02, 2024

Project Date: JAN 2024









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IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (N'AI) PRIOR TO COMMENCING ANY WORK. DO NOT SCALE DRAWING. 'FOR CONSTRUCTION DRAWINGS' MUST HAVE ORIGINAL CONSULTANTS STAMP AND SIGNATURE. ALL CONSTRUCTION AND MATERIALS MUST CONFORM WITH APPLICABLE CODES AND C.M.H.C. STANDARDS AND BE APPROVED BY OWNER

THE CONTENTS OF THIS DRAWING REMAIN THE COPYRIGHT PROPERTY OF CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (N'AI) AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF CREATIVE STRUCTURES.

THESE DRAWINGS AND ALL DETAILS ARE FOR THIS PROJECT ONLY AND SHOULD NOT BE USED FOR ANY OTHER WORK.

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO CREATIVE STRUCTURES LTD. AND NGACAKU ARCHITECTURE INC. PRIOR TO COMMENCING WORK. ALL DIMENSIONS AND LEVELS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY OWNER AND GENERAL CONTRACTOR PRIOR CONSTRUCTION.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNTIL IT HAS BEEN STAMPED BY CREATIVE STRUCTURES LTD. OR NGACAKU ARCHITECTURE INC. (N'AI) AND A BUILDING PERMIT HAS BEEN ISSUED AND MARKED "ISSUED FOR

CONSTRUCTION". THE DRAWINGS SHALL NOT BE USED FOR PRICING, COSTING, OR TENDER UNLESS INDICATED IN THE REVISION COLUMN AND THESE DRAWINGS ARE NOT COMPLETE AND ANY PRICES BASED ON THESE DRAWINGS MUST INCLUDE ALLOWANCES FOR THIS WITH NO LIABILITY ON CREATIVE STRUCTURES LTD AND NGACAKU ARCHITECTURE INC.

CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.

CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WITH THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD.

EAST. - CRU #1 UNIT C

1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

SITE PLAN

Scale: AS INDICATED Drawn By: D.H. Plot Date: APR 02, 2024 Checked By: K.N.

Project Date: JAN 2024

ARCHITECTURAL SPECIFICATIONS

GENERAL INSTRUCTIONS

- THE CONSTRUCTION MANAGER (CONTRACTOR) SHALL VISIT THE SITE TO VERIFY AND FAMILIARIZE HIMSELF WITH ALL EXISTING SITE CONDITIONS. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING SITE CONDITIONS TO CONSULTANT PRIOR TO BEGINNING WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR FROM EXTRA COSTS RESULTING FROM ADDITIONAL WORK.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF TOTALLY WITH ALL DRAWINGS, SPECIFICATIONS AND ADDENDUMS INDICATING THE SCOPE OF WORK OF ALL TRADES.
- SHOULD THE CONTRACTOR FAIL TO NOTIFY CONSULTANT ABOUT CONFLICTS BETWEEN THE DRAWINGS AND EXISTING SITE CONDITIONS, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, ALTER ANY COMPLETED WORK TO THE SATISFACTION OF THE
- ADDITIONAL CHARGES TO THE CONTRACT RESULTING FROM UNFORESEEN SITE CONDITIONS, CHANGES REQUIRED BY ANY AND ALL GOVERNING AUTHORITIES OR OTHER CHANGES REQUIRED SHALL BE SUBMITTED TO THE CONSULTANT PRIOR TO COMMENCEMENT OF WORK. CLAIMS FOR EXTRAS WITHOUT PRIOR APPROVAL WILL NOT BE ACCEPTED.
- ALL PERMITS PERTAINING TO THE WORK SHALL BE APPLIED AND PAID FOR BY THE CONTRACTOR OR HIS SUB-CONTRACTORS UNLESS NOTED OTHERWISE IN WRITING BY THE CONSULTANT. THE GENERAL CONTRACTOR SHALL PROVIDE A COPY OF THE PERMIT CERTIFICATE TO THE CONSULTANTS & POST ON SITE IN A CLEAR LEGIBLE MANNER.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS & RECOGNIZED INDUSTRY STANDARDS. MEANING GOOD QUALITY WORKMANSHIP ALL CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL LOCAL CODES AND AUTHORITIES HAVING
- JURISDICTION AND THE ONTARIO BUILDING CODE (OBC). ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE PRIOR TO COMMENCING ANY WORK. INFORM THE CONSULTANT IMMEDIATELY OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
- ALL DRAWINGS REMAIN THE PROPERTY OF THE OWNER. CONTRACTOR SHALL MAINTAIN ONE SET OF APPROVED UNALTERED PERMIT DRAWINGS ON SITE. PROVIDE PROJECT CHANGES IN RED ON A SEPARATE AS-BUILT SET, MAINTAIN AS-BUILT SET ON SITE. PROVIDE COMPLETED SET TO
- ORDER OF DESIGN DOCUMENT HIERARCHY: SPECIFICATIONS, CONSTRUCTION ASSEMBLIES, LARGE TO SMALL SCALE

SCOPE OF WORK

THE CONTRACTOR SHALL SUPPLY ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS, INCLUDING ALL DRAWINGS, SPECIFICATIONS, SCHEDULES AND ISSUED ADDENDUMS. PROVIDE ALL NECESSARY COOPERATION, SCHEDULING, COORDINATION AND SUPERVISION TO SUB-CONTRACTORS WHO ARE INVOLVED IN THE WORK.

CONSTRUCTION DEBRIS

- ALL CONSTRUCTION DEBRIS SHALL BE CLEANED UP ON A DAILY BASIS AND REMOVED FROM SITE OR DISCARDED INTO DISPOSAL BINS PROVIDED BY THE CONTRACTOR TO THE SITE FOR REMOVAL OF DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, PAYING FOR AND REMOVING ALL GARBAGE/RECYCLING BINS FOR THE DURATION AND AT THE
- THE LOCATION OF ANY GARBAGE BINS REQUIRED FOR THE WORK OF THIS CONTRACT SHALL BE APPROVED BY THE OWNER PRIOR TO SETTING ON SITE.

PROTECTION AND MAKING GOOD

- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL WORK COMPLETED AND TO ADJACENT PUBLIC AND PRIVATE SPACES WHERE APPLICABLE FOR THE DURATION OF THE CONTRACT.
- DAMAGED WORK AND PROPERTIES SHALL BE MADE GOOD BY THE CONTRACTOR OR HIS SUB-TRADES AT THEIR OWN EXPENSE TO THE SATISFACTION OF THE CONSULTANT/OWNER.

SECURITY AND LOCK-UP

THE CONTRACTOR SHALL LOCK-UP JOB SITE AT THE END OF EACH WORKING DAY TO PROHIBIT ENTRY OF UNAUTHORIZED PERSONNEL & MAINTAIN PUBLIC SAFETY DURING OFF-HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ARTICLES AND EQUIPMENT BOTH INSTALLED AND ON SITE FOR THE DURATION OF THE CONTRACT AND UNTIL THE OWNER/SPONSOR TAKES OVER THE SPACE.

SHOP DRAWINGS AND SUBSTITUTIONS

- THE CONTRACTOR SHALL SUBMIT DIGITAL DOCUMENTS TO THE CONSULTANT FOR REVIEW PRIOR TO ANY PURCHASE / FABRICATION. ALL COSTS FROM SHOP DRAWINGS ARE TO BE BORNE BY THE CONTRACTOR. TRADES ARE REQUIRED TO
- SATISFY THE DESIGN DOCUMENTS THRU THEIR SHOP DRAWINGS AT THEIR COST. ALL WORK PERFORMED PRIOR TO RECEIPT OF REVIEWED SHOP DRAWINGS SHALL BE AT THE CONTRACTOR'S SOLE RISK AND RESPONSIBILITY. ANY REMEDIAL WORK REQUIRED TO BE PERFORMED TO WORK ALREADY COMPLETED WITHOUT PRIOR APPROVAL BY THE CONSULTANT SHALL BE DONE AT CONTRACTOR'S OWN EXPENSE.
- WHERE A SUBSTITUTION IS REQUESTED, THE CONTRACTOR SHALL SUBMIT AN ACTUAL SAMPLE OF ALTERNATE FINISH OR PRODUCT TO THE CONSULTANT, MANUFACTURER'S SPECIFICATIONS AND TEST RESULTS OF SUCH ALTERNATES MAY ALSO BE SUBMITTED FOR APPROVAL.

PRODUCT AVAILABILITY / PROJECT SCHEDULING:

THE CONTRACTOR SHALL VERIFY AVAILABILITY AND DELIVERY TIME FOR ALL PRODUCTS AND FINISHES AS SOON AS THE PROJECT HAS BEEN AWARDED. THE CONTRACTOR SHALL NOTIFY THE CONSULTANT IMMEDIATELY WHEN THE DELIVERY TIME ON A SPECIFIED PRODUCT OR FINISH THREATENS THE PROJECT COMPLETION.

EXISTING UTILITIES AND TEMPORARY SERVICES

- UTILITIES AND SERVICES OF RECORD ARE SHOWN ON THE DRAWINGS IN SO FAR AS IS POSSIBLE TO DO SO. HOWEVER, THEY ARE SHOWN FOR CONVENIENCE ONLY. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR IMPROPER LOCATIONS OR FAILURE TO SHOW UTILITY LOCATIONS ON THE DRAWINGS. CONFIRM ALL UTILITIES AND SERVICES ON SITE WITH SITE
- CONDITIONS & AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING AND ENGAGING ALL REQUIRED TEMPORARY SERVICES AS DEEMED NECESSARY TO PERFORM WORK (I.E. HYDRO, HEAT, TELEPHONE) AS REQUIRED BY AUTHORITIES. CO-ORDINATE WITH BUILDING OWNER.

FIRE PROTECTION AND INSURANCE

- THE CONTRACTOR SHALL PROVIDE APPROVED TYPE FIRE EXTINGUISHERS AND FIRE FIGHTING EQUIPMENT ON SITE IN OPEN VIEW FOR THE DURATION OF THE CONTRACT.
- TAKE ALL NECESSARY PRECAUTIONS TO ELIMINATE FIRE HAZARDS, REFER TO SECTION 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING LIABILITY INSURANCE FOR THE DURATION OF THE CONTRACT
- UNTIL THE OWNER TAKES POSSESSION OF THE SPACE AS PER STANDARD CONSTRUCTION DOCUMENT CCDC. 9.3.1. WORKMEN'S COMPENSATION AND EMPLOYER'S LIABILITY INSURANCE AS REQUIRED BY ANY EMPLOYEE BENEFIT ACT OR THE STATUES APPLICABLE WHERE THE WORK IS BEING PERFORMED AS WELL AS PROTECT THE CONTRACTOR FROM ANY AND ALL LIABILITY UNDER THE AFOREMENTIONED ACTS.
- 9.3.2. BUILDER'S RISK COMPLETED VALUE FORM AFFORDING "ALL RISKS OF PHYSICAL LOSS OR DAMAGE" ON ITS WORK IN THE PREMISES AS IT RELATED TO THE BUILDING IN WHICH THE PREMISES ARE LOCATED, NAMING THE INTERESTS OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AS THEIR RESPECTIVE INTERESTS MAY APPEAR, WITHIN A RADIUS OF 100 FEET OF THE PREMISES. AMOUNT OF INSURANCE SHALL EQUAL 100% OF THE REPLACEMENT COST
- ALL SUCH INSURANCE POLICIES SHALL INCLUDE OWNER, THE CONSULTANT, THE GENERAL CONTRACTOR. SUBCONTRACTORS, AS ADDITIONAL INSUREDS; EXCEPT WORKERS' COMPENSATION INSURANCE, WHICH SHALL CONTAIN AN ENDORSEMENT WAIVING ALL RIGHTS OF SUBROGATION AGAINST THE OWNER, ITS CONSULTANT, ITS GENERAL CONTRACTOR AND SUBCONTRACTORS. CERTIFICATES OF INSURANCE SHALL PROVIDE THAT SUCH INSURANCE COVERAGE SHALL NOT BE CANCELED OR ALLOWED TO EXPIRE UNTIL AT LEAST 30 DAYS PRIOR WRITTEN NOTICE HAS BEEN GIVEN TO THE CONSULTANT AND THE OWNER.

PROJECT CLOSEOUT AND CLEAN-UP

- TWO MATERIALS AND MAINTENANCE MANUALS TO INCLUDE OPERATION AND MAINTENANCE INSTRUCTIONS AND COMPLETE PARTS LISTS AS FURNISHED BY THE MANUFACTURER FOR ALL SYSTEMS, EQUIPMENT, AND FIXTURES, INCLUDE TYPEWRITTEN INDEX AND TAGGED DIVIDERS BETWEEN CATEGORIES. PROVIDE EMERGENCY CONTACT NAMES/PHONE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE SITE READY FOR OCCUPANCY INCLUDING BUT NOT LIMITED TO THE FOLLOWING ITEMS: 10.2.1. BROOM CLEAN, WASH, AND SEAL ALL HARD SURFACES AND RESILIENT FLOORING AS PER MANUF.
- 10.2.2. VACUUM ALL CARPET SURFACES. 10.2.3. CLEAN AND POLISH ALL SIGNS, DOORS, FRAMES, WINDOWS, WALLS, MILLWORK. THE FOLLOWING CONSTITUTES
- SUBSTANTIAL COMPLETION:
- ALL CONSTRUCTION TO BE COMPLETE, READY FOR USE FOR WHICH THE PROJECT WAS INTENDED.

NUMBERS OF MAJOR TRADES, PROVIDE APPROVED SHOP DRAWINGS.

- ALL CLEANING. VACUUMING AND DUSTING COMPLETE. ALL DEBRIS. SCAFFOLDS, LADDERS, TOOLS, AND EQUIPMENT REMOVED FROM THE JOB SITE, MECHANICAL/ELECTRICAL
- 10.5.1. ALL SYSTEMS IN FUNCTIONAL, OPERATING CONDITION. ALL CONTROLS, DIFFUSERS. REGISTERS, LIGHTING W/ LAMPS & LENSES, SWITCHES COMPLETE. ALL PLUMBING SYSTEMS COMPLETE. GENERAL: ALL CONSTRUCTION KEYS AND DUPLICATES FOR THE SPACE HAVE BEEN TURNED OVER TO OWNER.
- CERTIFICATE OF OCCUPANCY OBTAINED FROM LOCAL REGULATORY AGENCIES (BUILDING DEPT.) & CONSULTANTS. ALL MANUALS ARE SUBMITTED AND ARE COMPLETE.
- PLUMBING: SEE MECHANICAL SPECIFICATIONS.

12. ACOUSTICAL INSUI ATIOI4

PROVIDE AND INSTALL ACOUSTIC INSULATION AS INDICATED ON CONTRACT DOCUMENTS. ACOUSTIC INSULATION TO CONSIST OF "NOISE BARRIER BATT", ACOUSTIC BATT OR MINERAL WOOL. INSTALL BATTS BETWEEN MEMBERS COMPLETE WITH CLIPS WHERE THICKNESS OF BATT IS LESS THAN THAT OF MEMBER.

FIRESTOP PRODUCTS, SEPARATIONS AND CLOSURES SHALL BE AS PER OBC 3.1.8. & 3.1.9.. SEAL ALL FLOOR, WALL, CEILING FIRE SEPARATIONS AT PERIMETERS OF FINISHED SURFACES & 0 ALL SERVICE PENETRATIONS WITH CONSULTANT APPROVE FIRESTOP PRODUCTS. SEE M MECH DESIGN FOR FIRE DAMPERS & LOCATIONS

14. SEALANTS

TREMCO ACRYLIC LATEX CAULK 941-19X

- 14.1.1. PRIMER: TYPES RECOMMENDED BY SEALANT MANUFACTURER, COMPATIBLE WITH SEALANTS.
- 14.1.2. JOINT BACKING ROD: SEALTIGHT ETHAFOAM SEALANT BACKER ROD BY W.R. MEADOWS OF CANADA LTD. 14.1.3. BOND BREAKER: PRESSURE SENSITIVE PLASTIC TAPE; TYPE 470 OR 481 TAPE BY 3M CANADA OR EQUAL. 14.1.4. JOINT CLEANER: XYLOL, METHYLETHYLEKETON (MEK) OR NON-CORROSIVE TYPE RECOMMENDED BY SEALANT

14.2. SEALANT TYPES:

- 14.2.1. TYPE A: ONE COMPONENT, ACRYLIC BASE, SOLVENT CURED, CONFORMING TO CAN/CGSB-19. 14.2.2. TYPE B: MULTI-COMPONENT, POLYURETHANE BASE, CHEMICAL CURING, CONFORMING TO CAN/CGSB-19.24 TYPE 2, CLASS B:
- 14.2.3. TYPE C: ONE COMPONENT, ELASTOMERIC BASE CHEMICAL CURING CONFORMING TO CAN/CGSB-19.13 TYPE MCG, CLASS 240; TREMCO SPECTRUM 1X SILICONE SEALANT 946-108 MCG 2-40 -A-L.
- 14.2.4. TYPE E: ACOUSTIC TYPE, TO CAN/CGSB 19.21; TREMCO ACOUSTICAL SELANT 931-70X 14.2.5. TYPE F: ACRYLIC/LATEX TYPE, FAST SETTING, PLIABLE, ACRYLIC EMULSION COMPOUND CONFORMING TO CAN/CGSB 19.17;

14.2.6. TYPE G: FIRE RESISTANT TYPE, ONE COMPONENT, NON-SAG. PURPOSE MADE TESTED IN ACCORDANCE WITH CAN4 -S115 AND

CAN4-S102, SIMILAR TO FRYE SHIELD BY TREMCO. 14.3. FOR INSTALLATION, APPLY SEALANT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MASK AROUND JOINTS TO PROTECT ADJACENT SURFACES, AND INSTALL BACKER ROD IN JOINTS WHERE REQUIRED TO PROVIDE PROPER DEPTH OF SEALANT.

DOORS, FRAMES & GLASS

- PROVIDE AND INSTALL ALL DOORS AS SCHEDULED AND CONTAINED/DEPICTED IN CONTRACT DOCUMENTS. INSTALL FRAMES RIGID, PLUMB, LEVEL AND TRUE, BRACE FRAMES TO RETAIN POSITION AND CHECK ALIGNMENT DURING CONSTRUCTION AND ADJUST AS NECESSARY WITH SHIMS PRIOR TO FASTENING.
- OBTAIN TEMPLATES FROM HARDWARE MANUFACTURER AND CONFIRM TYPE, LOCATION AND SPECIAL REQUIREMENTS OF HARDWARE FOR EACH DOOR, PRIOR TO CUTTING. WHERE DOORS ARE PREFINISHED, EXERCISE DUE CARE TO PROTECT FINISHES. HANG DOOR FOR 1/8" CLEARANCE AT HEAD, 3/8" AT BOTTOM, OR OTHERWISE INDICATE TO SUIT FIRE/SMOKE RATING. ADJUST CLEARANCES REQUIRED FOR FLOORING. ENSURE ALL DOORS OPERATE FREELY, WITHOUT BINDING, AND
- WHEN CLOSED WITH MODERATE FORCE, WILL LATCH PROPERLY. ALLOWABLE CLOSURE PRESSURES ALL AS PER OBC REQUIREMENTS.
- FINISH SPECIFIED ON DOOR SCHEDULE = ALL DOOR SURFACES. UNLESS SHOWN OTHERWISE, DOOR LOCATIONS SHALL BE HINGE SIDE 3" FROM FINISH WALL. GLASS TYPES: MIN 1/4" CLEAR TEMPERED GLASS FOR ALL INTERIOR DOORS/WINDOWS; INSULATING GLASS 2 LAYERS 1/4 CLEAR
- TEMPERED IN THERMALLY SEALED UNIT W/ ARGON GAS. HINGES: MIN 3 PER DOOR. 36" BARRIER FREE DOORS SHALL C/W MCKINNEY FIVE KNUCKLE STANDARD WEIGHT SWING CLEAR SERIES, MODEL NUMBER TA2895, OR APPROVED EQUAL.

GYPSUM BOARD

- GYPSUM WALL BOARD TO BE 1/2" OR 5/8" AS INDICATED ON CONTRACT DOCUMENTS AND FIRE RATED AS INDICATED OR REQUIRED IN CONFORMANCE WITH FIRE REGULATIONS AND LOCAL AUTHORITIES. PROVIDE AQUA BOARD IN MOIST HUMID AREAS, PROVIDE TILE BACKER BOARD BEHIND CERAMIC/PORCELAIN TILE.
- PROVIDE JOINT REINFORCING TAPE, ADHESIVE, AND METAL CORNER REINFORCEMENT, STANDARD PRODUCTS AS RECOMMENDED BY THE MANUFACTURER. USE SELF-DRILLING. SELF-TAPPING COUNTERSUNK BUGLE HEAD SCREWS FOR ATTACHMENT OF WALL BOARDS TO STUDS. ALL TAPED/MUDDED JOINTS & FASTENER FINISHING SHALL BE SMOOTH AND LEVEL TO GOOD QUALITY SURFACE FINISH WITHOUT VISIBLE JOINTS/BLEMISHES ALL AS PER CGC LEVEL 4 FINISHING MATRIX. CEILING MAIN SUSPENSION RUNNERS: 16 GAUGE COLD ROLLED STEEL 1-1/2" CHANNELS. HANGING WIRE: 8 GAUGE MINIMUM,
- GALVANIZED ANNEALED LOW CARBON STEEL WIRE. ASTM C754. INSTALL WALL BOARD IN MAXIMUM SIZE PANELS. ATTACH TO WALL FRAMING WITH LONG EDGES VERTICAL, USING 1-1/4" LONG SCREW FASTENERS AT MAXIMUM OF 12" O.C. IN THE FIELD AND 8" O.C. ALONG EDGES SUPPORTED ON FRAMING
- CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL EQUIPMENT REQUIRING SERVICE & DUCTS, PLUMBING AND ELECTRICAL WORK, FIRE RATED AS REQUIRED.

RESILIENT & VINYL TILE FLOORING

- INSTALL ALL MATERIALS IN SHAPE, CONFIGURATION AND PATTERN AS SHOWN ON DRAWINGS. STANDARDS TO BE IN ACCORDANCE WITH TILE COUNCIL OF AMERICA AND/OR TILE AND TERRAZZO INSTITUTE OF CANADA. PROVIDE A 1% EXTRA SUPPLY OF EACH TYPE OF FLOORING USED IN THIS PROJECT FOR FUTURE REPLACEMENT PURPOSES.
- INSTALL TRANSITION STRIP AT ALL VCT/LVT TO CARPET OR CERAMIC JUNCTIONS. CLEAN AND SEAL TILE SURFACE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- INSTALLATION OF TILE SUBSTRATE TO BE LEVEL AND FREE OF DIRT, CONTAMINANTS, ADHESIVE AND OTHER MATERIALS THAT SHOULD BE DELETERIOUS TO MORTAR ADHESION. INSTALL ALL SHEET GOOD, VINYL COMPOSITE TILE, AND VINYL BASE AS INDICATED ON DRAWINGS, INSTALL IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS, CEMENTING DIRECTLY TO SUBSTRATE UNLESS NOTED OR DETAILED
- OTHERWISE. PROTECT FLOORS FROM ROLLING LOADS FOR FORTY-EIGHT(48) HOURS AFTER INITIAL INSTALLATION. VINYL TILE COMPOSITION TO CSA A126.1 EXCEPT THAT FILLER BE NON ASBESTOS, TYPE 'A' (PLAIN OR MOTTLED SURFACE TYPE) 1/8" THICK 12"X12" SIZE UNIFORM DISPERSEMENT OF COLOUR AND TEXTURE THROUGHOUT TILE THICKNESS.

PROVIDE MOISTURE LIMITER ON EXISTING POURED CONCRETE FLOORS PRIOR TO NEW FLOORING ASSEMBLY. CARPET (BROADLOOM & TILES)

- INSTALL CARPET AS PER MANUFACTURES INSTALLATION INSTRUCTION.
- PREP FLOOR TO MANUFACTURES REQUIREMENTS AS SET OUT IN THE INSTALLATION INSTRUCTIONS. 18.3. PROVIDE MOISTURE LIMITER ON EXISTING POURED CONCRETE FLOORS PRIOR TO NEW FLOORING ASSEMBLY.

INSTALL JOHNSONITE OR EQUAL 4" VINYL BASE AROUND PERIMETER OF ALL WALLS, EXISTING AND NEW. COLOUR BY CONSULTANT, USE MANUFACTURES RECOMMENDED ADHESIVE FOR DRYWALL APPLICATION PREP BASE OF EXISTING WALLS WHERE EXISTING CARPET BASE HAS BEEN REMOVED. REMOVE ALL GLUE AND PATCH AND

REPAIR WALLS DAMAGED WHERE REQUIRED.

- APPLY PAINT AS PER STANDARD CAN.CGSB-85.100 LATEST EDITION, AND AS PER CGC LEVEL 4 PAINT FINISH STANDARDS FOR A STROKE-FREE, SMOOTH, EVEN, SURFACE FINISH,
- PRIMER TO CAN/CGSB-1.119 PRIMER-SEALER, WALL, INTERIOR LATEX TYPE. SUBMIT LIST OF PROPOSED PAINT AND COLOURS 10 DAYS PRIOR TO APPLICATION FOR REVIEW BY CONSULTANT/OWNER. STORE PAINT ON SITE IN APPROVED SEALED CONTAINERS AWAY FROM ANY FLAME SOURCE OR SPARK SOURCE.
- PREP ALL EXISTING PAINTED SURFACES TO ACCEPT NEW PAINT FINISH WHERE APPLICABLE. CLEAN AND PATCH WALLS. SAND SMOOTH ALL ROUGH SURFACES. PRIME NEW DRYWALL SURFACES WITH PRIMER PRIOR TO PAINTING. APPLY MATERIALS IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS AND SPECIFICATIONS. DO NOT USE ADULTERANTS
- OR DILUTENTS EXCEPT AS RECOMMENDED BY MANUFACTURE FOR APPLICATION. CLEAN UP AND REMOVE UNUSED PRODUCTS FROM SITE ON COMPLETION OF WORK.
- 20.9. PAINT SHEENS: EGGSHELL WALLS; SEMI-GLOSS DOORS/FRAMES; MATT WHITE CEILINGS.

ACOUSTIC CEILINGS

- PROVIDE NEW CEILING TILE ASSEMBLY AS PER ARCH DRAWINGS. MATCH NEW PRODUCT TO EXISTING PRODUCT IN ALL AREAS WHERE APPLICABLE. REPLACE TILES DAMAGED DURING CONSTRUCTION OR EXECUTION OF WORK WITH NEW TILES.
- EXTERIOR INSULATION & FINISHING SYSTEM (EIFS)
- RAINSCREEN 10MM REAR DRAINAGE PLAIN AND VENTED. EIFS TRADE SHALL BE AN ACCREDITED DRYVIT, STO (OR EQUAL) APPLICATOR AS CERTIFIED BY THE MANUFACTURER. VALID

CERTIFICATE IS REQUIRED TO BE POSTED ON SITE FOR CONSULTANT REVIEW. THE GENERAL CONTRACTOR SHALL NOTIFY THE CONSULTANT OF THE WATER RESISTIVE BARRIER (WRB) SCHEDULED APPLICATION FOLLOWED BY THE OUTSULATION MD INSULATION BOARD APPLICATION FOR CONSULTANT REVIEW.

SHALL MEET CAN/ULC-S705.1-15 STANDARD FOR THERMAL INSULATION, AND CAN/ULC-S770-09 STANDARD TEST METHOD FOR

MEDIUM DENSITY SPRAYFOAM INSULATION:

- DETERMINING LONG TERM THERMAL RESISTANCE, AND SHALL MEET THE 2021 REQUIRED LOW IMPACT HFO BLOWING TYPE AGENTS. SHALL MEET THE ONTARIO AND NATIONAL BUILDING CODE APPLICATION, COVERAGE & FIRE PROTECTION REQUIREMENTS 3.1.5. COMBUSTIBLE INSULATION & FOAMED PLASTIC INSULATION, AND SECTION 9.25.4.2.(1) VAPOUR BARRIER COMPLIANCE TO ASTM E96.
- DO NOT APPLY SPRAYFOAM IN GRETER THAN 2" LIFTS, ALLOW CURING TIME BETWEEN LIFTS AS PER MANUFACTURER RECOMMENDATIONS.
- 23.3. THE STANDARD FOR SPRAYFOAM INSULATION SHALL BE BASF WALLTITE CM01 (OR EQUAL) R5.5/1", MIN 2" THICKNESS.

ROOFING & INSULATION:

- INSTALL ROOFING ASSEMBLY AS PER MANUFACTURER'S RECOMMENDED PRODUCT TYPES, SEQUENCING AND
- FASTENERS/ADHESIVES. ONLY INSTALL IN DRY WEATHER AND ONLY INSTALL A QTY OF ROOFING AREA MANAGEABLE FOR THE DAY OF WORK,
- PROVIDE WATER-TIGHT SEAL PERIMETER ON UNFINISHED ROOF FOR NEXT WORK DAY CONTINUATION. ROOFING INSTALLATION SHALL BE AS PER CANADIAN ROOFING CONTRACTORS ASSOCIATION (CRCA) STANDARDS, INCLUDING 6" STAGGERED (EA WAY) INSULATION BOARD JOINTS & 1/4"+ WIDE JOINTS SHALL BE FILLED WITH NON-EXPANDING

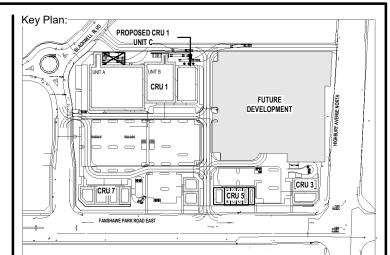
SPRAYFOAM INSULATION. PROVIDE A 20 YEAR UNLIMITED LABOUR AND PRODUCTS WARRANTEE. PROVIDE 3RD PARTY QUALIFIED INDEPENDENT ROOFING CONSULTANT TO REVIEW THE ROOFING INSTALLATION TO CURRENT ROOFING INDUSTRY STANDARDS, GC SHALL FOLLOW THEIR RECOMMENDATIONS. COST FOR CONSULTANT SHALL BE BY OWNER.

REQUIRED SUBMITTALS

THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION. SUBMIT ONE DIGITAL COPY UNLESS NOTED OTHERWISE.

EM	REQUIRED SUBMITTAL?	P.ENG. STAMP REQUIRED?	
NDOW SHOP DRAWINGS			
c/w CONNECTION NOTED	YES	YES	
OOR SHOP DRAWINGS			
c/w B.F. CLEARANCES NOTED	YES	NO	
OOR HARDWARE	YES	NO	
TEEL ERECTION DRAWINGS	YES	YES	
TEEL STUD ERECTION DRAWINGS	YES	YES	
SC. STEEL HAND/GUARD RAILS/LADDER	YES	YES	
OPED INSULATION	YES	NO	
RESTOP PRODUCTS	YES	NO	
OOFING MEMBRANE	YES	NO	
ARQUEE CANOPY DRAWINGS	YES	YES	

RT 3 - FIRE PROTECTION	, OCCUP	ANT SAFE	TY AND A	CCESSIBIL	LITY				OBC REFEREN
3.00 BUILDING CODE VERSION	O.REG. 332/								
3.01 PROJECT TYPE	NEW CONST	TRUCTION					CRU #1 UNIT C		[A] 1.1.
MAJOR OCCUPANCY	OCCUPANC	Υ					USE		3.
CLASSIFICATION		MERCANTIL					COMMERCIAL RE	TAIL LINIT	
SUPERIMPOSED MAJOR		MERCANTIL					COMMENCIALINE	TAIL ONT	
3.03 OCCUPANCIES	N/A								3.2.
3.04 BUILDING AREA (m²)	DESCRIPTIO	ON				EXISTING	G NEV	V TOTAL	[A] 1.4.
		TRUCTION (UN	•			-	3,024.00		
(PERMIT FOR CRU 1C ONLY)		TRUCTION (UN TRUCTION (UN	,			-	1,446.00 930.00		
(PERMIT FOR CRO IC ONLY)	TOTAL (CRU	·	· · · · · · · · · · · · · · · · · · ·			_ 	5,400.00		
3.05 GROSS AREA (m²)	DESCRIPTION					EXISTING			[A] 1.4
	NEW CONS	TRUCTION (UI	NIT 1A)			-	3,024.00	3,024.00	
	NEW CONS	TRUCTION (UI	NIT 1B)			-	1,446.00	1,446.00	
(PERMIT FOR CRU 1C ONLY)	NEW CONST	TRUCTION (UI	NIT 1C)			-	930.00	930.00	
	TOTAL (CRU	J 1)				-	5,400.00	5,400.00	
3.06 MEZZANINE AREA (m²)	DESCRIPTIO	NC				EXISTING	G NEV	V TOTAL	3.2
	N/A						-		
2.07 PUIL DING LIFICUT	TOTAL	etopeve /	ADOME ODADE			-	-		[6] 4 4 4
3.07 BUILDING HEIGHT	0		ABOVE GRADE BELOW GRADE				5.	7 (m) ABOVE GRADE	[A] 1.4.1. 3.2
3.08 HIGH BUILDING	NO		DELOW GIVABL						3
NUMBER OF STREETS/									
3.09 FIREFIGHTER ACCESS	2	STREET(S)							3.2.2.10., 3
3.10 BUILDING CLASSIFICATION	3.2.2.60.	GROUP E, l	JP TO 3 STORE		RED				3.2.2.20
3.11 SPRINKLER SYSTEM	REQUIRED			PROVIDED:		ENTIRE BUIL	.DING		3.2.
3.12 STANDPIPE SYSTEM 3.13 FIRE ALARM SYSTEM	NOT REQUIRED				т	YPE PROVIDE	 D Ν/Δ	(EXISTING)	3
WATER SERVICE/					<u>'</u>	TILITOVIDL		(LXISTING)	
3.14 SUPPLY IS ADEQUATE	YES								3.2
3.15 CONSTRUCTION TYPE	BASED ON	3.2.2.60.							3.2.2.2.20
	RESTRICTIO	ON COMB. PER	RMITTED						
	ACTUAL	NONCOMB.				HEAVY TIM	BER CONSTRUCTIO	NN/A	3.2
3.16 IMPORTANCE CATEGORY	NORMAL					-			4.1.2.1.(3), T4.1.2
3.18 OCCUPANT LOAD	FLOOR LEVI	EL / AREA	OCCUPANC	Y TYPE		OCCUPANT LOAD	BASED ON	POSTED LIMIT REQUIRED	3.1.17., 3.1.17.
(PERMIT FOR CRU 1C ONLY)	UNIT 1A		E - MERCAN	TILE (3.7m²)		817	m² PER PERSON	NO	
	UNIT 1B		E - MERCAN	TILE (3.7m²)		390	m² PER PERSON	NO	
	UNIT 1C		E - MERCAN	TILE (3.7m²)		251	m² PER PERSON	NO	
	TOTAL					1,458	_		
3.19 BARRIER-FREE DESIGN	YES								
BARRIER-FREE ENTRANCES	1		1 NEW BARF	RIER-FREE ENT	TRANCE				3.1
3.20 HAZARDOUS SUBSTANCES	NO						OLIDDODTING.		3.3.1.2. & 3.3.
3.21 REQUIRED FIRE RESISTANCE						RATING (H)	SUPPORTING ASSEMBLY (H)	NONCOMB.IN LIEU OF RATING?	3.2.2.2083., 3.2. 3.2.1.4., 3.2.2
RATINGS	HORIZONTA	AL ASSEMBLY							
RATINGS		AL ASSEMBLY BELOW GRADE	<u> </u>			N/A	N/A	N/A	
RATINGS	STOREYS B					N/A N/A	N/A N/A	N/A N/A	
RATINGS	STOREYS B	ELOW GRADE							
S.21 RATINGS	STOREYS B FLOORS OV FLOORS MEZZANINE	ELOW GRADE /ER BASEMEN				N/A	N/A	N/A NO YES	
G.21 RATINGS	STOREYS B FLOORS OV FLOORS MEZZANINE ROOF	BELOW GRADE /ER BASEMEN				N/A 3/4	N/A 3/4	N/A NO	
3.22 SPATIAL SEPARATION	STOREYS B FLOORS OV FLOORS MEZZANINE	ELOW GRADE /ER BASEMEN		L/H OR H/L	% UPO PERMITTED ACTUAL	N/A 3/4 3/4 0	N/A 3/4 3/4	N/A NO YES	3
KATINGS	STOREYS B FLOORS OV FLOORS MEZZANINE ROOF EXPOSING BUILDING	EBF AREA (m²)	L.D.		PERMITTED	N/A 3/4 3/4 0 , REQUIRED	N/A 3/4 3/4 0 CONSTRUCTION TYPE	N/A NO YES NO	3
3.22 SPATIAL SEPARATION	STOREYS B FLOORS OV FLOORS MEZZANINE ROOF EXPOSING BUILDING FACE NORTH *	EBF AREA (m²)	L.D. (m)	OR H/L	PERMITTED ACTUAL	N/A 3/4 3/4 0 , REQUIRED	N/A 3/4 3/4 0 CONSTRUCTION TYPE COMB. PERMITTE	N/A NO YES NO CLADDING TYPE	3
3.22 SPATIAL SEPARATION (PERMIT FOR CRU 1C ONLY)	STOREYS B FLOORS OV FLOORS MEZZANINE ROOF EXPOSING BUILDING FACE NORTH *	EBF AREA (m²)	L.D. (m) 0 >15	OR H/L N/A N/A	PERMITTED ACTUAL 100 / 3 100 / 33.6	N/A 3/4 3/4 0 , REQUIRED	N/A 3/4 3/4 0 CONSTRUCTION TYPE COMB. PERMITTE COMB. PERMITTE	N/A NO YES NO CLADDING TYPE D COMB. PERMITTED D COMB. PERMITTED	3
3.22 SPATIAL SEPARATION (PERMIT FOR CRU 1C ONLY)	STOREYS B FLOORS OV FLOORS MEZZANINE ROOF EXPOSING BUILDING FACE NORTH * NORTH	EBF AREA (m²) 137.	L.D. (m) 0 >15 0 >14	OR H/L N/A N/A N/A	PERMITTED ACTUAL 100 / 3 100 / 33.6 100 / N/A	N/A 3/4 3/4 0 , REQUIRED	N/A 3/4 3/4 0 CONSTRUCTION TYPE COMB. PERMITTE COMB. PERMITTE COMB. PERMITTE	N/A NO YES NO CLADDING TYPE D COMB. PERMITTED D COMB. PERMITTED D COMB. PERMITTED	3
3.22 SPATIAL SEPARATION (PERMIT FOR CRU 1C ONLY)	STOREYS B FLOORS OV FLOORS MEZZANINE ROOF EXPOSING BUILDING FACE NORTH *	EBF AREA (m²) 137.	L.D. (m) 0 >15	OR H/L N/A N/A	PERMITTED ACTUAL 100 / 3 100 / 33.6	N/A 3/4 3/4 0 , REQUIRED	N/A 3/4 3/4 0 CONSTRUCTION TYPE COMB. PERMITTE COMB. PERMITTE COMB. PERMITTE	N/A NO YES NO CLADDING TYPE D COMB. PERMITTED D COMB. PERMITTED	3
3.22 SPATIAL SEPARATION (PERMIT FOR CRU 1C ONLY)	STOREYS B FLOORS OV FLOORS MEZZANINE ROOF EXPOSING BUILDING FACE NORTH * NORTH	EBF AREA (m²) 137. 216. 661.	L.D. (m) 0 >15 0 >14	OR H/L N/A N/A N/A	PERMITTED ACTUAL 100 / 3 100 / 33.6 100 / N/A	N/A 3/4 3/4 0 , REQUIRED	N/A 3/4 3/4 0 CONSTRUCTION TYPE COMB. PERMITTE COMB. PERMITTE COMB. PERMITTE COMB. PERMITTE	N/A NO YES NO CLADDING TYPE D COMB. PERMITTED D COMB. PERMITTED D COMB. PERMITTED	3
3.22 SPATIAL SEPARATION (PERMIT FOR CRU 1C ONLY)	STOREYS B FLOORS OV FLOORS MEZZANINE ROOF EXPOSING BUILDING FACE NORTH * NORTH WEST	EBF AREA (m²) 137. 216. 661. 285. 661.	L.D. (m) 0 >15 0 >14 0 >15	OR H/L N/A N/A N/A N/A	PERMITTED ACTUAL 100 / 3 100 / 33.6 100 / N/A 100 / N/A	N/A 3/4 3/4 0 , REQUIRED	N/A 3/4 3/4 0 CONSTRUCTION TYPE COMB. PERMITTE COMB. PERMITTE COMB. PERMITTE COMB. PERMITTE COMB. PERMITTE	N/A NO YES NO CLADDING TYPE D COMB. PERMITTED D COMB. PERMITTED D COMB. PERMITTED D COMB. PERMITTED	3
3.22 SPATIAL SEPARATION (PERMIT FOR CRU 1C ONLY)	STOREYS B FLOORS OV FLOORS MEZZANINE ROOF EXPOSING BUILDING FACE NORTH * NORTH WEST SOUTH	EBF AREA (m²) 137. 216. 661. 285. 661.	L.D. (m) 0 >15 0 >14 0 >15 0 >15 0 >15	OR H/L N/A N/A N/A N/A N/A N/A	PERMITTED ACTUAL 100 / 3 100 / 33.6 100 / N/A 100 / N/A 45.2 / 0	N/A 3/4 3/4 0 , REQUIRED	N/A 3/4 3/4 0 CONSTRUCTION TYPE COMB. PERMITTE	N/A NO YES NO CLADDING TYPE D COMB. PERMITTED D NONCOMB. REQ'D	3.7.4., 3.8.2
3.22 SPATIAL SEPARATION (PERMIT FOR CRU 1C ONLY) * UNIT C FIRE COMPARTMENT 3.23 PLUMBING FIXTURE REQUIREMENTS (SHELL PERMIT FOR	STOREYS B FLOORS OV FLOORS MEZZANINE ROOF EXPOSING BUILDING FACE NORTH * NORTH WEST SOUTH EAST RATIO: FLOOR LEVEL	EBF AREA (m²) 137. 216. 661. 285. 661.	L.D. (m) 0 >15 0 >14 0 >15 0 >15 0 >15	OR H/L N/A N/A N/A N/A N/A N/A	PERMITTED ACTUAL 100 / 3 100 / 33.6 100 / N/A 100 / N/A 100 / N/A 45.2 / 0 CEPT AS NOTE WATER CLOSETS	N/A 3/4 0 / REQUIRED FRR (h) - - - D OTHERWISE WATER CLOSETS	N/A 3/4 3/4 0 CONSTRUCTION TYPE COMB. PERMITTE	N/A NO YES NO CLADDING TYPE D COMB. PERMITTED D NONCOMB. REQ'D UNIVERSAL	3.7.4., 3.8.2
3.22 SPATIAL SEPARATION (PERMIT FOR CRU 1C ONLY) * UNIT C FIRE COMPARTMENT 3.23 PLUMBING FIXTURE REQUIREMENTS (SHELL	STOREYS B FLOORS OV FLOORS MEZZANINE ROOF EXPOSING BUILDING FACE NORTH * NORTH WEST SOUTH EAST RATIO: FLOOR	EBF AREA (m²) 137. 216. 661. 285. 661.	L.D. (m) 0 >15 0 >14 0 >15 0 >15 0 >15 0 >15 0 9.4 MALE:FEMAI	OR H/L N/A N/A N/A N/A N/A N/A OBC	PERMITTED ACTUAL 100 / 3 100 / 33.6 100 / N/A 100 / N/A 100 / N/A 45.2 / 0 CEPT AS NOTE WATER	N/A 3/4 0 / REQUIRED FRR (h) D OTHERWISE	N/A 3/4 3/4 0 CONSTRUCTION TYPE COMB. PERMITTE	N/A NO YES NO CLADDING TYPE D COMB. PERMITTED D NONCOMB. REQ'D UNIVERSAL WASHROOMS	3.7.4., 3.8.2. T.3.8.2.3.A., T.3.8.2
3.22 SPATIAL SEPARATION (PERMIT FOR CRU 1C ONLY) * UNIT C FIRE COMPARTMENT 3.23 PLUMBING FIXTURE REQUIREMENTS (SHELL PERMIT FOR CRU 1B	STOREYS B FLOORS OV FLOORS MEZZANINE ROOF EXPOSING BUILDING FACE NORTH * NORTH WEST SOUTH EAST RATIO: FLOOR LEVEL / AREA UNIT C	EBF AREA (m²) 137. 216. 661. 285. 661.	L.D. (m) 0 >15 0 >15 0 >15 0 >15 0 >15 O >15 O >15 O >15 O 251	OR H/L N/A N/A N/A N/A N/A N/A OBC	PERMITTED ACTUAL 100 / 3 100 / 33.6 100 / N/A 100 / N/A 100 / N/A 45.2 / 0 CEPT AS NOTE WATER CLOSETS	N/A 3/4 0 / REQUIRED FRR (h) - - - D OTHERWISE WATER CLOSETS	N/A 3/4 3/4 0 CONSTRUCTION TYPE COMB. PERMITTE COMB. PERMITTE	N/A NO YES NO CLADDING TYPE D COMB. PERMITTED UNIVERSAL WASHROOMS REQUIRED /	3.7.4., 3.8.2



Consultant:



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Consultant:

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ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION.

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CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.

ANY MATERIAL ALTERATIONS CARRIED OUT DURING CONSTRUCTION BY THE CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WIT THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

2 FEB 08, 2024 Date

ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD

EAST. - CRU #1 UNIT C

1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

Drawing Title:

GENERAL NOTES & OBC

Drawn By: D.H. Scale: AS INDICATED Plot Date: APR 02, 2024 Checked By: K.N.

Project Date: JAN 2024 Project No: 2023-102

Revision

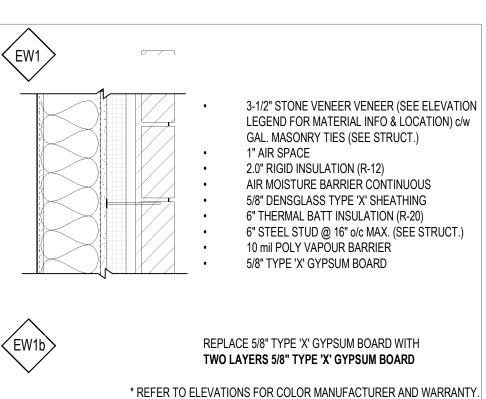
WALL ASSEMBLIES SCHEDULE **GENERAL NOTES**

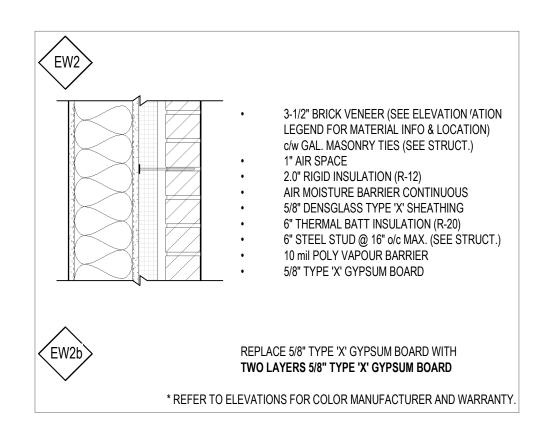
- FIRESTOP CAULKING TO SEAL JOINTS WHERE GYPSUM BOARD PARTITION ABUTTS FLOOR, u/s OF STRUCTURE, CONCRETE MASONRY UNIT (CMU) AND ALL PENETRATIONS THRU FIRE SEPARATIONS. TYP.
- REFER TO FLOOR PLANS FOR LOCATION OF WALLS BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- CONFIRM WALL THICKNESS WITH STRUCTURAL DRAWINGS.
- ALL GYPSUM BOARD SURFACES SHALL BE PAINTED 1 COAT PRIMER, 2 COATS FINISH. EGGSHELL SHEEN ON WALLS; SEMIGLOSS IN KITCHENS ABOVE COUNTER, BATHROOM WALLS, AND DOORS/FRAMES;
- REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL CONCRETE WALL TYPES, MATERIALS, THICKNESS'. TYP.
- MAX 2" THICK LIFT OF SPRAYFOAM INSULATION PER PASS.
- CONC. BLOCK TOP LATERAL SUPPORT METAL CLIP ANGLES REQUIRED, REFER TO STRUCTURAL DWGS., TYP. PROVIDE SAME THICKNESS WATER RESISTANT GYPSUM BOARD BEHIND & BESIDE WATER FIXTURES TYP.
- ALL PARTITIONS SHALL BE PROVIDED WITH LATERAL STABILITY/CROSS BRACING AT TOPS OF FRAMING FOR LATERAL
- SECUREMENT. PAINT ALL STEEL EXPOSED TO VIEW. NEW STRUCTURAL STEEL SHALL BE PRIMED AND PAINTED.
- PROVIDE TILE BACKER BOARD BEHIND ALL WALL TILE.
- PROVIDE ADEQUATE BLOCKING IN WALLS/PARTITIONS TO SUPPORT/SECURE ALL ITEMS FIXED TO WALL. TYP. UNLESS OTHERWISE NOTED, ALL PARTITIONS SHALL BE CONSTRUCTED UP TO U/S STRUCTURE ABOVE. FOLLOW
- TYP. DETAIL FOR FIRE RATED PARTITION FINISHING
- REFER TO GEOTECHNICAL REPORT FOR ALL EARTH, MOISTURE, BEARING AND METHANE GAS PROTECTION DESIGN
- RELATED INFORMATION THAT MAY AFFECT BUILDING ASSEMBLIES AND CONSTRUCTION PROCESSES. TYP. REFER TO GEOTECHNICAL REPORT FOR ALL GROUND WATER CONTROL AND WEEP TILE @ FOOTINGS

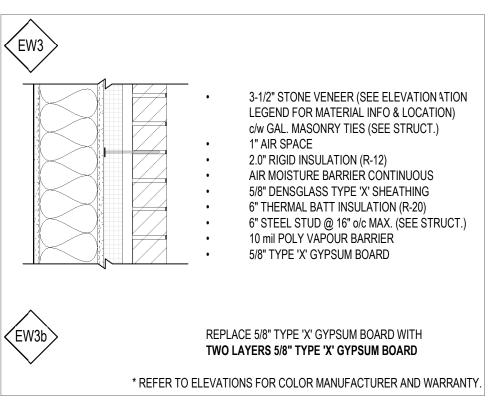
FLOOR/ROOF ASSEMBLIES SCHEDULE **GENERAL NOTES**

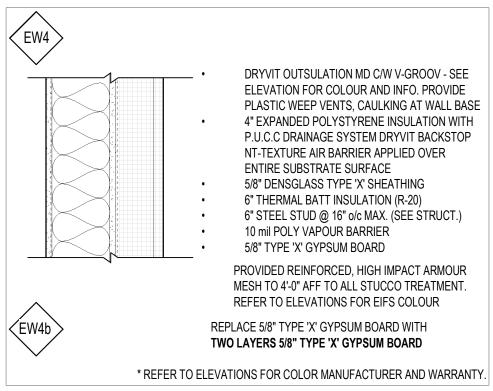
- REFER TO SECTIONS FOR LOCATION OF FLOOR/ROOF BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU. CONFIRM FLOOR/ROOF THICKNESS WITH STRUCTURAL DRAWINGS, REPORT ANY
- DISCREPANCIES TO THE ARCHITECT (IF REQUIRED).

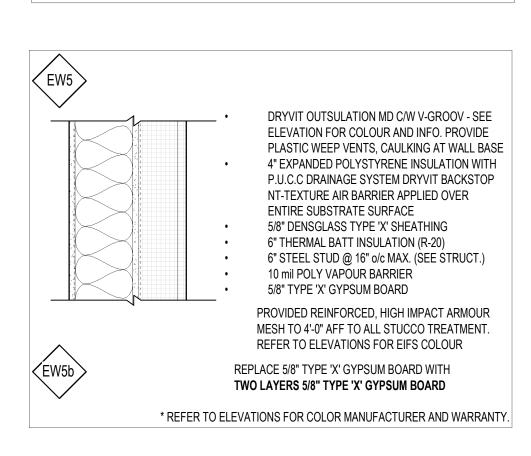
EXTERIOR WALLS TYPE SCHEDULE

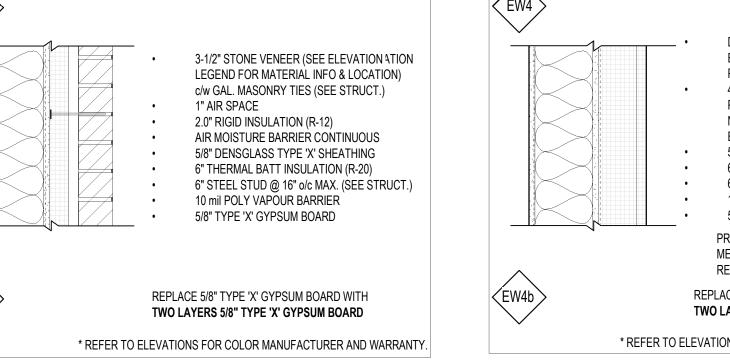




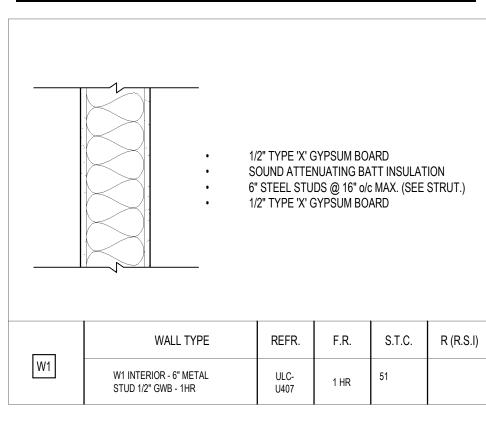


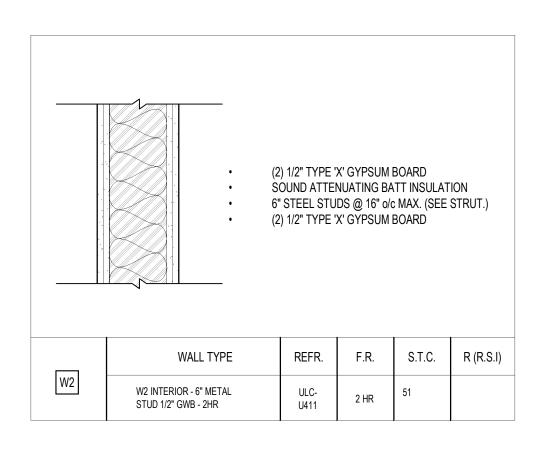




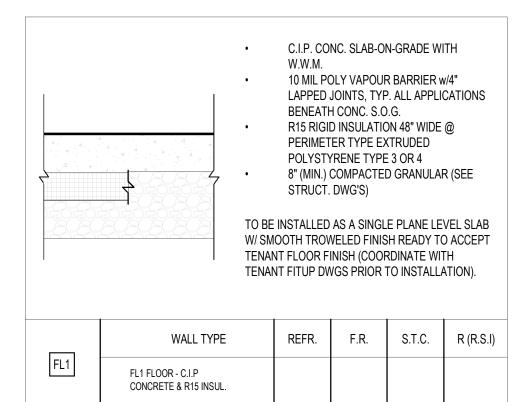


INTERIOR WALLS TYPE SCHEDULE

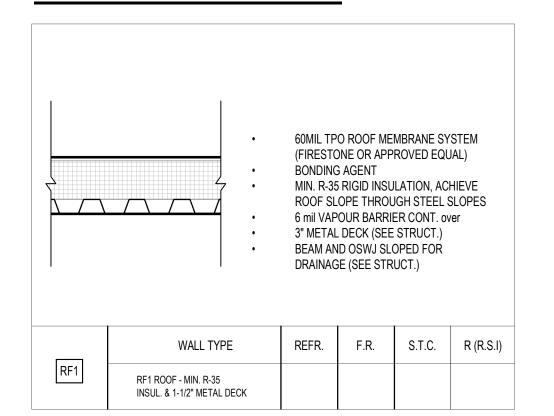


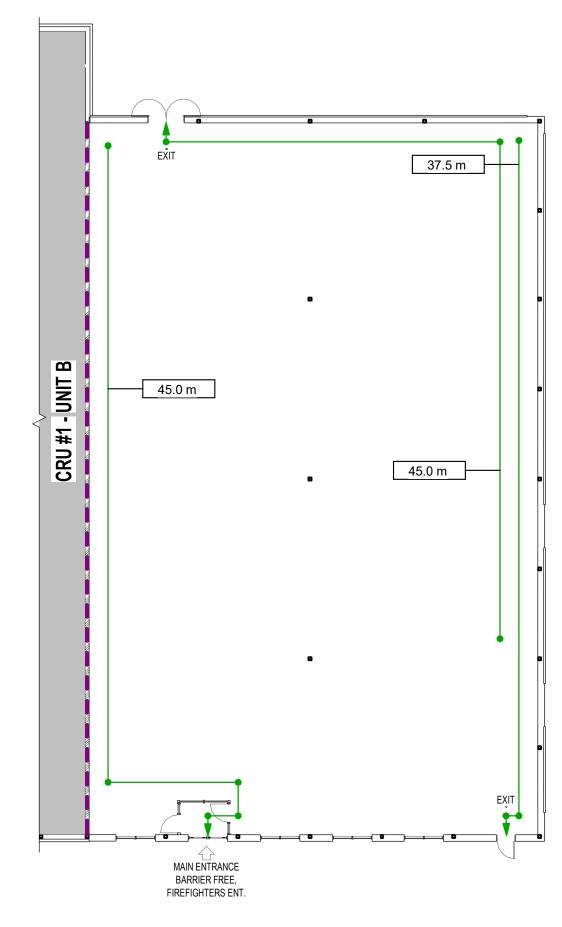


FLOOR TYPE SCHEDULE



ROOF TYPE SCHEDULE





LIFE SAFETY PLAN

SCALE: 1:200



CONSTRUCTION". THE DRAWINGS SHALL NOT BE USED FOR PRICING, COSTING OR TENDER UNLESS INDICATED IN THE REVISION COLUMN AND THESE DRAWINGS ARE NOT COMPLETE AND ANY PRICES BASED ON THESE DRAWINGS MUST INCLUDE ALLOWANCES FOR THIS WITH NO LIABILITY ON CREATIVE STRUCTURES LTD AND NGACAKU ARCHITECTURE INC.

REGULATIONS AND BYLAWS HAVING JURISDICTION.

STANDARDS AND BE APPROVED BY OWNER

WRITTEN CONSENT OF CREATIVE STRUCTURES.

SHOULD NOT BE USED FOR ANY OTHER WORK.

CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.

ANY MATERIAL ALTERATIONS CARRIED OUT DURING CONSTRUCTION BY THE CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WITH THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

DEVELOPMENT

CS@CREATIVESTR.CA

NGACAKU ARCHITECTURE INC

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VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO CREATIVE STRUCTURES LTD. AND NGACAKU ARCHITECTURE

INC. PRIOR TO COMMENCING WORK. ALL DIMENSIONS AND LEVELS ARE

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE

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APPROXIMATE AND SHOULD BE CONFIRMED BY OWNER AND GENERAL

Consultant:

General Notes

3	APR 02, 2024	ISSUED FOR TENDER
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW
No.	Date	Revision
		-

ISSUES/REVISION TABLE



EAST. - CRU #1 UNIT C

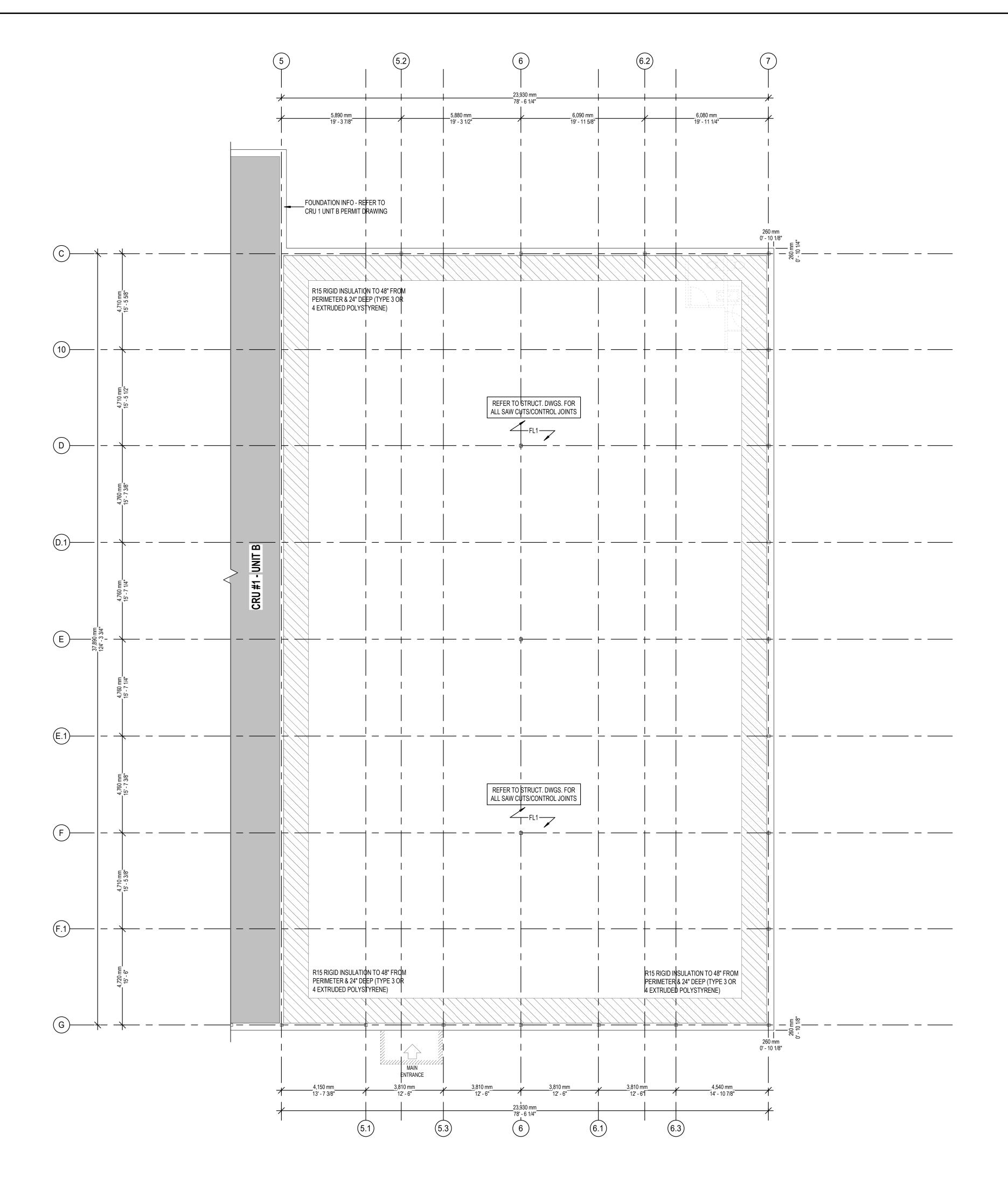
1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

ASSEMBLY TYPES

Drawn By:	D.H.	Scale: AS INDICATED
Checked By:	K.N.	Plot Date: APR 02, 2024
Project Date:	JAN 2024	

Project No: 2023-102

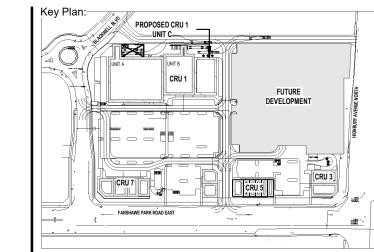
Revision



FOUNDATION PLAN

SCALE: 1:100

NOTE:
TO BE READ IN CONJUNCTION WITH THE STRUCTURAL FOUNDATION PLAN. REFER TO STRUCTURAL DWGS. FOR ALL REINFORCING, FOUNDATION WALL & PIERS SIZES & U/S OF FOOTING ELEVATIONS.



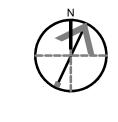
Consultant:







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3	APR 02, 2024	ISSUED FOR TENDER
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW
No.	Date	Revision

ISSUES/REVISION TABLE

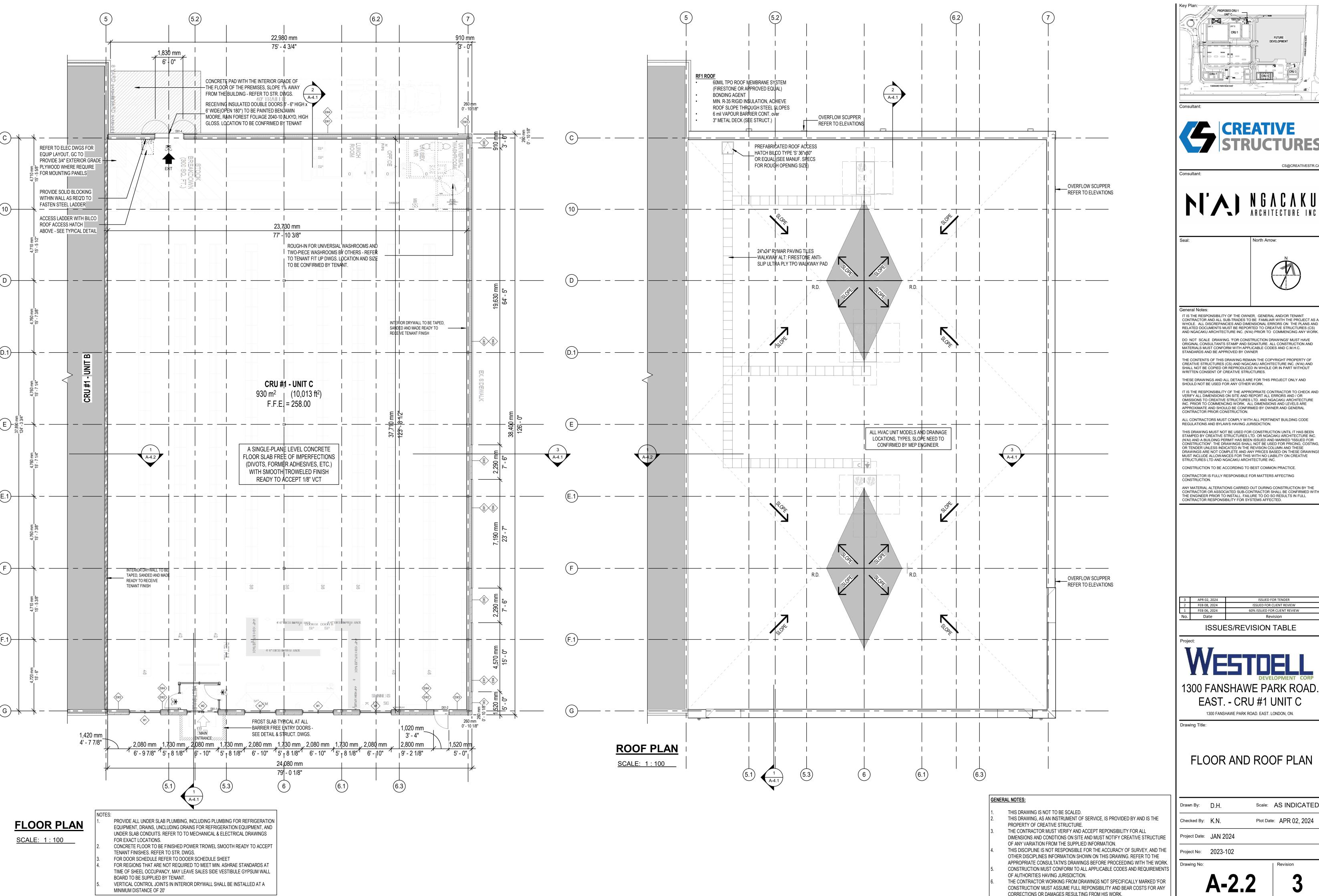


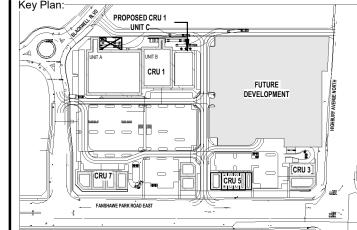
EAST. - CRU #1 UNIT C 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

FOUNDATION PLAN

Scale: AS INDICATED Drawn By: D.H. Plot Date: APR 02, 2024 Checked By: K.N.

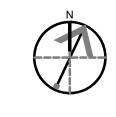
Project Date: JAN 2024











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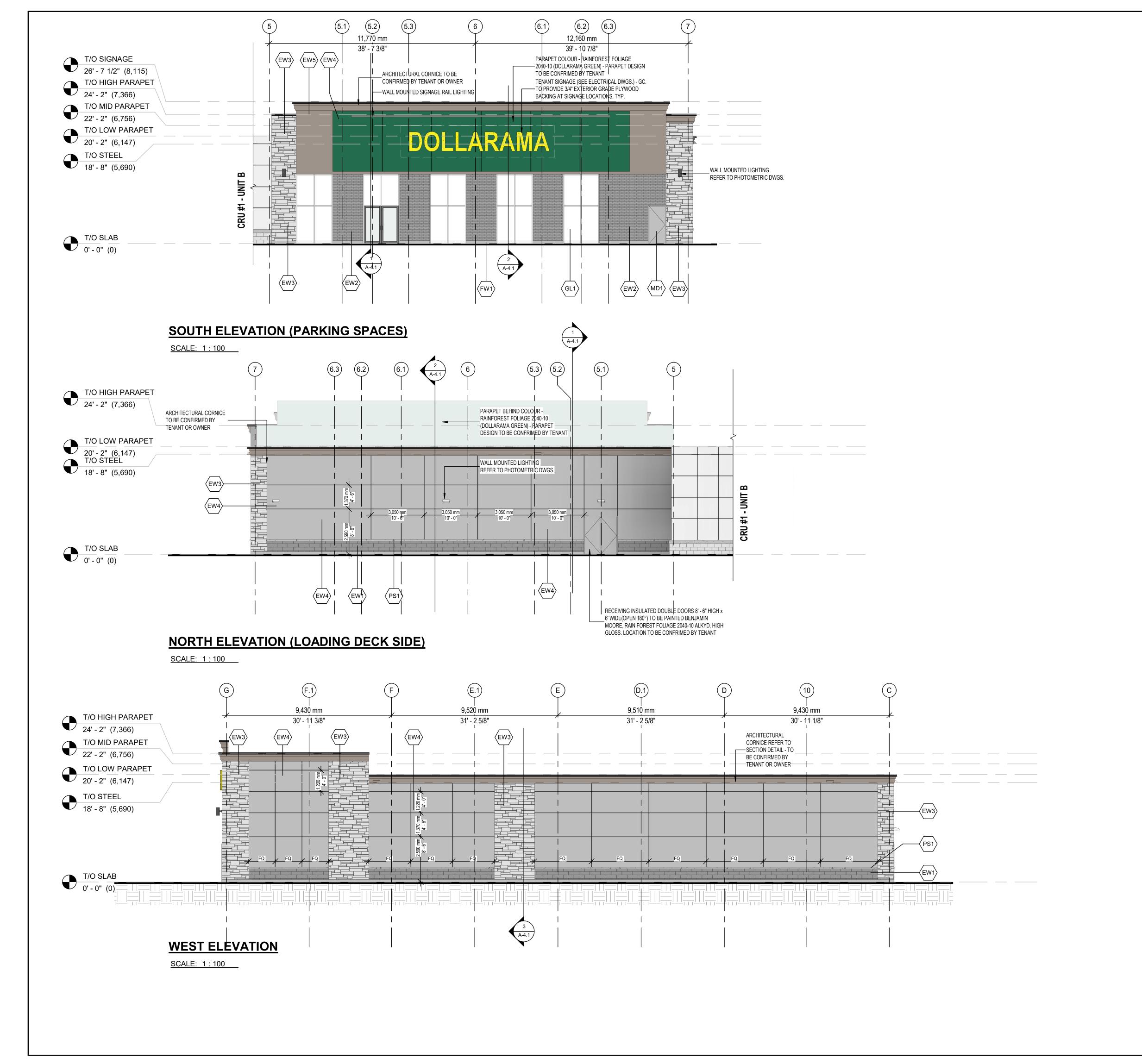


EAST. - CRU #1 UNIT C

1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

FLOOR AND ROOF PLAN

1 1			
	Drawn By:	D.H.	Scale: AS INDICATE
	Checked By:	K.N.	Plot Date: APR 02, 2024
	Project Date:	JAN 2024	
	Project No:	2023-102	



MATERIAL LEGEND



FL1 PRE-FINISHED METAL CAP FLASHING EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: BLACK TBC BY OWNER



EW1 STONE VENEER MANUFACTURER: SHOULDICE OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER)



SIZE: 190MM X 590 MM



COLOUR: DARK GREY TBC BY OWNER EW2 BRICK VENEER MANUFACTURER: SHOULDICE OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER)



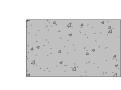
SIZE: 79MM X 257MM COLOUR: OXENDEN TBC BY OWNER EW3 LAFFIT MASONRY STONE VENEER MANUFACTURER: PERMACON OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER)



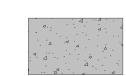
SIZE: VARIABLE COLOUR: OASIS TBC BY OWNER EW4 EXTERIOR INSULATION C/W V-GROOVES MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: SAND TBC BY OWNER



EW5 EXTERIOR INSULATION C/W V-GROOV MANUFACTURER: DRYVIT OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) COLOUR: DARK BEIGE TBC BY OWNER



PS1 PRE-CAST SOTNE SILL MANUFACTURER: SHOULDICE OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: GREY TBC BY OWNER



FW1 EXPOSED FOUNDATION WALL MANUFACTURER: N/A (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: N/A



GL1 EXTERIOR WINDOW MANUFACTURER: KAWNEER OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: CLEAR TBC BY OWNER



SP1 SPANDREL PANEL MANUFACTURER: KAWNEER OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: N/A COLOUR: TO MATCH GL-1 TBC BY OWNER



AC1 ALUMINUM CLADDING PANEL SIZE: REFER TO ELEVATION AND STR. DWGS. COLOUR: BLACK TBC BY OWNER



CP1 STEEL C-CHANNEL CANOPY W/ TENSION RODS SIZE: REFER TO STR DWGS. COLOUR: BLACK TBC BY OWNER



CP2 MOMENT CONNECTED STEEL C-CHANNEL SIZE: REFER TO STR DWGS. COLOUR: BLACK TBC BY OWNER

CREATIVE STRUCTURES IS NOT RESPONSIBLE

IF SIZES ARE NOT SPECIFIED REFER TO WALL

FOR FUTURE CHANGES.

ASSEMBLYS.

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE

THE CONTRACTOR MUST VERIFY AND ACCEPT REPONSIBILITY FOR ALL DIMENSIONS AND CONDTIONS ON SITE AND MUST NOTIFY CREATIVE STRUCTURE OF ANY

THIS DISCIPLINE IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, AND THE

THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED 'FOR CONSTRUCTION' MUST ASSUME FULL REPONSIBILITY AND BEAR COSTS FOR ANY

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MD1 INSULATED METAL DOOR SIZE: REFER TO SHEET A-6.0 COLOUR: BLACK TBC BY OWNER

LF1 EXTERIOR WALL MOUNTED LIGHTNG FIXTURE SIZE: REFER TO PHOTOMETRIC DWGS. AND ELEC DWGS. FOR INFO

GENERAL NOTES:

GC TO PROVIDE SAMPLES OF ALL FINISHES FOR OWNER/ARCHITECT APPROVAL SHOP DWGS. TO BE PROVIDED FOR APPROVAL FOR ALL LIGHT

FIXTURES. REFER TO ELECT. DWGS. FOR ALL WALL MOUNTED UTILITY/SECURITY LIGHTING & CAMERAS (IF REQUIRED). MASONLY CONTROL JOINTS (CJ) TO BE PLACED AS SHOWN. CAULKING COLOURS TO MATCH MASONRY UNIT MORTAR COLOUR. CAULKING AT ALL WINDOWS TO MATCH WINDOW FRAMES.

ALL SILLS TO COME WITH DRIP EDGE. TBC - TO BE CONFIRMED

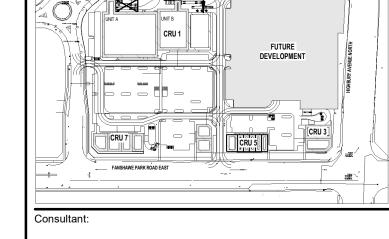
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1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

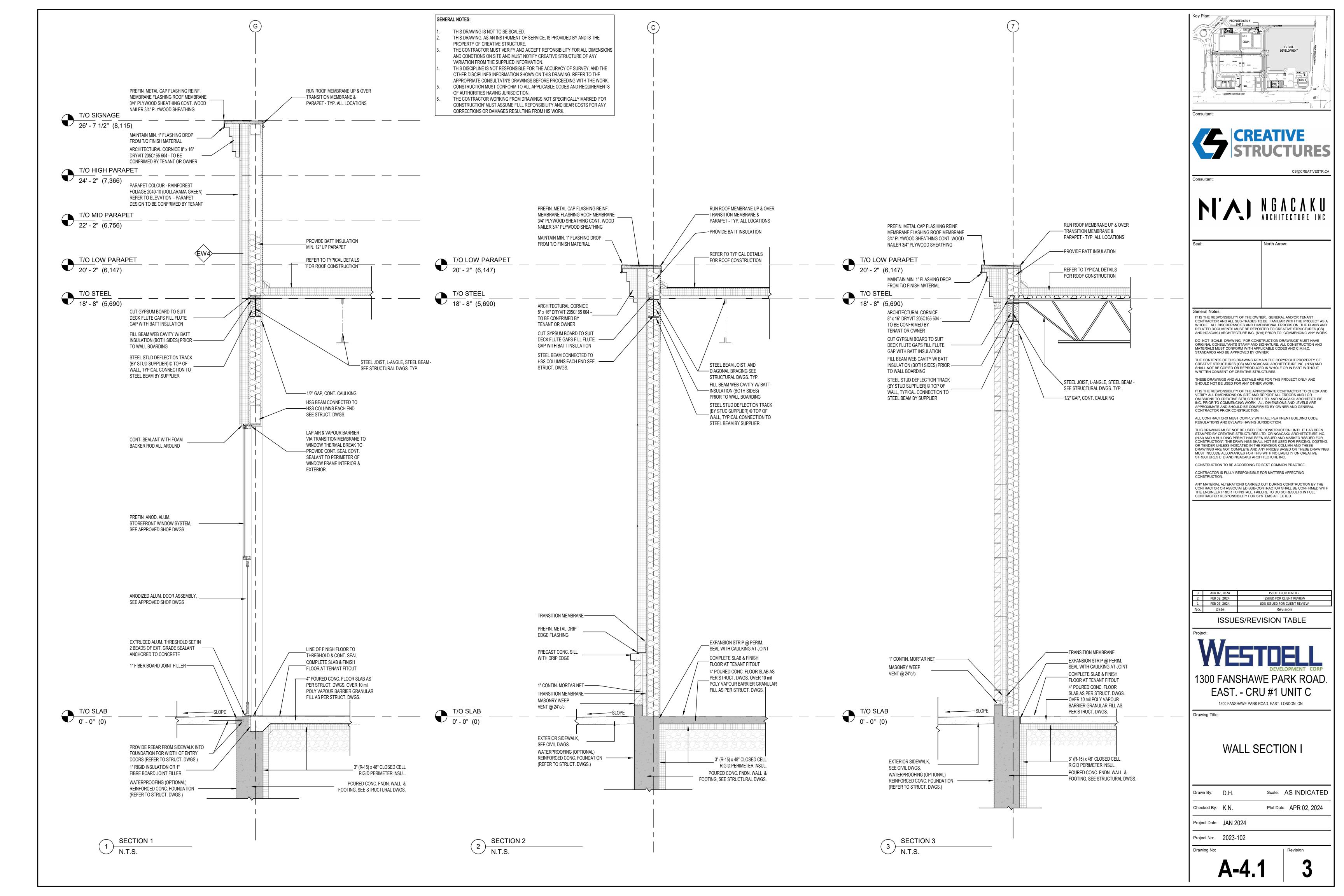
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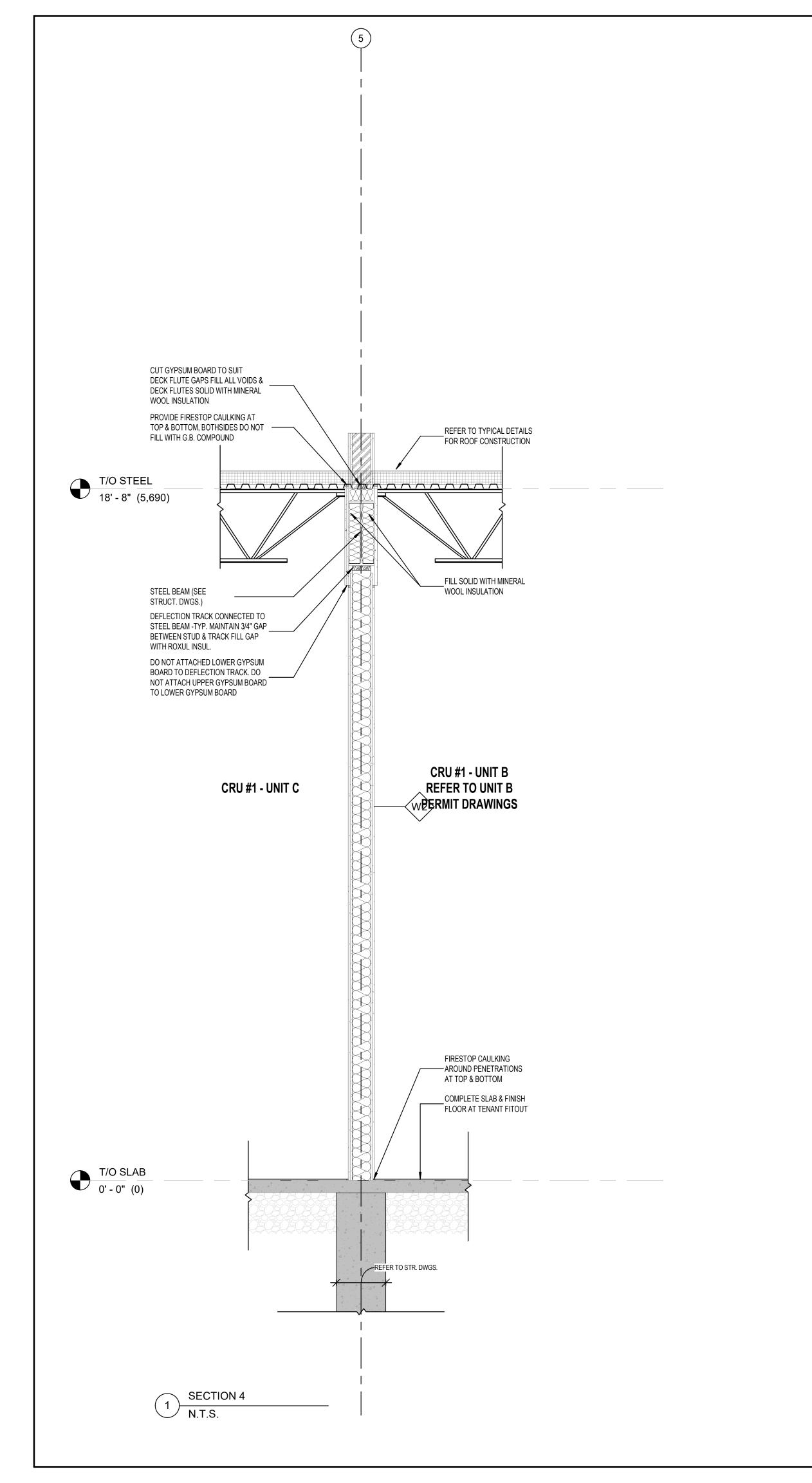
Drawn By:	D.H.	Scale: AS INDICATE
Checked By:	K.N.	Plot Date: APR 02, 2024

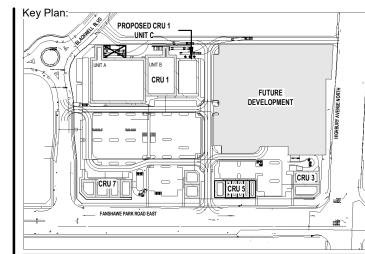
Project No: 2023-102 Drawing No:

Project Date: JAN 2024

Revision







Consultant:



Consultant:

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No. Date

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1300 FANSHAWE PARK ROAD.

EAST. - CRU #1 UNIT C 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

WALL SECTION II

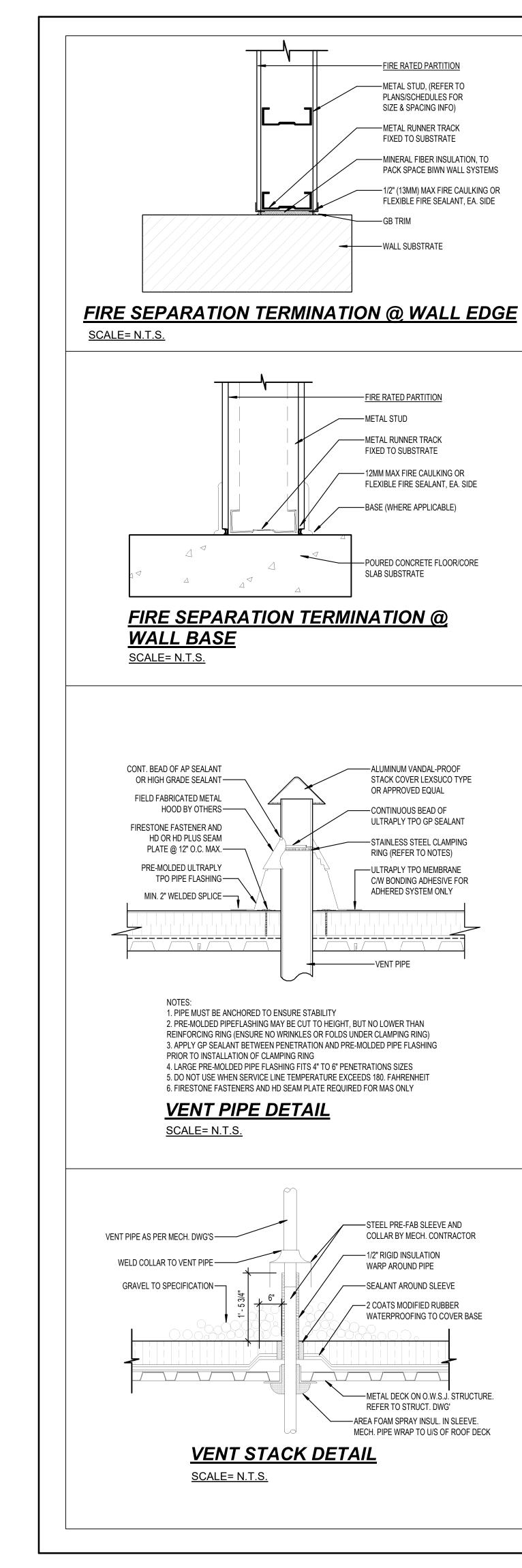
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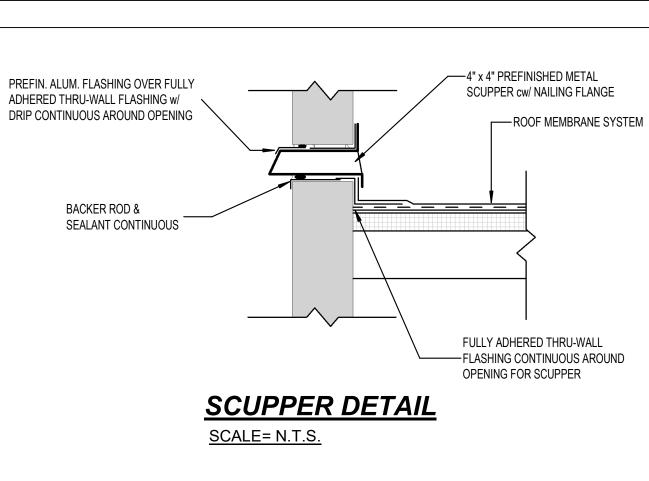
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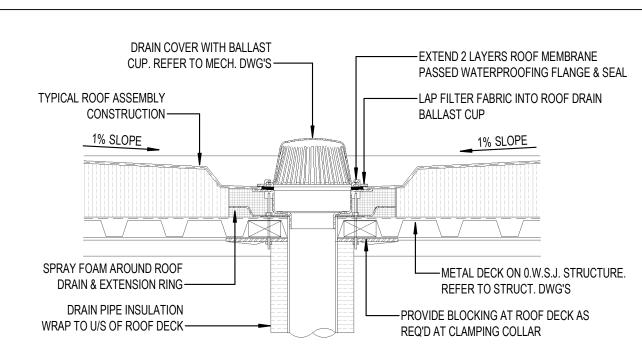
Project Date: JAN 2024

Project No: 2023-102

Plot Date: APR 02, 2024



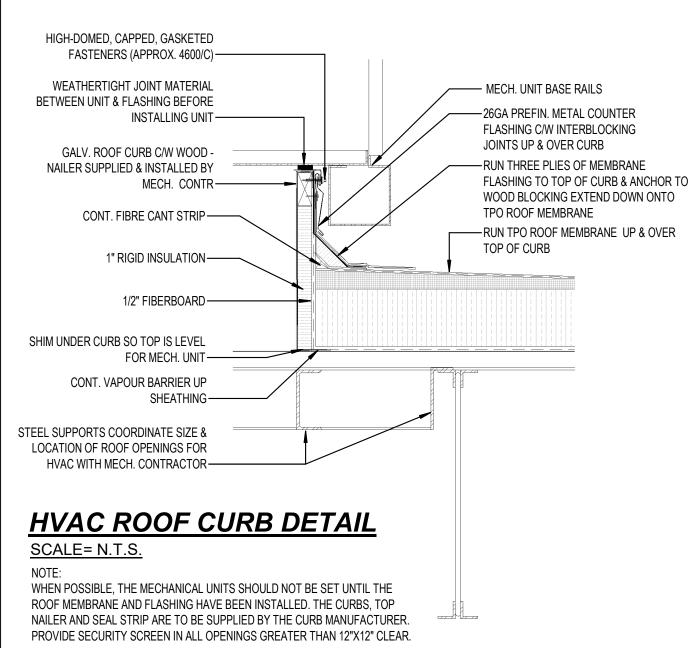




ROOF DRAIN DETAIL

SCALE= N.T.S.

REFER TO MECH. DWGS. FOR LOCATION & EXTENT OF ROOF DRAINS. REFER TO ROOF DRAIN MANUF. SPEC. FOR ALL INSTALLATION INSTRUCTIONS.



-1/2" (13MM) MAX FIRE CAULKING OR

INSULATION PACKED

INTO VOID IN METAL

-FIRE RATED PARTITION

DECK PROFILE

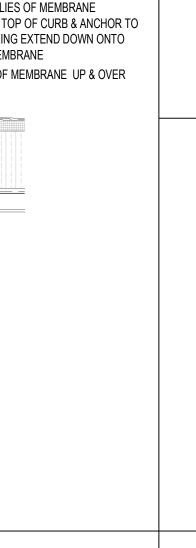
-METAL STUD

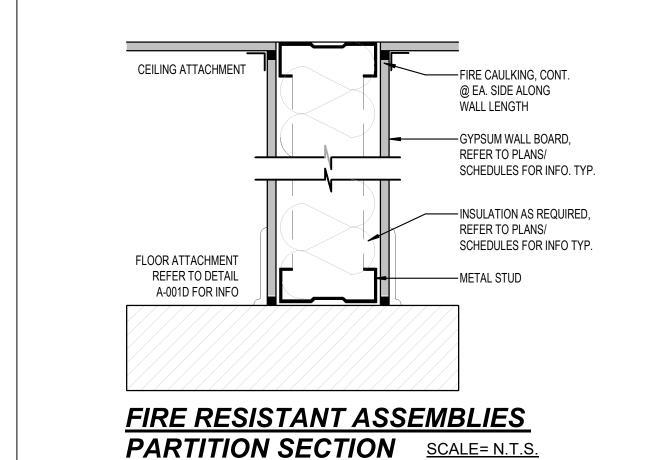
FIRE SEPARATION TERMINATION

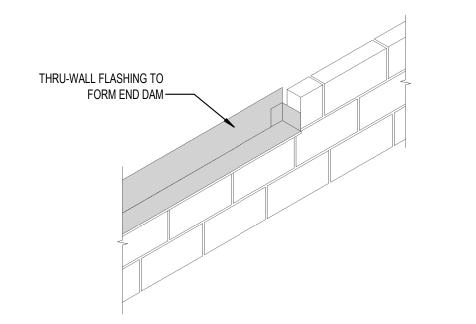
@ WALL BASE

SCALE= N.T.S.

FLEXIBLE FIRE SEALANT, EA. SIDE







- INSULATED METAL ROOF SCUTTLE

SD-20 OR EQUAL

FULLY WELDED)

- ROOF MEMBRANE

SLOPE 2% MIN.

SIDES OF WALL @ 12" O.C.

PROVIDE PADDLE

REKEYABLE

1" RIGID INSULATION—

STEEL ANGLE, REFER TO

STRUCTURAL DWG'S FOR INFO-

SCALE= N.T.S.

WROUGHT IRON STRAP SECURE TO

GAS PIPE, REFER TO MECH DWGS. ALL

PIPING TO BE PAINTED ON ROOF & IN

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GAS PIPE, REFER TO MECH DWGS. ALL

PIPING TO BE PAINTED ON ROOF & IN

THE BLDG. PER CAN/CSA B149.1-10-

SCALE= N.T.S.

CONTROL JOINT (CJ)

SCALE= N.T.S.

SUPPORT & COAT WITH RUST

PREVENTATIVE PAINT SIZE TO

PERMIT THERMAL MOVEMENT

THE BLDG. PER CAN/CSA B149.1-10-

SUPPORT & COAT WITH RUST

PREVENTATIVE PAINT SIZE TO

PERMIT THERMAL MOVEMENT

METAL LADDER —

ROOF ACCESS HATCH CURB DETAIL

GAS PIPE ROOF SUPPORT DETAIL

TREMCO DYMONIC SEALANT

DEPTH OF 1/2" BACKER ROD

COLOUR MATCHED TO MORTAR MAX.

TYPICAL CONTROL JOINT IN FACE BRICK & MASONRY VENEERS

LOCK RK-134-3000

PAD LOCK W/ SOLID

BRASS CYLINDER-

2' - 6" X 3' - 0" OPG. BILCO MODEL NO.

-FRAME W/ CAP FLASHING (CORNERS

-TERMINATION BAR FASTENED TO BOTH

—QUICK BLOCK PLASTIC GAS LINE

2-0" OF CHANGE IN DIRECTION

- 12"X24"X1/2" RIGID INSULATION, AS

REQ'D, BELOW GAS LINE SUPPORT

-QUICK BLOCK PLASTIC GAS LINE

-12"X24"X1/2" RIGID INSULATION, AS

REQ'D, BELOW GAS LINE SUPPORT

CONFIRM WITH MECH. DWGS.

2-0" OF CHANGE IN DIRECTION

SUPPORT PLACED @10'-0"/C & WITHIN

SUPPORT PLACED @10'-0"/C & WITHIN

END DAM DETAIL

W/ ACRYLIC CAULKING, TYP

LOW EXPANSION SPRAYFOAM INSULATION

FILL AROUND STEEL BRACKET, FOR DEPTH

OF EIFS INSULATION. SEAL EXTERIOR FACE

1Y2"X1Y2" 18GO GALV. METAL

STUD W/ SELF TAPPING SCREWS

WINDOW FRAME ATTACHMENT

ANGLE FASTENED TO STEEL

8" O.C & %" PLYWOOD FOR

WRAP PLYWOOD SILL TO EXT. SHEATHING

WITH THRU—WALL MEMBRANE FLASHING

TO AIR/MOISTURE SEAL. PROVIDE MIN. 3"

CONTINUOUS FOAM BACKER-

ROD & SILICONE CAULKING

NEOPRENE GASKET ---

PERIMETER OF WINDOW FRAME

OVERLAPPED JOINTS, TYP

SCALE= N.T.S.

5 1/2"

-GASKET (ALL AROUND COVER)

WINDOW HEAD FLASHING DETAIL

SCHEMATIC ONLY.

CONSTRUCTION.

WARRANTY.

MATERIALS.

— CONTINUOUS 10 MIL POLY VAPOUR

BARRIER @ INTERIOR, TUCK TAPED

@ SEAMS & DEVICE PENETRATIONS

HSS, REFER TO STRUCT. DWG'S

—FOR INFO. CONNECTION TO STEEL

STUD BY STEEL STUD SUPPLIER

-3/4" PLYWOOD FOR WINDOW

FRAME ATTACHMENT (SEE STRUC. DWG'S FOR INFO.)

—DRYVIT AQUA FLASH SYSTEM

-GYPSUM HEAD C/W BACKER

ROD & SILICONE CALUKING @

PERIMETER OF WINDOW FRAME

DEPTH) & PT WOOD SHIMS TO

OF WINDOW FRAME

PRE-FIN. ALUM. THERMAL WINDOW,

C/W NON-EXPANDING FOAM INSUL. @

PERIMETER OF WINDOW FRAME (FULL

FACILITATE INSTALLATION/LEVELUNG

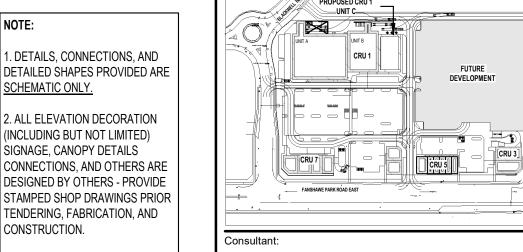
LAPPED @ EXTERIOR & LAPPED W/

VAPOUR BARRIER @ INTERIOR JAMB

. REFER TO ELEVATIONS FOR COLOR, MANUFACTURER AND

. REFER TO WALL ASSEMBLYS

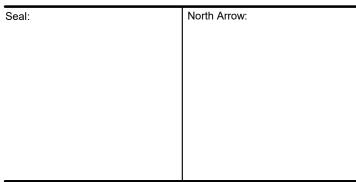
FOR THICKNES AND SIZES OF THE



Consultant:

NGACAKU ARCHITECTURE INC

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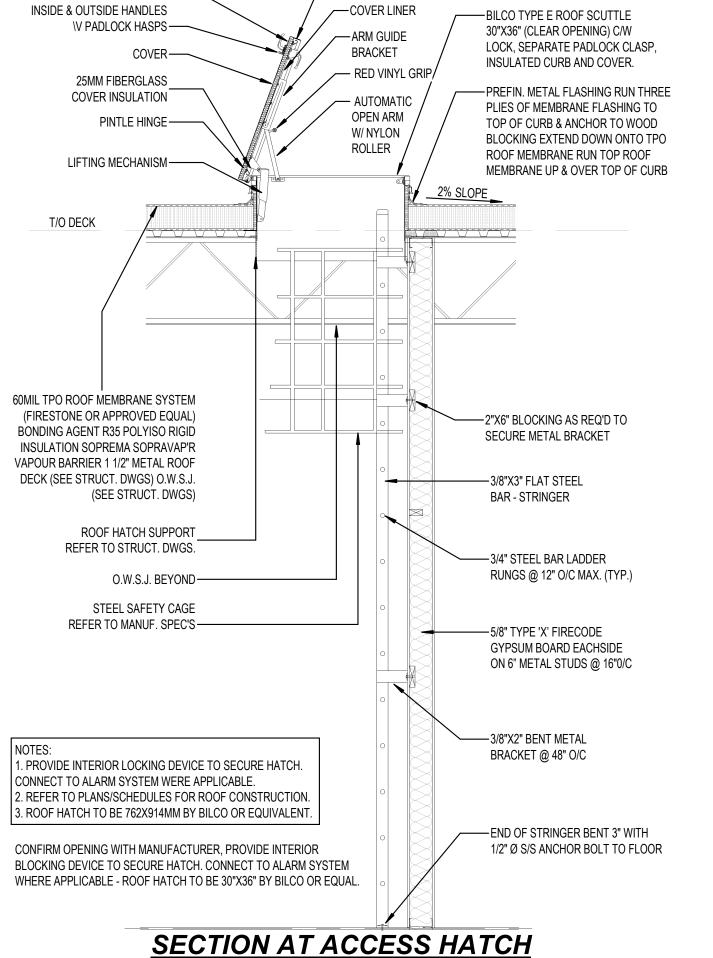
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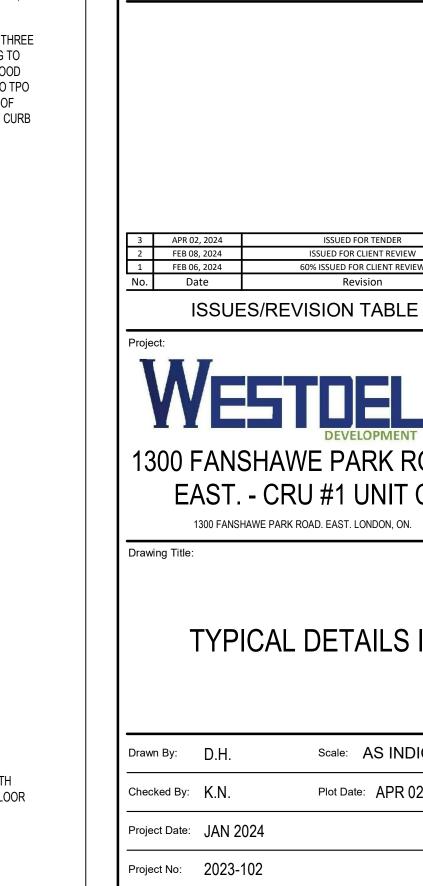
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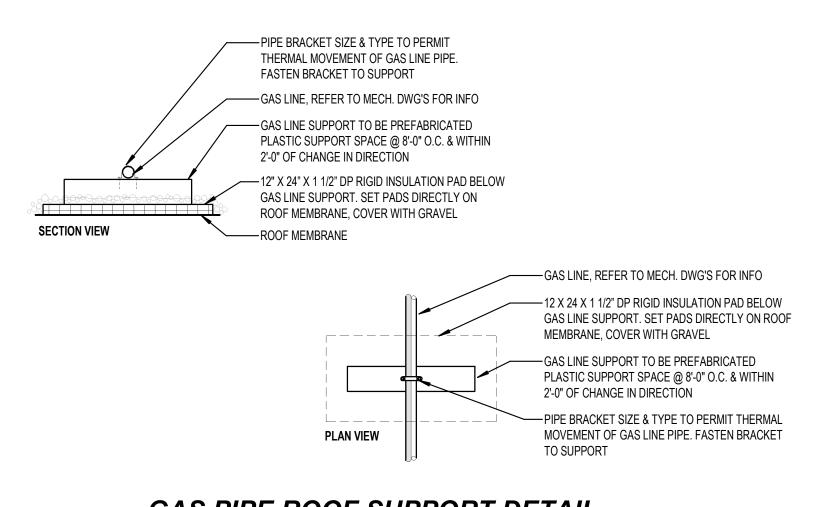
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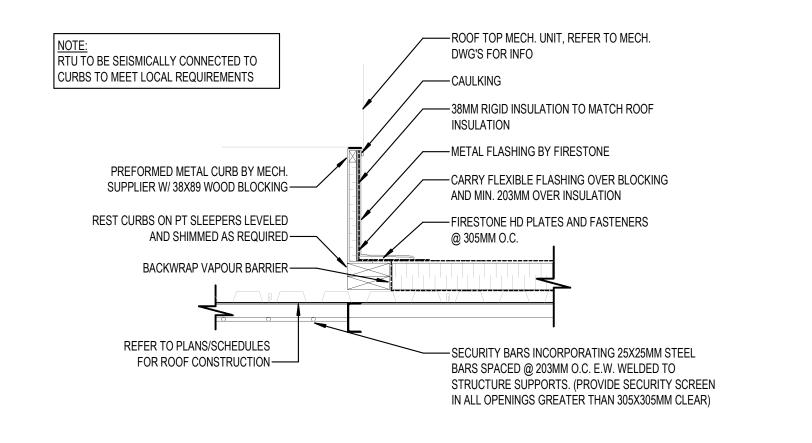


1300 FANSHAWE PARK ROAD. EAST. - CRU #1 UNIT C 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON. TYPICAL DETAILS I Scale: AS INDICATED Plot Date: APR 02, 2024 Project Date: JAN 2024 Project No: 2023-102 Drawing No: Revision



GAS PIPE ROOF SUPPORT DETAIL

SCALE= N.T.S.



MECH. UNIT ROOF CURB DETAIL

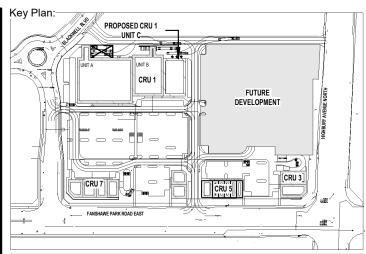
SCALE= N.T.S.

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2. ALL ELEVATION DECORATION (INCLUDING BUT NOT LIMITED) SIGNAGE, CANOPY DETAILS CONNECTIONS, AND OTHERS ARE DESIGNED BY OTHERS - PROVIDE STAMPED SHOP DRAWINGS PRIOR TENDERING, FABRICATION, AND CONSTRUCTION.

3. REFER TO ELEVATIONS FOR COLOR, MANUFACTURER AND WARRANTY.

4. REFER TO WALL ASSEMBLYS FOR THICKNES AND SIZES OF THE MATERIALS.



Consultant:



Consultant:

CS@CREATIVESTR.CA

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2 FEB 08, 2024 1 FEB 06, 2024 No. Date

ISSUES/REVISION TABLE

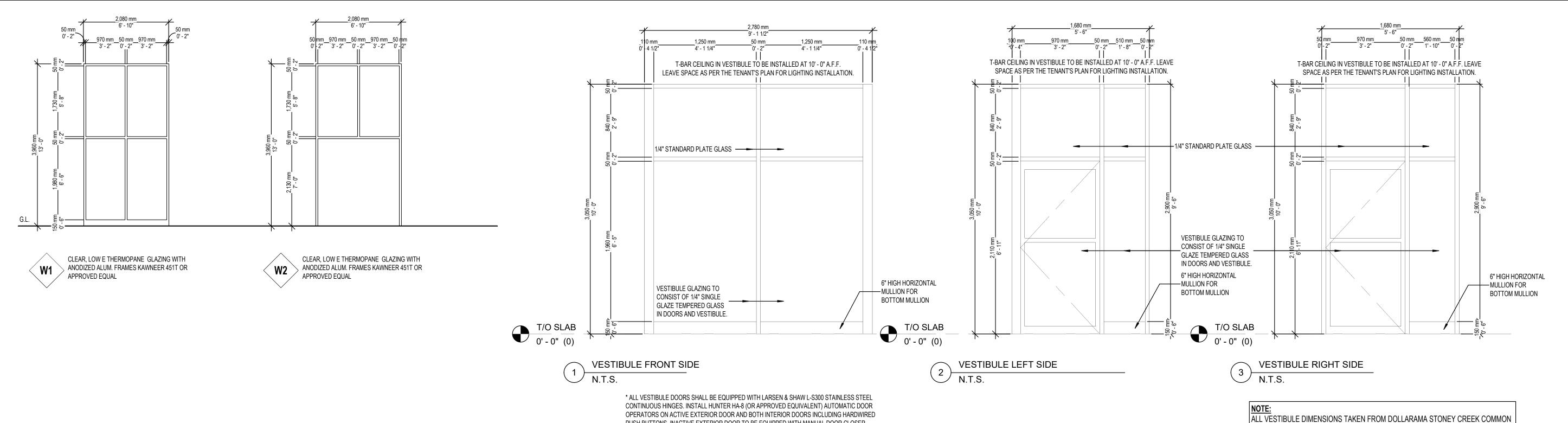
1300 FANSHAWE PARK ROAD.

EAST. - CRU #1 UNIT C 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

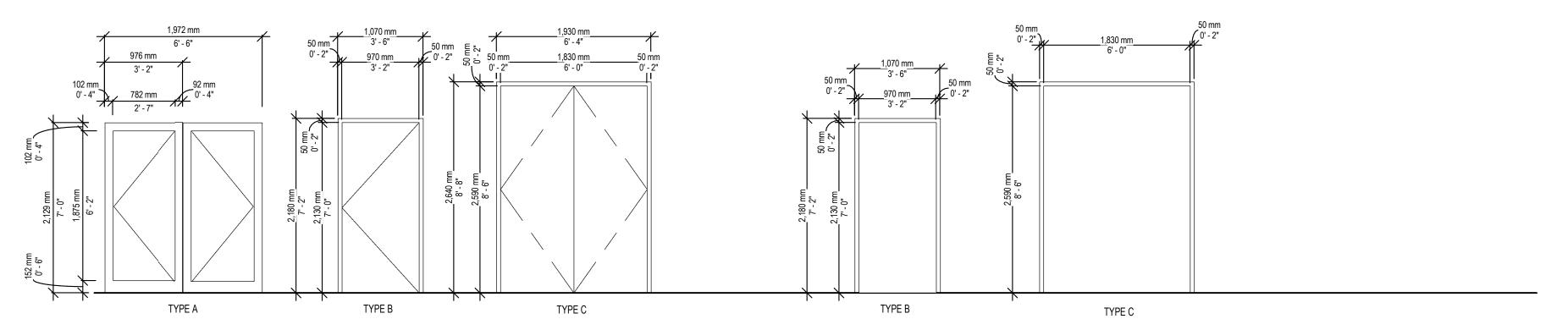
TYPICAL DETAILS II

Drawn By: D.H. Scale: AS INDICATED Plot Date: APR 02, 2024 Checked By: K.N.

Project Date: JAN 2024



PUSH BUTTONS. INACTIVE EXTERIOR DOOR TO BE EQUIPPED WITH MANUAL DOOR CLOSER.



DOOR TYPE

FRAME TYPE

DO	OR SCHEDU	LE																									
	DOOR				FRAME					HARDWARE														REMARKS			
No.	LOCATION	ТҮРЕ	DOOR SIZES	MATERIAL	FINISH	FIRE RATING	GLAZING	ТУРЕ	MATERIAL	FINISH	FIRE RATING	THERMALLY BROKEN	AGE SET LEVER HAN	PRIVACY SET LEVER HANDLE	THUMB TURN	FLUSH BOLT	~	PUSH / PULL	PANIC HARDWARE INSULATED	WEATHER STRIPING	. dITS-N	DOOR SWEEP	뜽ㅣ	PLATE	ELECTROMAGNETIC STRIP	POWER DOOR OPERATOR	
D01-1	MAIN ENTRANCE	А	2 - 3'-3" x 7'-0" x 1 3/4"	ALUM	ANOD		SDG/TEMP	W2	ALUM	ANOD		•		•	•		•	•	• •	•	•	•	•			- •	
D01-2	FRONT FACADE	В	3'-2" x 7'-0" x 1 3/4"	H.M.	PRIME/ PAINT			В	H.M.	PRIME/ PAINT				•	•		•		•	•	•	•	•				TO BE PAINTED BENJAMIN MOORE, RAIN FOREST FOLIAGE 2040-10 ALKYD, HIGH GLOSS. TO BE CONFRIMED BY TENANT HARDWARE TO BE CONFIRMED BY TENANT - REFER TO TENANT FIT-UP DRAWING
D01-4	LOADING DOOR	С	2 - 3'-0" x 8'-6" x 1 3/4"	H.M.	PRIME/ PAINT		-	С	H.M.	PRIME/ PAINT				•	•		•		• •	•	•	•	•	-	-		TO BE PAINTED BENJAMIN MOORE, RAIN FOREST FOLIAGE 2040-10 ALKYD, HIGH GLOSS. TO BE CONFRIMED BY TENANT HARDWARE - REFER TO BELOW TENANT REQUIREMENTS

D01-1 MAIN ENTRANCE REQUIREMENTS:

SHALL HAVE ALUMINUM THRESHOLDS, WEATHER STRIPPING, EXTERIOR KEYED LOCK AND CODE-COMPLIANT INTERIOR

<u>D01-1 / VESTIBULE DOORS REQUIREMENTS:</u>

INSTALL HUNTER HA-8 (OR APPROVED EQUIVALENT) AUTOMATIC DOOR OPERATORS ON ACTIVE EXTERIOR DOOR AND BOTH INTERIOR DOORS INCLUDING HARDWIRED PUSH BUTTONS. INACTIVE EXTERIOR DOOR TO BE EQUIPPED WITH MANUAL DOOR CLOSER.

D01-4 LOADING DOOR REQUIREMENTS: PROVIDE 8' 6" HIGH x 6' WIDE - INACTIVE DOOR TO BE 8' 6" x 3' AND EQUIPPED WITH FLUSHBOLT OR A SURFACE BOLT ON THE BOTTOM AND A PULL CHAIN SURFACE BOLT ON THE TOP. THE ACTIVE DOOR IS TO BE 8 '6" x 3' AND EQUIPPED WITH AN ASTRAGAL, A REVOLVING DOOR VIEWER INSTALLED AT 5' A.F.F. (PEEPHOLE MODEL PEEK-O REVOLVING DOOR VIEWERS, 595 x US-3 OR EQUIVALENT), PANIC BAR, AND A 6" LONG METAL PULL HANDLE SURFACE MOUNTED ABOVE THE PANIC BAR ON THE INTERIOR SIDE OF DOOR. BOTH DOORS ARE TO BE WEATHER-STRIPPED, INCLUDING NEOPRENE DOOR SWEEPS, AND HAVE A 1/4" THICK ALUMINUM CHECKERPLATE THRESHOLD MEASURING 14" DEPTH x 72" WIDTH. NO HARDWARE IS TO BE EXPOSED TO THE EXTERIOR (INCLUDING LOCKING CYLINDERS). EXTERIOR DOORS SHALL OPEN 180 DEGREES OUT FROM THE STORE WITH STAINLESS STEEL WALL MOUNTED HOOK EYELET DOOR STOPS (SUPPLIED BY RICHELLEU; ITEM# 476175) TO HOLD DOORS OPEN.

GENERAL WINDOW NOTES

- WINDOW SUPPLIER SHALL SITE MEASURE ALL OPENINGS % REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO WINDOW
- OPENINGS DIMENSIONED ON FLOOR PLANS, SECTIONS, DETAILS & WINDOW SCHEDULE ARE NOMINAL.
- WINDOW SUPPLIER SHALL PROVIDE PREFINISHED ALUMINUM CLOSURE TRIM TO SUIT OPENINGS AS REQUIRED. COLOUR OF TRIM TO MATCH COLOUR OF WINDOW FRAMES.
- PROVIDE CAULKING AROUND ALUMINUM WINDOW FRAMES INSIDE & OUT. CAULKING COLOUR TO MATCH COLOUR OF FRAMES.
- LOW E GLAZING TO MEET ALL REQUIREMENTS FOR ENERGY EFFICIENCY OF SB-10, ASHRAE 9.01.
- WINDOW FRAME FINISH & GLASS TINT TO BE CONFIRMED BY OWNER PRIOR TO ORDERING.

SUBMIT SHOP DRAWINGS AS REQUIRED BY THIS WORK, THE CONSULTANTS OR BY AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR SHALL CHECK, SIGN AND MAKE NOTATIONS HE CONSIDERS NECESSARY ON SHOP DRAWINGS BEFORE EACH SUBMISSION TO CONSULTANTS. SHOP DRAWING REVIEW BY CONSULTANTS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT AND IS A PRECAUTION AGAINST OVERSIGHT OR ERROR. THIS REVIEW SHALL NOT MEAN THAT THE CONSULTANT APPROVES THE DETAIL DESIGN INHERENT IN THE SHOP DRAWINGS. RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS, OMISSIONS OR MEETING ALL THE REQUIREMENTS OF THIS CONTRACT.

GL: DENOTES GLAZING

PROPOSED FLOOR PLAN BY SCOLER LEE BORENSTEIN + ASSOCIATES

NO. SK-2C. ALL DIMENSIONS TO BE CONFIRMED BY TENANT.

ARCHITECTS INC. DATED 06 MARCH 2024 ISSUED FOR CLEINT REVIEW SCHEME

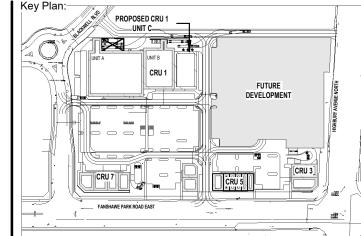
- SP: DENOTES GLASS SPANDREL
- AC: DENOTES PREFIN. ALUM. CLOSURE FINISH TO MATCH WINDOW FRAME.

GENERAL DOOR NOTES

- 1. DOOR & FRAME SUPPLIER (HOLLOW METAL & ALUMINUM) SHALL PROVIDE ALL REQUIRED CLOSURE TRIM FOR ALL EXTERIOR FRAMES TO SUIT CORRESPONDING OPENINGS.
- PROVIDE WEATHERSTRIPPING TO ALL EXTERIOR & FIRE RATED
- EXTERIOR HOLLOW METAL DOORS & FRAMES TO BE 18g AND HAVE G90 GALVANIZED FINISH OR APPROVED EQUAL. PROVIDE CAULKING AROUND ALL EXTERIOR HOLLOW METAL &
- MATCH COLOUR OF FRAMES. ALL COLOURS TO BE CHOSEN BY OWNER. ALUMINUM DOOR SUPPLIER SHALL PROVIDE REQUIRED HARDWARE
- AS LISTED ON THE DOOR SCHEDULE FOR ALUMINUM DOORS. EXTERIOR AND INTERIOR DOOR SUPPLIERS SHALL SITE MEASURE

ALUMINUM DOOR FRAMES INSIDE & OUT. CAULKING COLOUR TO

- AND CONFIRM OPENINGS PRIOR TO FABRICATION AND INSTALLATION.
- CONTRACTOR MUST CONFIRM ALL DOOR TYPES, MATERIAL & FINISHES WITH OWNER PRIOR TO CONSTRUCTION.
- GLASS IN ALL DOORS SHALL BE 1/4" CLEAR TEMPERED OR LAMINATED
- SAFETY GLASS. ALL HARDWARE TO BE MEDIDM DOTY, COMMERCIAL GRADE.
- DOOR CLOSER TO BE MOUNTED ON DOOR FRAME. PROVIDE 3 KEYS PER LOCKSET.
- BARRIER FREE DOOR ACCESS PADDLES MOUNTED ON WINDOW OR DOORS MULLIONS ARE TO BE REMOTELY CONNECTED TO DOOR OPERATOR B/F DOOR PADDLE MOUNTED ON INTERIOR WALL TO BE
- FLUSH MOUNTED IN WALL & HARDWIRED TO DOOR OPERATOR. 14. ALL HARDWARE TO BE SUPPLIED WITH ALL REQUIRED ACCESSORIES.

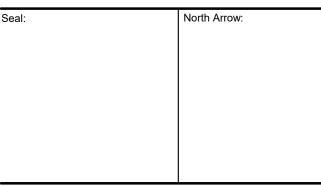


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APR 02, 2024	ISSUED FOR TENDER
FEB 08, 2024	ISSUED FOR CLIENT REVIEW
FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW
Date	Revision

ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD.

EAST. - CRU #1 UNIT C

1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

DOOR & WINDOW SCHEDULE

	Drawn By:	D.H.	Scale: AS INDICATED
	Checked By:	K.N.	Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102 Drawing No: