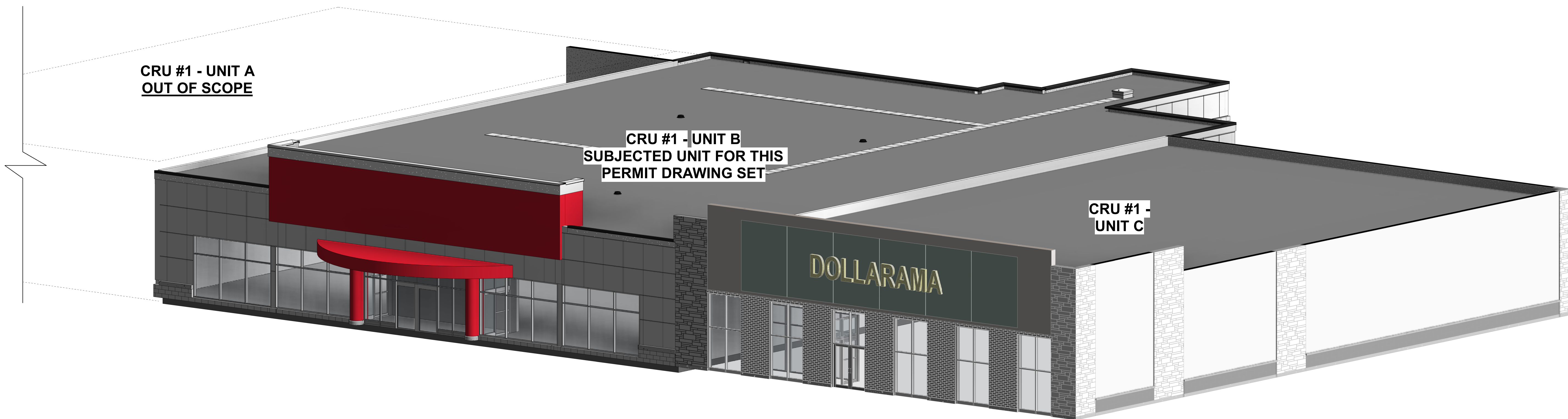


1300 FANSHAWE PARK ROAD. EAST. - CRU #1-UNIT B ARCHITECTURAL DRAWINGS PROJECT #2023-102

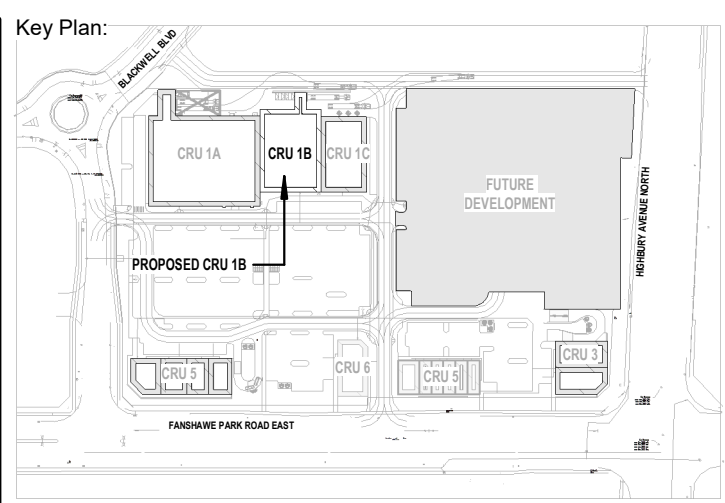
1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.



3D PERSPECTIVE VIEW

SCALE = N.T.S.

SCHEMATIC ONLY - NOT FOR CONSTRUCTION



Consultant:



CS@CREATIVESTR.CA

Consultant:



Seal:

North Arrow:

General Notes:
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4	APR 02, 2024	ISSUED FOR TENDER
3	MAR 30, 2024	ISSUED FOR COORDINATION
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

Project:
WESTDELL
DEVELOPMENT CORP
1300 FANSHAWE PARK ROAD.
EAST. - CRU #1-UNIT B
1300 FANSHAWE PARK ROAD, EAST, LONDON, ON.

Drawing Title:

COVER SHEET

Drawn By: D.H. Scale: AS INDICATED

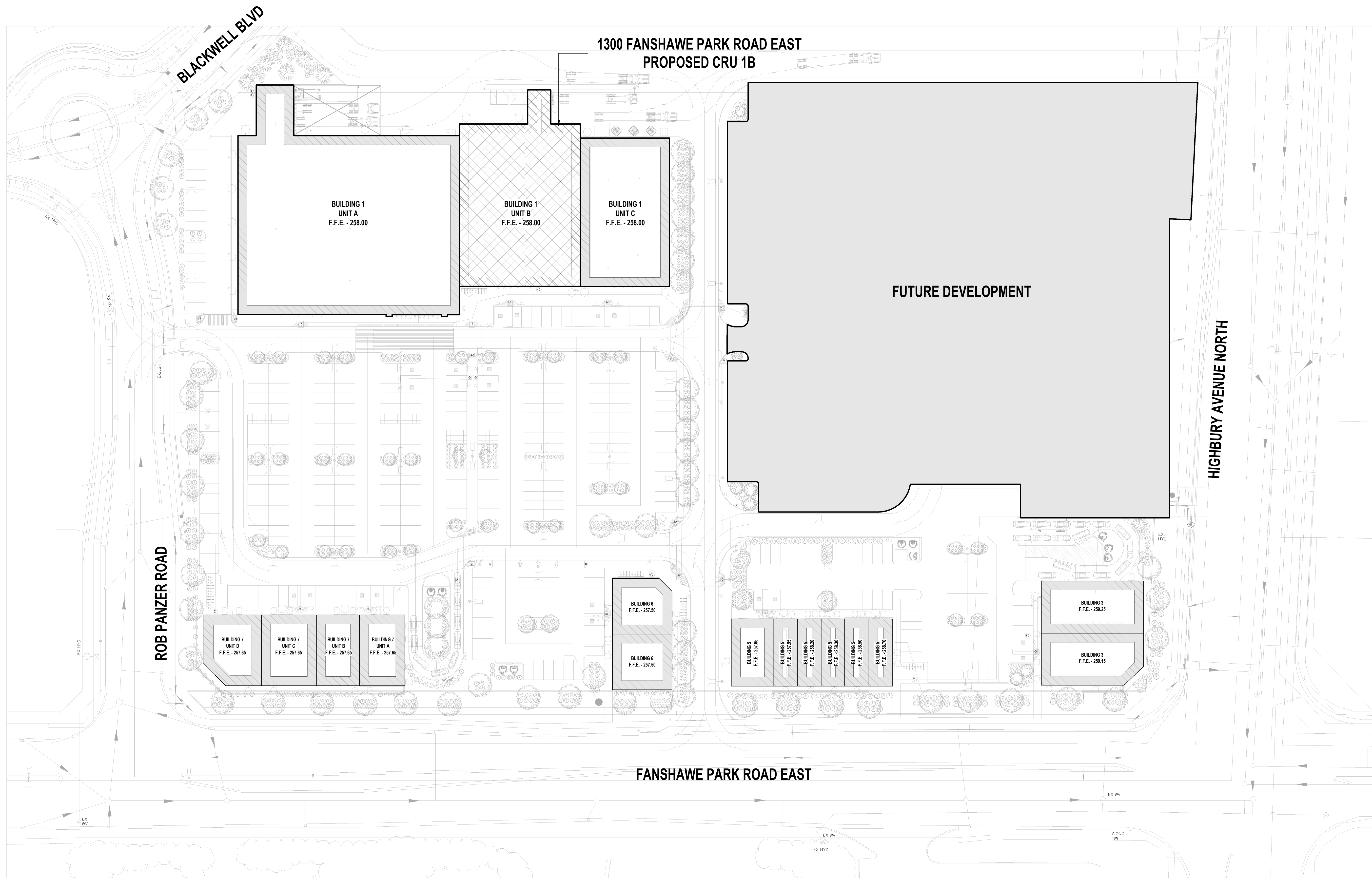
Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: Revision

A-0.0 | **4**



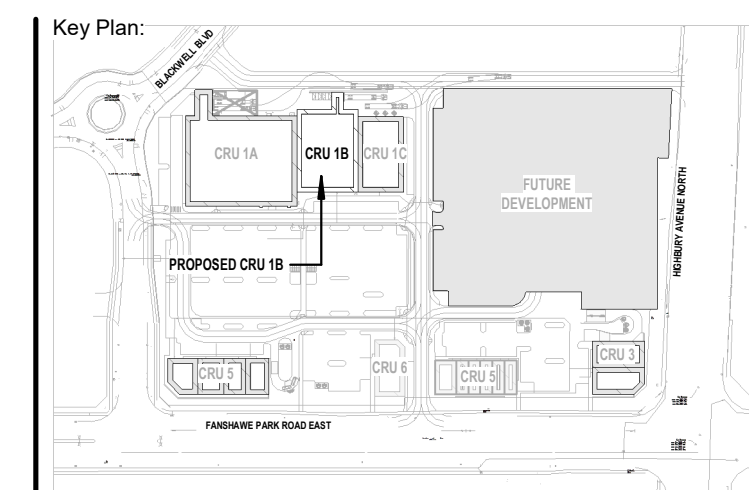
SITE PLAN

SCALE: 1 : 500

REFERENCES - SITE PLAN INFORMATION

- SITE PLAN INFORMATION TAKEN FROM SITE PLAN, LEGEND, ZONING CHART ISSUED ON NOV 02, 2023
- SITE PLAN PREPARED BY SBM DATED FEBRUARY 14, 2024

REFERENCED SITE PLAN REFER TO SITE PLAN BY OTHERS FOR INFORMATION REVIEW



Consultant:

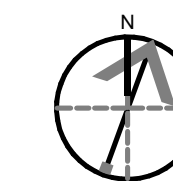


Consultant:



Seal:

North Arrow:



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4	APR 02, 2024	ISSUED FOR TENDER
3	MAR 30, 2024	ISSUED FOR COORDINATION
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW
No.	Date	Revision

ISSUES/REVISION TABLE

Project:



1300 FANSHAW PARK ROAD, EAST. - CRU #1-UNIT B

1300 FANSHAW PARK ROAD, EAST, LONDON, ON

Drawing Title:

SITE PLAN

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: Revision

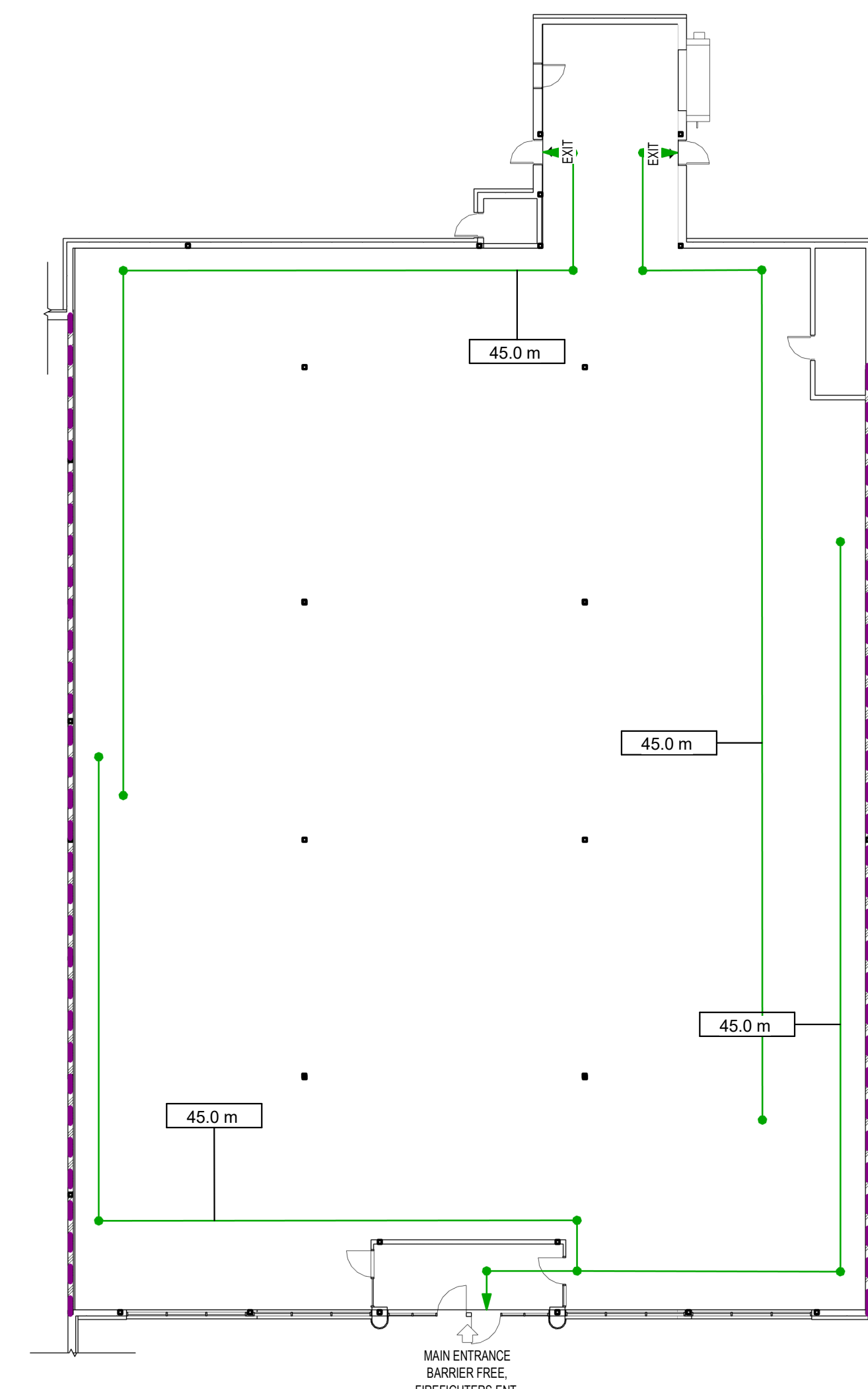
A-0.1 4

WALL ASSEMBLIES SCHEDULE GENERAL NOTES

- FIRESTOP CAULKING TO SEAL JOINTS WHERE GYPSUM BOARD PARTITION ABUTTS FLOOR, U/S OF STRUCTURE, CONCRETE MASONRY UNIT (CMU) AND ALL PENETRATIONS THRU FIRE SEPARATIONS. TYP.
- REFER TO FLOOR PLANS FOR LOCATION OF WALLS BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- CONFIRM WALL THICKNESS WITH STRUCTURAL DRAWINGS.
- INTERIOR DRYWALL TO BE TAPED, SANDED AND MADE READY TO RECEIVE TENANT FINISH
- EGGSHELL SHEEN ON WALLS, SEMI-GLOSS IN KITCHENS ABOVE COUNTER, BATHROOM WALLS, AND DOORS/FRAMES; FLAT SHEEN CEILING.
- REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL CONCRETE WALL TYPES, MATERIALS, THICKNESS. TYP. MAX 2" THICK LIFT OF SPRAYFOAM INSULATION PER PASS.
- CONC. BLOCK TOP LATERAL SUPPORT METAL CLIP ANGLES REQUIRED. REFER TO STRUCTURAL DWGS., TYP.
- PROVIDE SAME THICKNESS WATER RESISTANT GYPSUM BOARD BEHIND & BESIDE WATER FIXTURES TYP.
- ALL PARTITIONS SHALL BE PROVIDED WITH LATERAL STABILITY/CROSS BRACING AT TOPS OF FRAMING FOR LATERAL SECUREMENT.
- PAINT ALL STEEL EXPOSED TO VIEW. NEW STRUCTURAL STEEL SHALL BE PRIMED AND PAINTED.
- PROVIDE TILE BACKER BOARD BEHIND ALL WALL TILE.
- PROVIDE ADEQUATE BLOCKING IN WALLS/PARTITIONS TO SUPPORT/SECURE ALL ITEMS FIXED TO WALL. TYP. UNLESS OTHERWISE NOTED. ALL PARTITIONS SHALL BE CONSTRUCTED UP TO U/S STRUCTURE ABOVE. FOLLOW TYP. DETAIL FOR FIRE RATED PARTITION FINISHING.
- REFER TO GEOTECHNICAL REPORT FOR ALL EARTH MOISTURE BEARING AND METHANE GAS PROTECTION DESIGN. RELATED INFORMATION THAT MAY AFFECT BUILDING ASSEMBLIES AND CONSTRUCTION PROCESSES. TYP.
- REFER TO GEOTECHNICAL REPORT FOR ALL GROUND WATER CONTROL AND WEEP TILE @ FOOTINGS RECOMMENDATIONS.

FLOOR/ROOF ASSEMBLIES SCHEDULE GENERAL NOTES

- REFER TO SECTIONS FOR LOCATION OF FLOOR/ROOF BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- CONFIRM FLOOR/ROOF THICKNESS WITH STRUCTURAL DRAWINGS, REPORT ANY DISCREPANCIES TO THE ARCHITECT (IF REQUIRED).



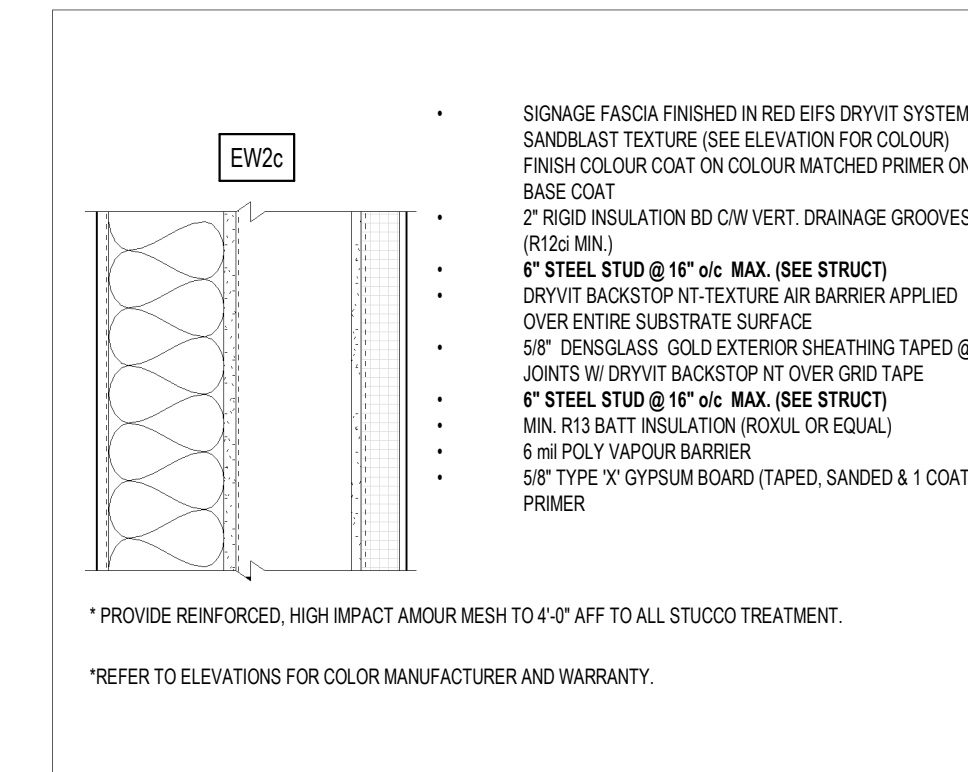
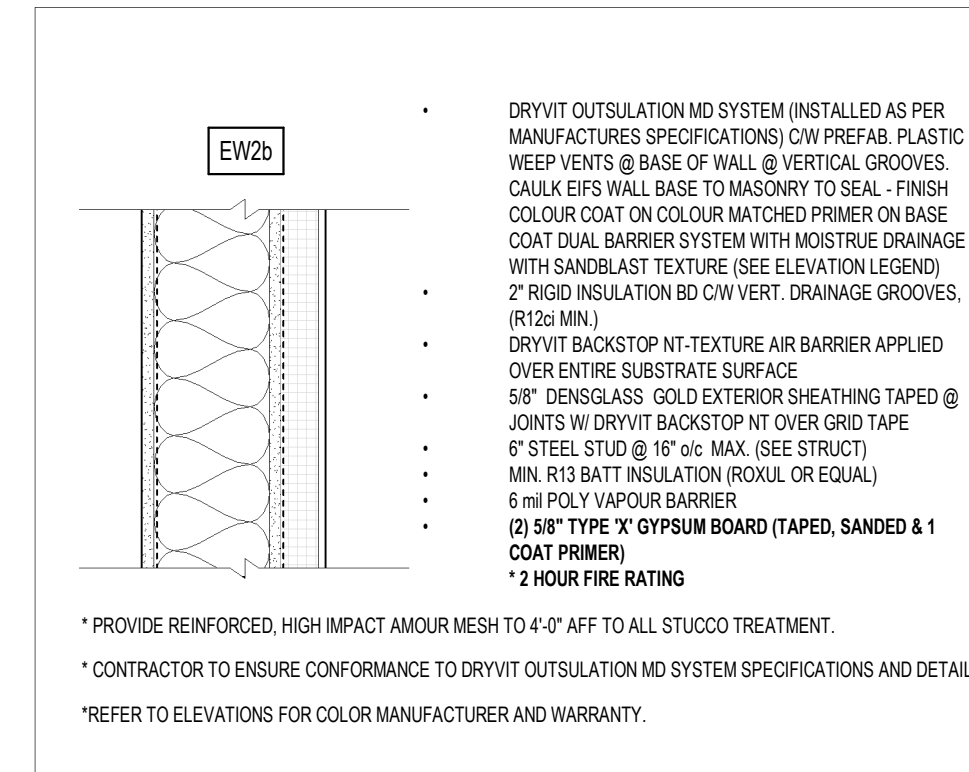
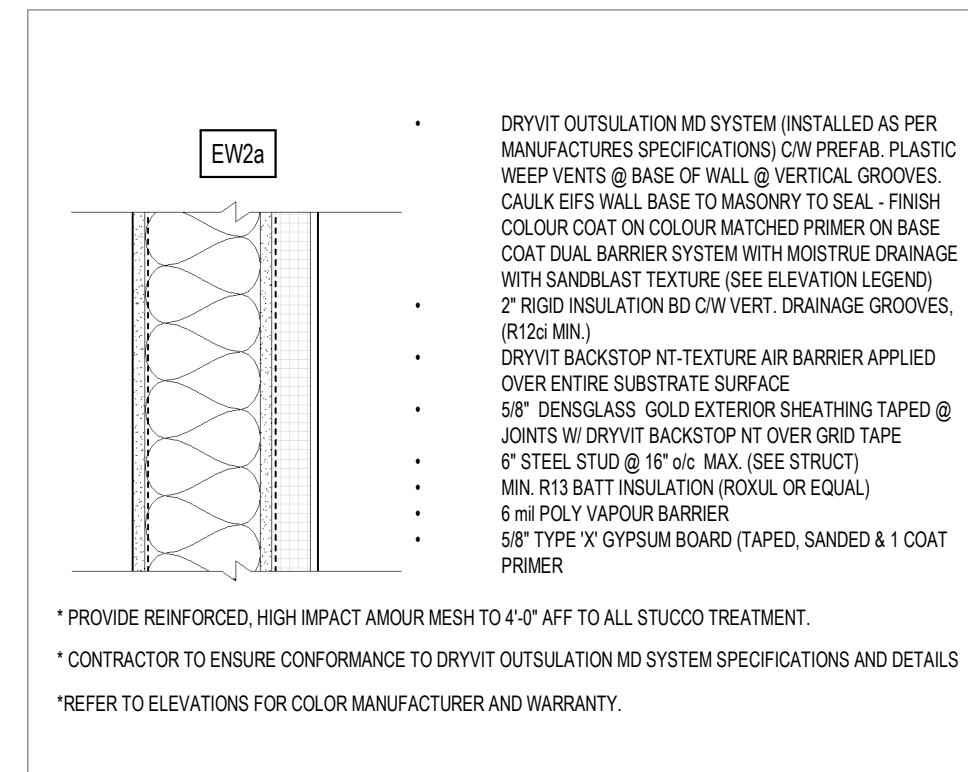
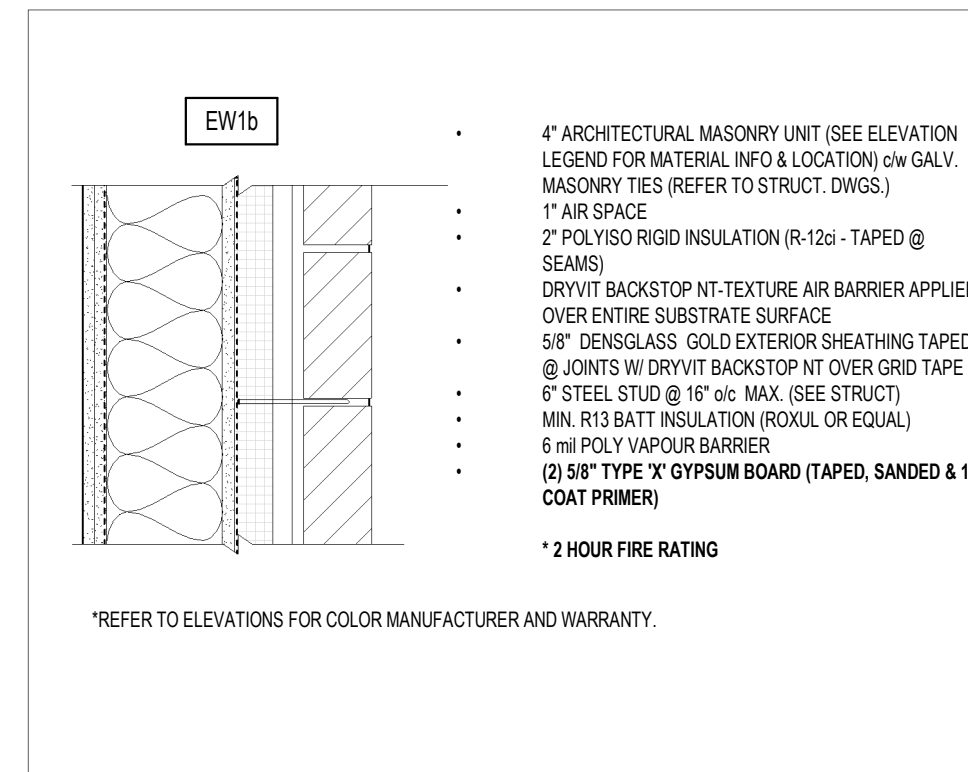
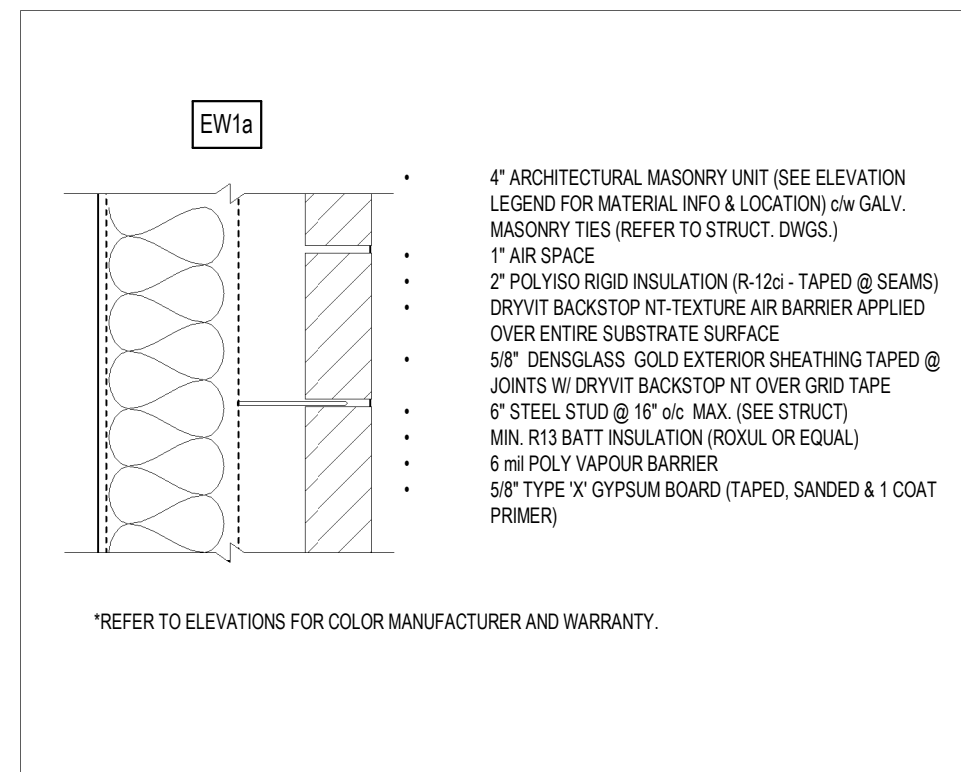
LIFE SAFETY PLAN

SCALE: 1 : 200

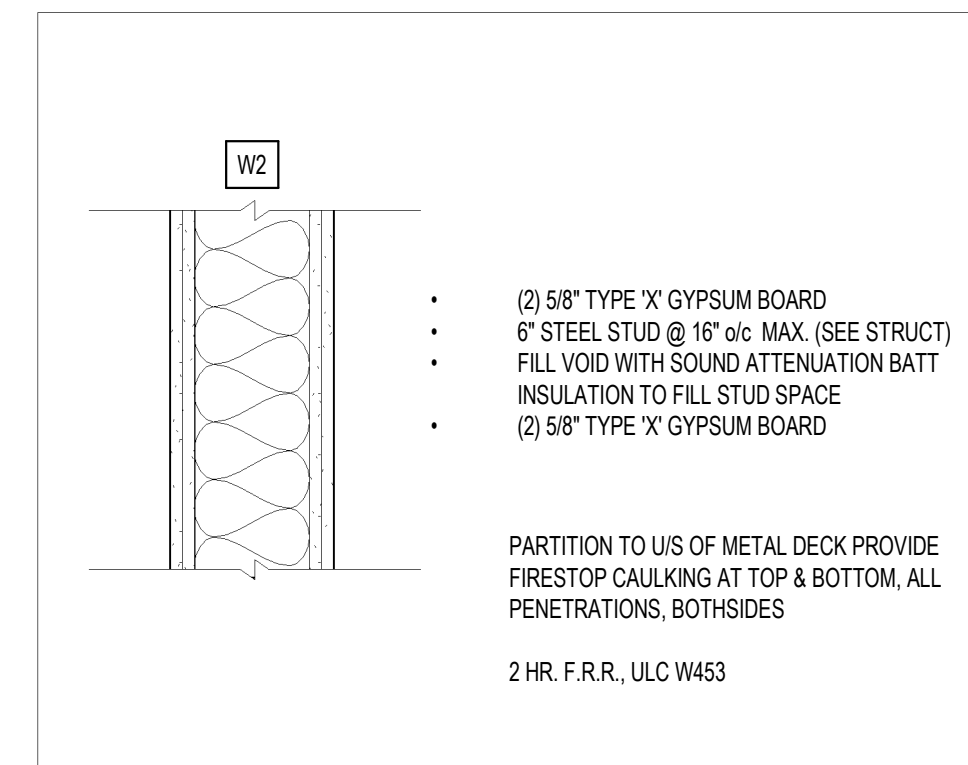
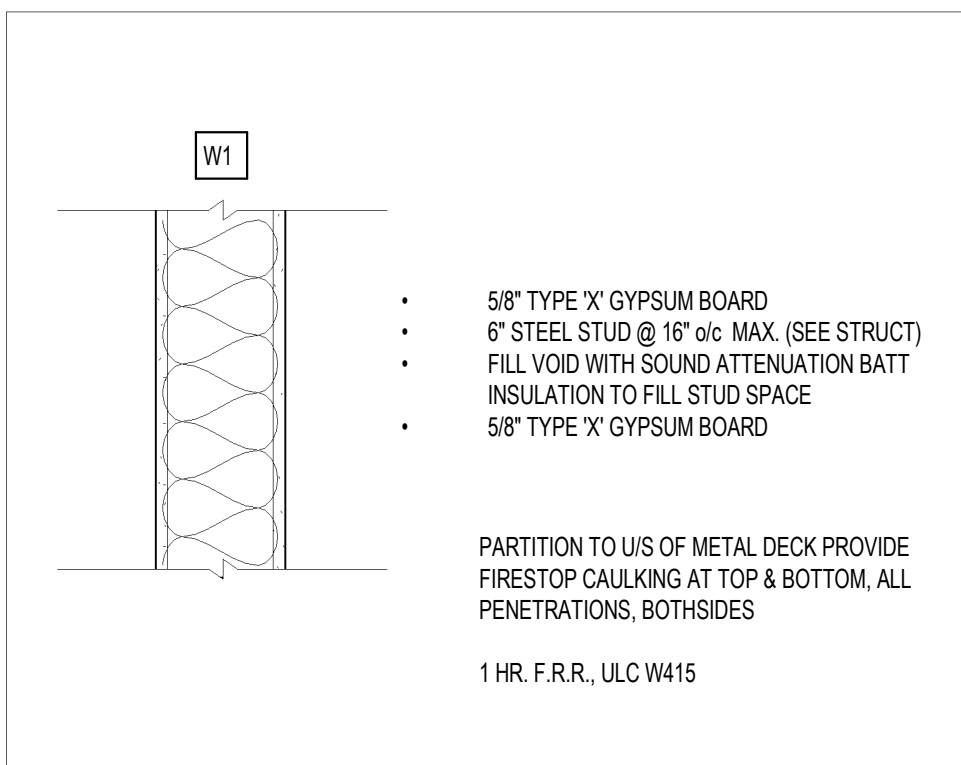
LIFE SAFETY LEGEND

- PATH OF TRAVEL
- 1HR FIRE RATED WALL
- 2HR FIRE RATED WALL
- EXIT SIGN W/ EMERGENCY LIGHT

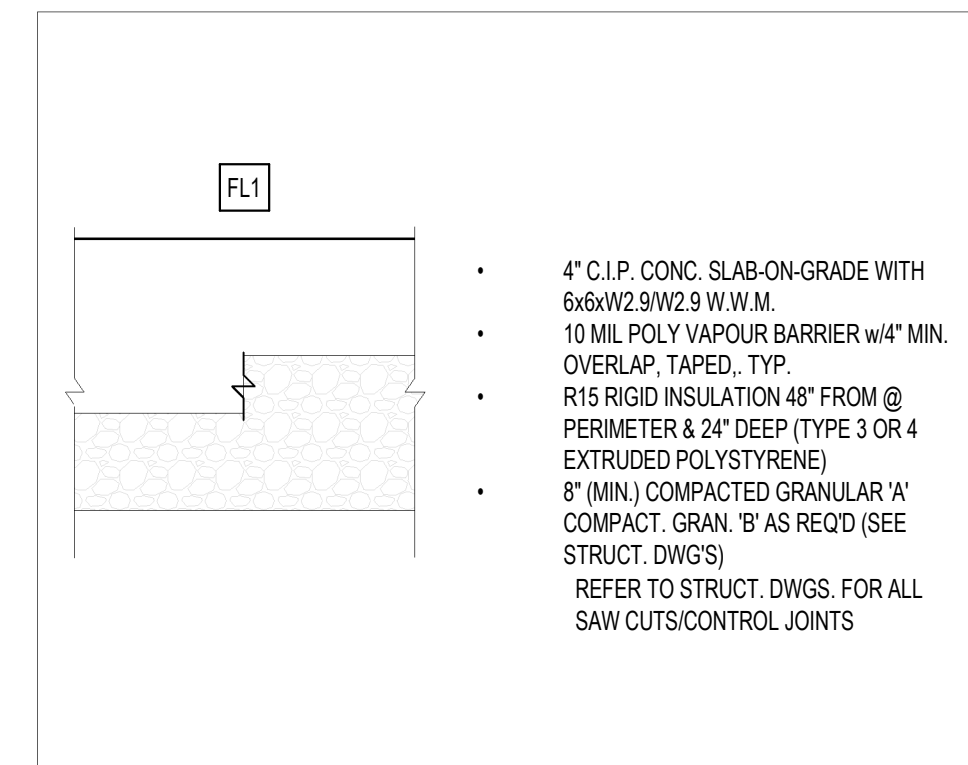
EXTERIOR WALLS TYPE SCHEDULE



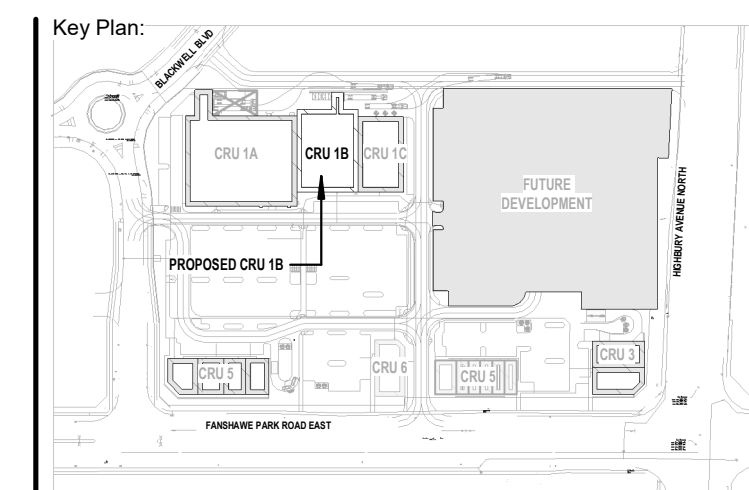
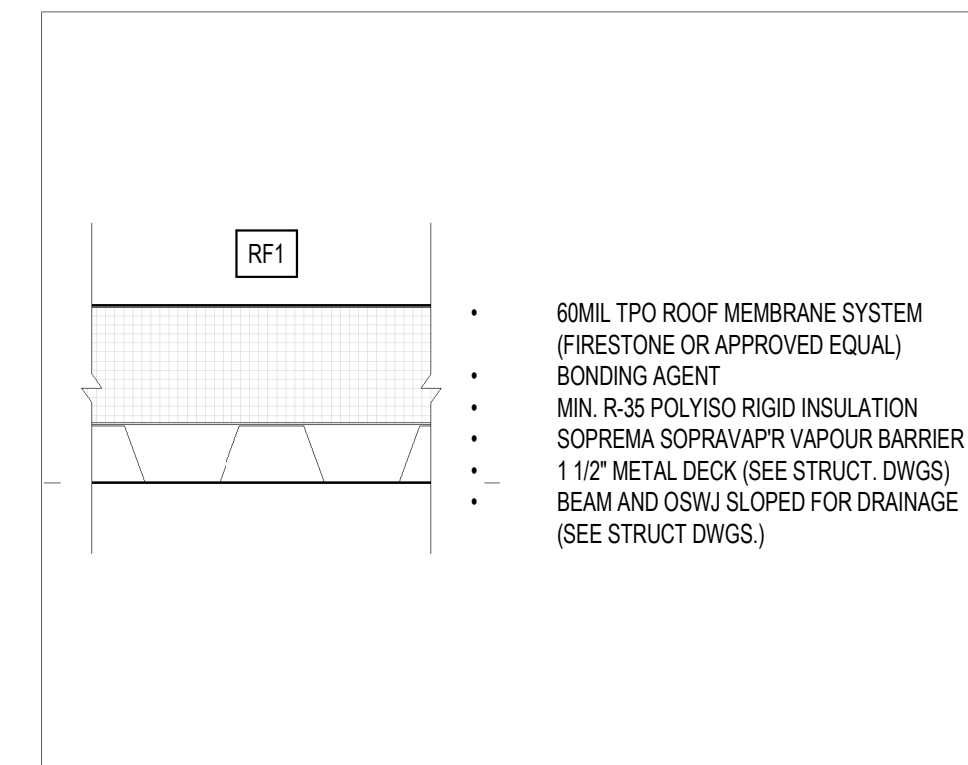
INTERIOR WALLS TYPE SCHEDULE



FLOOR TYPE SCHEDULE



ROOF TYPE SCHEDULE



Consultant:



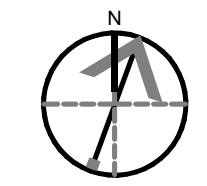
CS@CREATIVESTR.CA

Consultant:



Seal:

North Arrow:



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No.	Date	Revision
4	APR 02, 2024	ISSUED FOR TENDER
3	MAR 30, 2024	ISSUED FOR COORDINATION

ISSUES/REVISION TABLE

Project:

WESTDELL
DEVELOPMENT CORP

1300 FANSHAWE PARK ROAD, EAST. - CRU #1-UNIT B

1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

Drawing Title:

ASSEMBLY TYPES

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: Revision

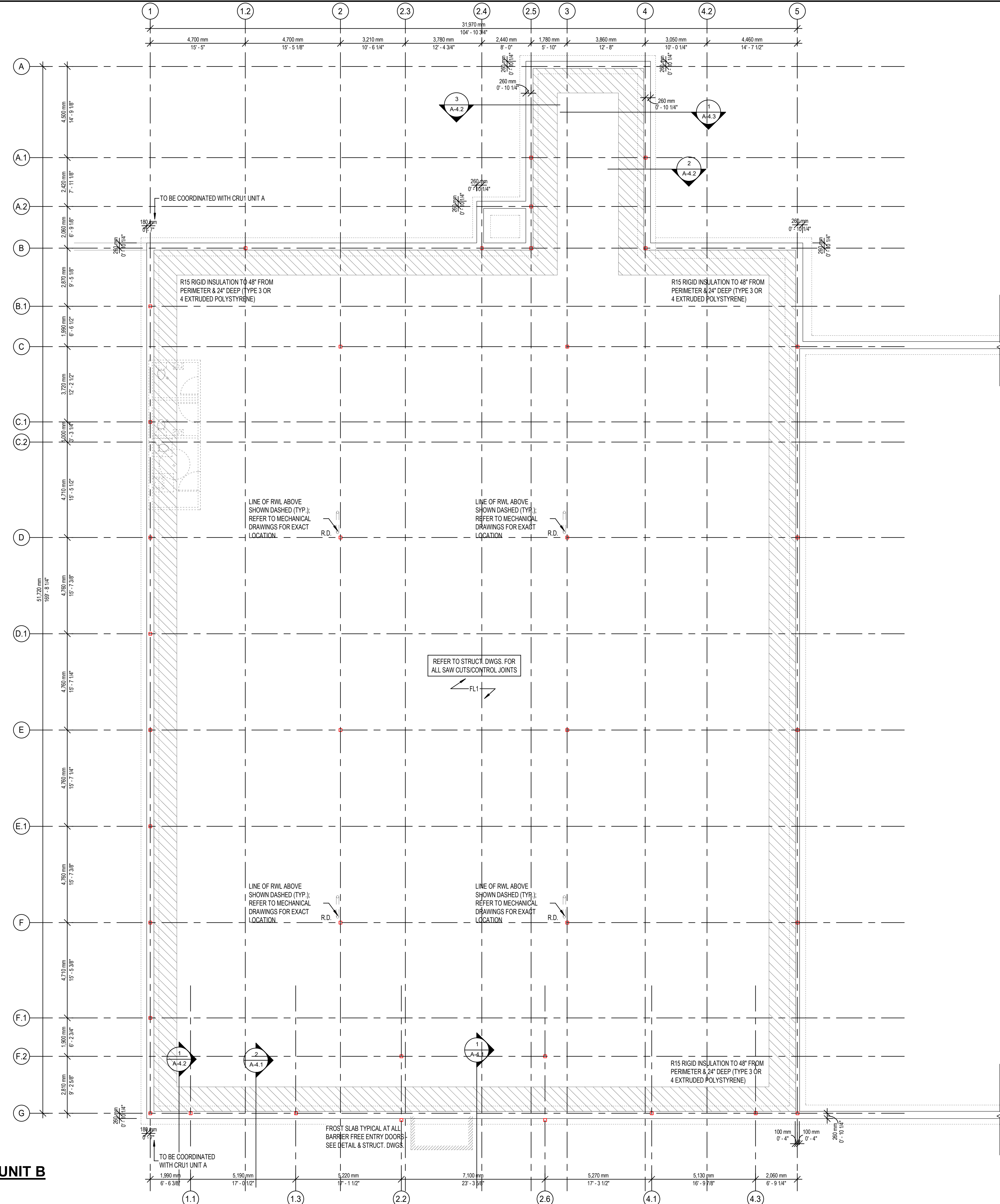
A-1.1 **4**

NOTE: REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.

100mm (4") CONCRETE SLAB-ON-GRADE WITH 6x6xW2.9/W2.9 W.W.M ON, 10MIL POLY VAPOUR BARRIER WITH 4" MIN. OVERLAP, TAPED R15 RIGID INSULATION TO 48" FROM PERIMETER & 24" DEEP (TYPE 3 OR 4 EXTRUDED POLYSTYRENE) ON 8" COMPACT GRAN. 'A' COMPACT GRAN. 'B' AS REQ'D (SEE STRUCT. DWGS)

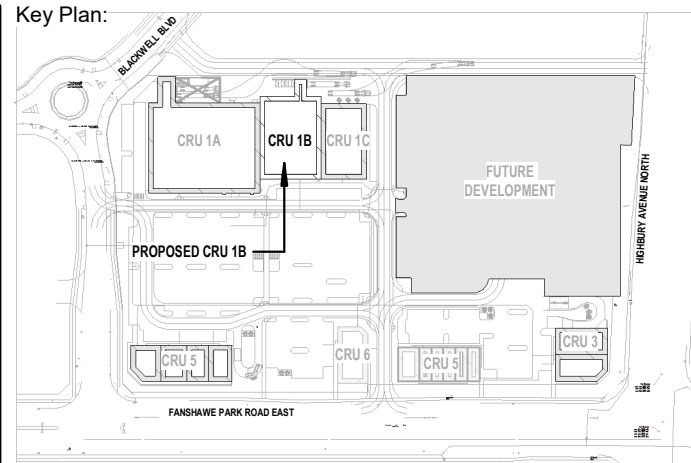
REFER TO STRUCT. DWGS. FOR ALL SAW CUTS/CONTROL JOINTS, COLUMN, BEAM SIZING, AND LOCATION & SIZING OF ALL CROSS BRACING.

- NOTE:
- TOP OF SLAB-ON-GRADE IS AT 0'-0" (257.65 GEODETIC - TO BE CONFIRMED ON SITE REFER TO SITE PLAN BY SBM DATED NOV 11, 2023).
 - REFER TO STRUCT. DWGS. FOR COLUMN & FOUNDATION INFORMATION.
 - ALL COLUMN BASE PLATES TO BE 200mm (8") BELOW TOP OF FLOOR ELEVATION UNLESS OTHERWISE NOTED ON STRUCT. DWGS.
 - EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE.
 - CONCRETE CONTRACTOR TO COORDINATE WITH ALL TRADES THE LOCATION OF ALL PIPE SLEEVES THROUGH FOUNDATION WALLS. PIPE SLEEVES MAY NOT BE PLACED WITHIN FOOTINGS. FOUNDATION MUST BE STEPPED DOWN TO ACCOMMODATE ELEVATION OF PIPE SLEEVES.
 - FOR REQUIREMENTS & SPECIFIC CONDITIONS FOR THIS SITE, REFER TO SOIL REPORT.
 - ALL FOUNDATION WORKS INCLUDING EXCAVATION, BACKFILL & COMPACTION SHALL CONFORM TO RECOMMENDATIONS FROM THE SOIL REPORT.
 - SOIL CONDITIONS & BEARING CAPACITY MUST BE APPROVED BY GEOTECH. ENGINEER



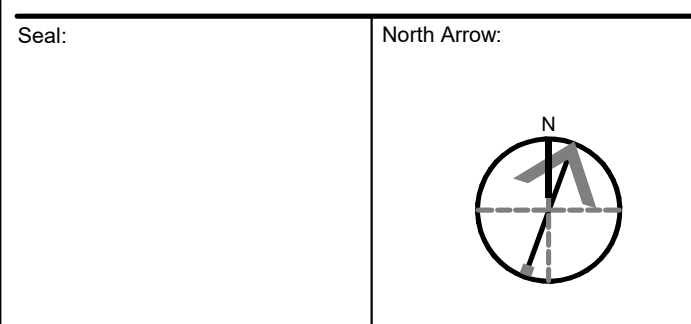
FOUNDATION PLAN - UNIT B
SCALE: 1 : 100

NOTE:
TO BE READ IN CONJUNCTION WITH THE STRUCTURAL FOUNDATION PLAN. REFER TO STRUCTURAL DWGS. FOR ALL REINFORCING, FOUNDATION WALL & PIERS SIZES & US OF FOOTING ELEVATIONS.



Consultant:
CREATIVE STRUCTURES
CS@CREATIVESTR.CA

Consultant:
NGACAKU ARCHITECTURE INC



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4	APR 02, 2024	ISSUED FOR TENDER
3	MAR 30, 2024	ISSUED FOR COORDINATION
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

Project:
WESTDELL DEVELOPMENT CORP
1300 FANSHAWE PARK ROAD, EAST. - CRU #1-UNIT B
1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

Drawing Title:

FOUNDATION PLAN

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

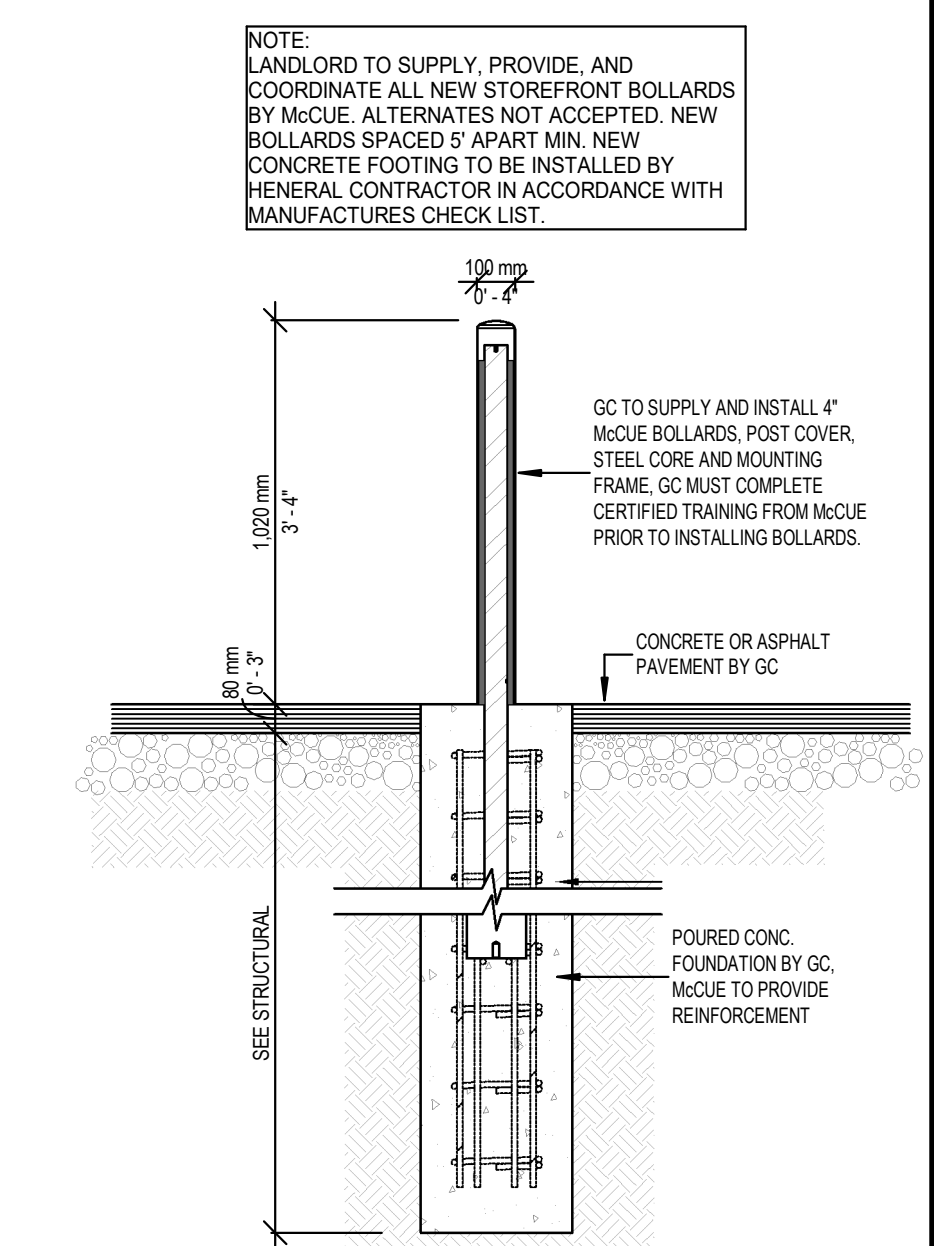
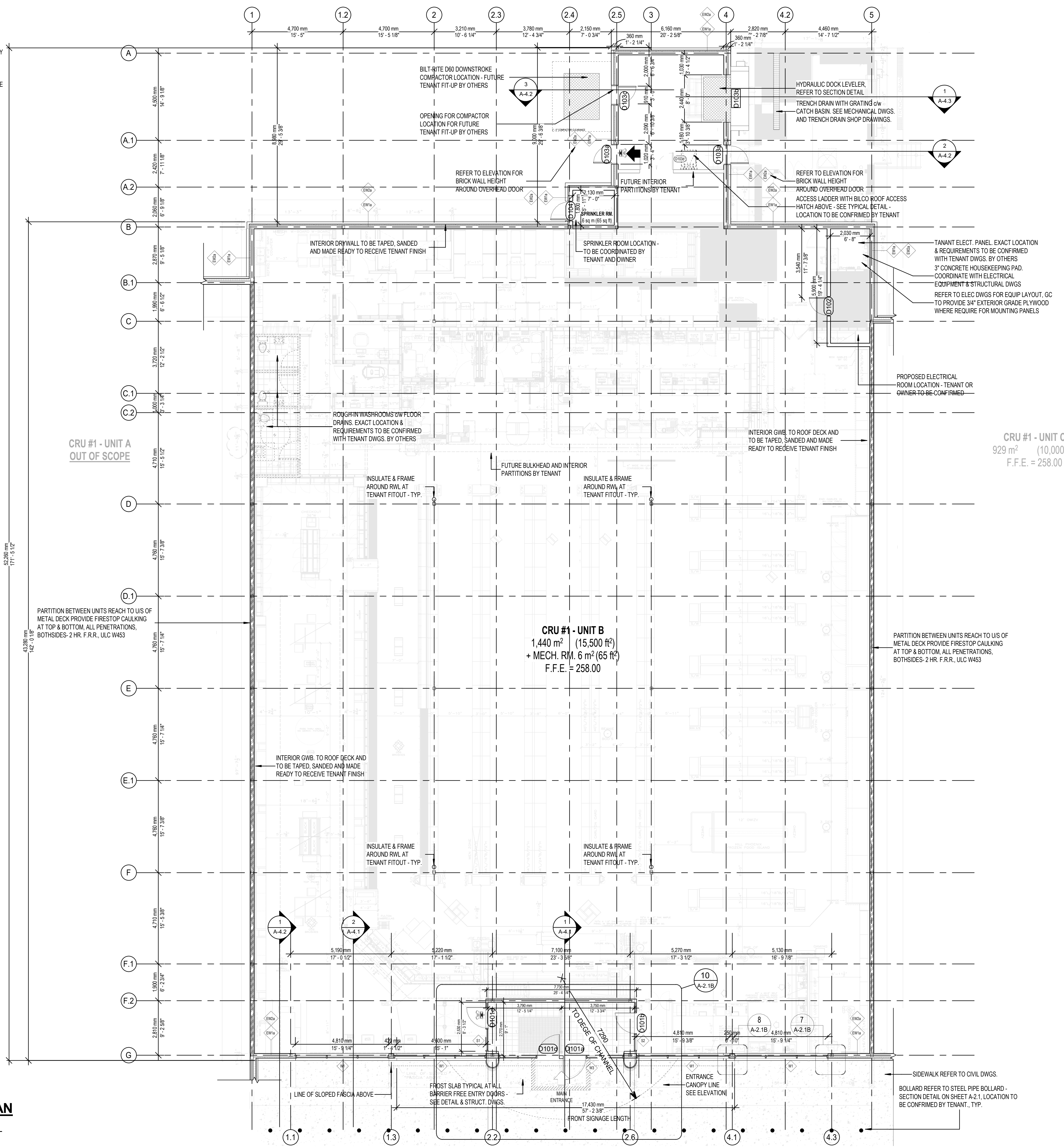
Project Date: JAN 2024

Project No: 2023-102

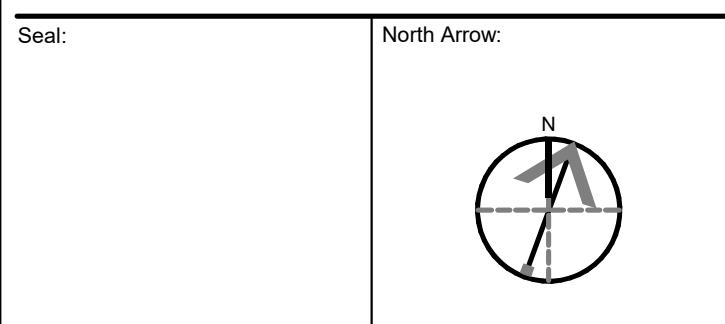
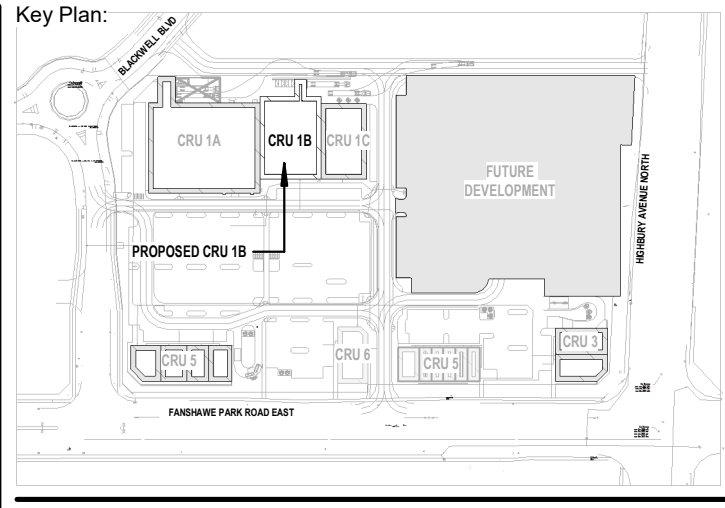
Drawing No: Revision

A-2.0 4

- NOTES:
- PROVIDE ALL UNDER SLAB PLUMBING, INCLUDING PLUMBING FOR REFRIGERATION EQUIPMENT DRAINS, INCLUDING DRAINS FOR REFRIGERATION EQUIPMENT, AND UNDER SLAB CONDUITS. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR EXACT LOCATIONS.
 - CONCRETE FLOOR TO BE FINISHED POWER TROWEL SMOOTH READY TO ACCEPT TENANT FINISHES. REFER TO STR. DWGS.
 - FOR DOOR SCHEDULE REFER TO DOOR SCHEDULE SHEET FOR REGIONS THAT ARE NOT REQUIRED TO MEET MIN. ASHRAE STANDARDS AT TIME OF SHEET OCCUPANCY. MAY LEAVE SALES SIDE VESTIBULE GYPSUM WALL BOARD TO BE SUPPLIED BY TENANT.
 - VERTICAL CONTROL JOINTS IN INTERIOR DWY WALL SHALL BE INSTALLED AT A MINIMUM DISTANCE OF 20'.
 - FINISH TOLERANCE OF CONCRETE FLOOR TO BE 1/4" IN 10'-0". PROVIDE SLAB MOISTURE CONTENT AND FLOOR FLATNESS AND LEVELNESS TEST RESULTS. (COORDINATE WITH STRUCTURAL SPECIFICATIONS).



- GENERAL NOTES:**
- THIS DRAWING IS NOT TO BE SCALED.
 - THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF CREATIVE STRUCTURES.
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 - THIS DISCIPLINE IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, AND THE OTHER DISCIPLINES INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANTS DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
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No.	Date	Revision
4	APR 02, 2024	ISSUED FOR TENDER
3	MAR 30, 2024	ISSUED FOR COORDINATION
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

Project:
Westdell
DEVELOPMENT CORP
1300 FANSHAWE PARK ROAD,
EAST. - CRU #1-UNIT B
1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

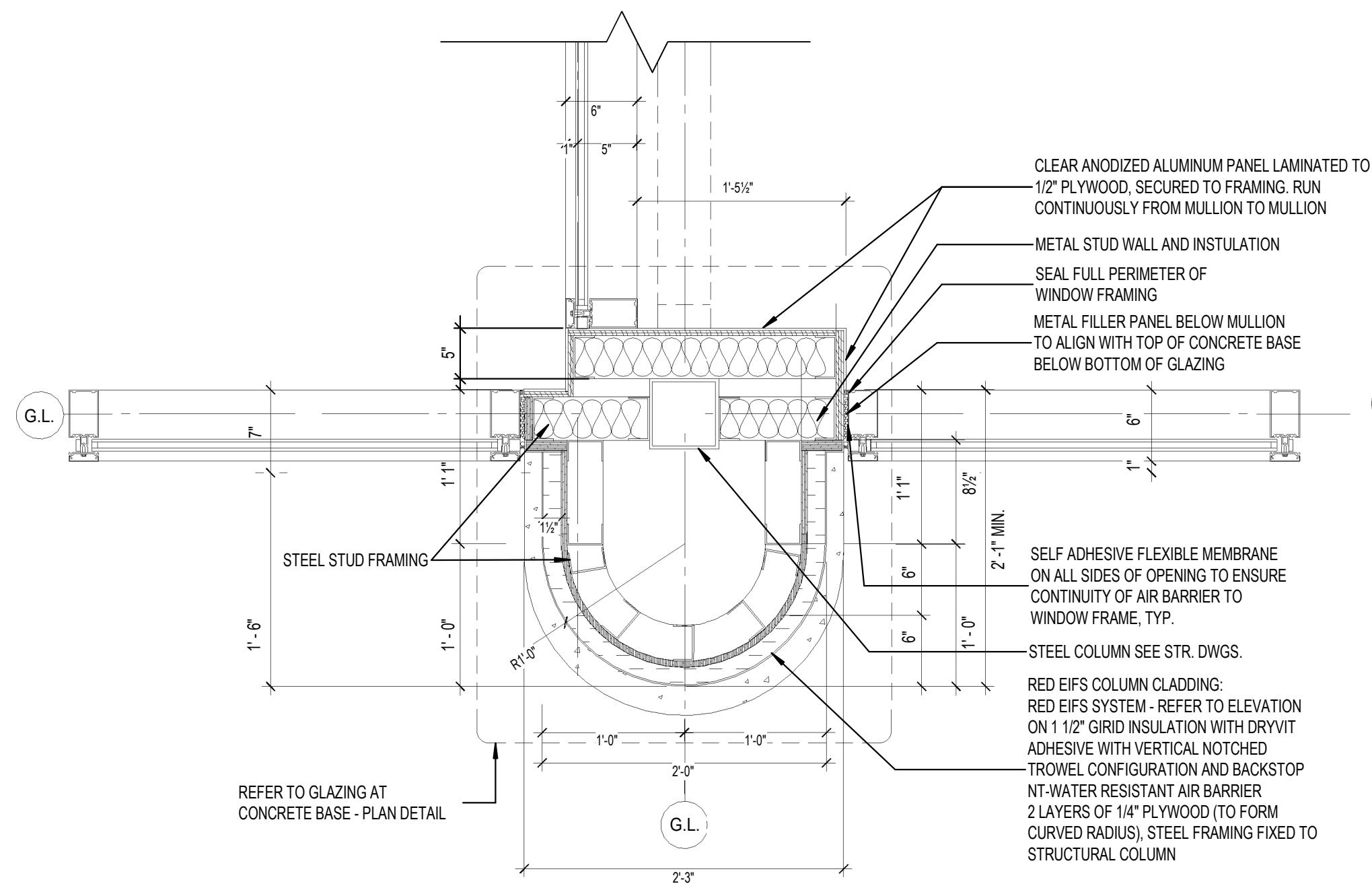
Drawing Title:

FLOOR PLAN

Drawn By: D.H. Scale: AS INDICATED
Checked By: K.N. Plot Date: APR 02, 2024
Project Date: JAN 2024
Project No: 2023-102
Drawing No: Revision

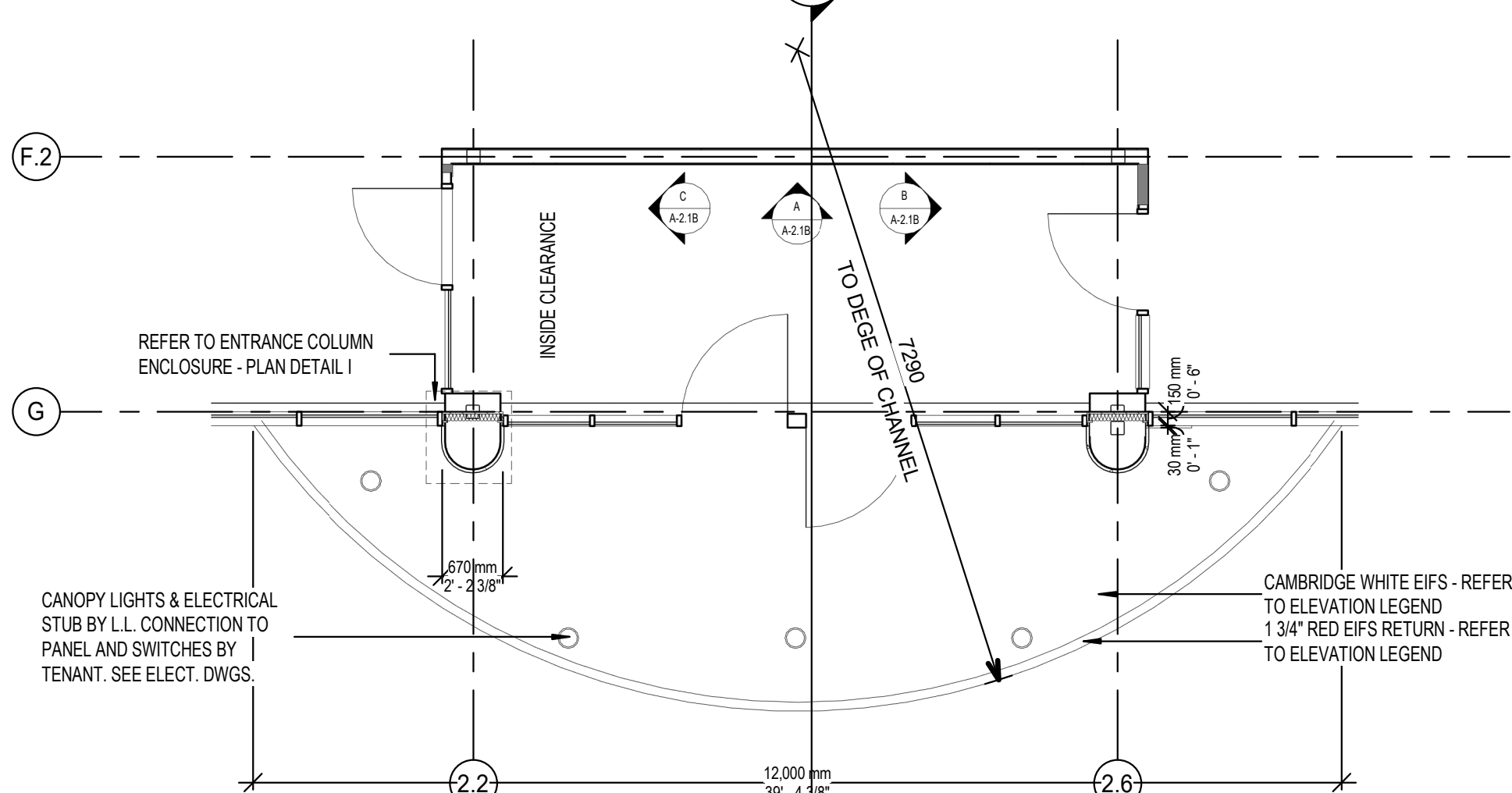
A-2.1 4

FLOOR PLAN
SCALE: 1 : 100



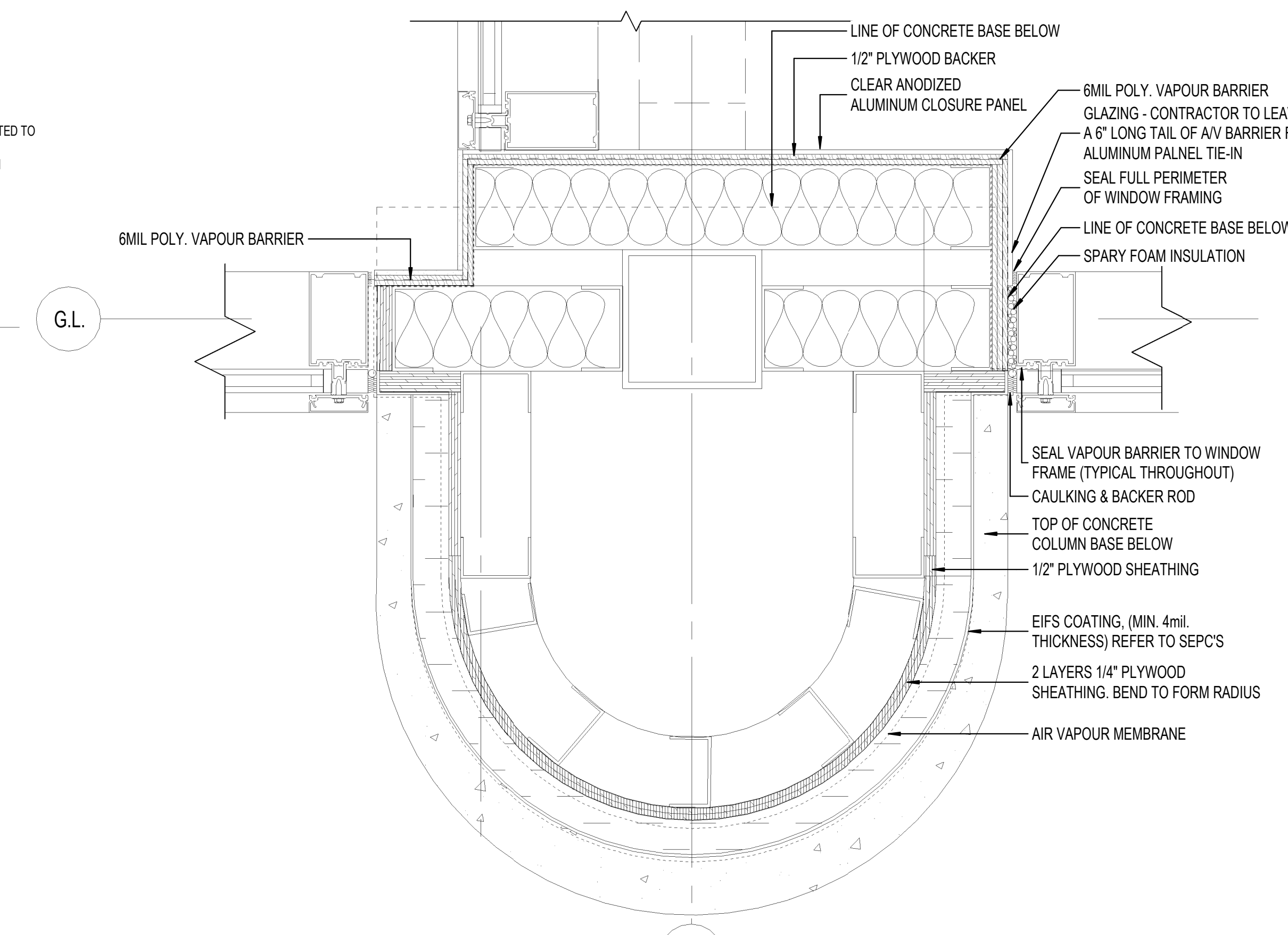
ENTRANCE COLUMN ENCLOSURE - PLAN DETAIL I

SCALE = N.T.S.



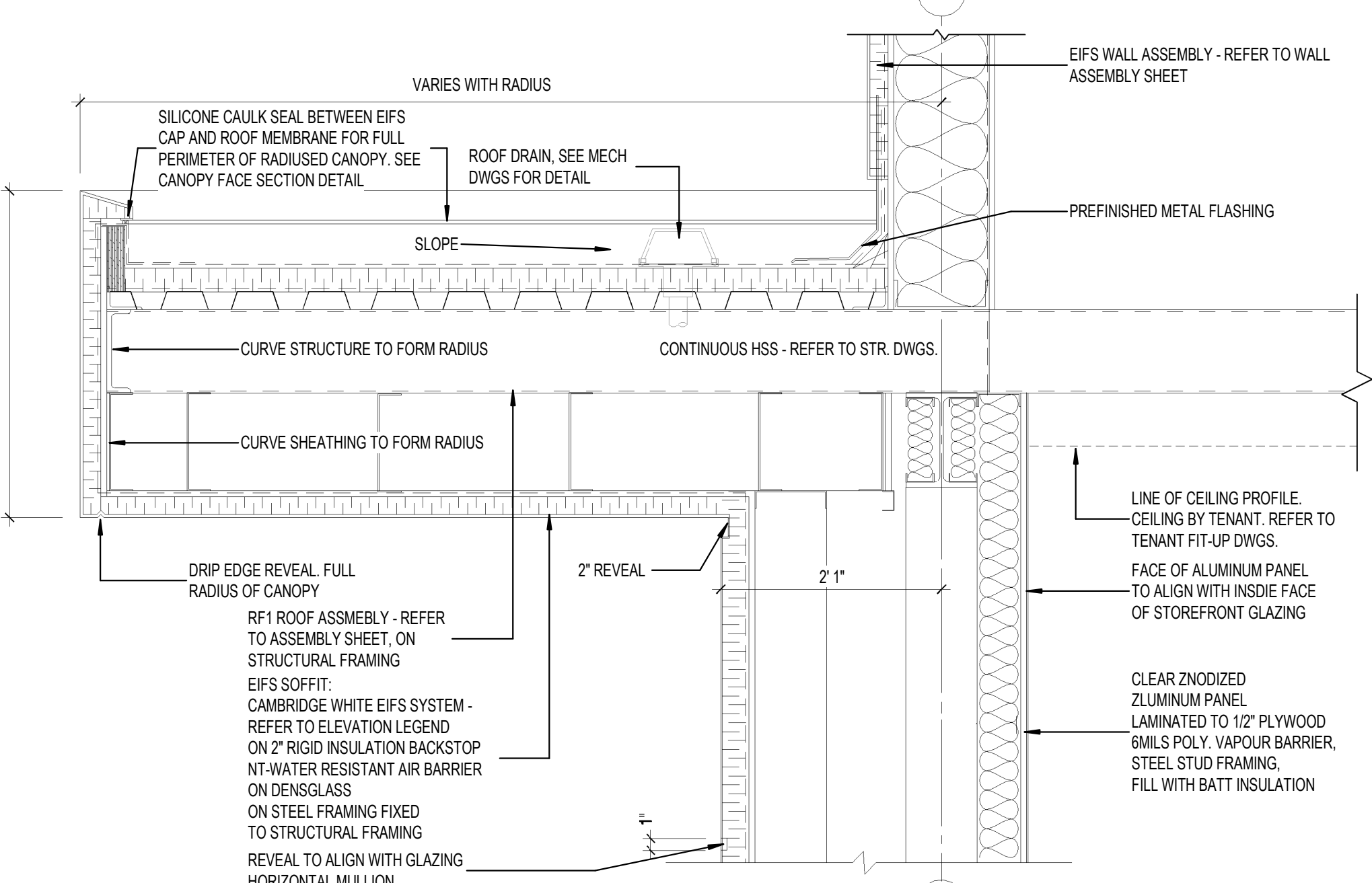
ENTRANCE COLUMN ENCLOSURE - PLAN DETAIL II

N.T.S.



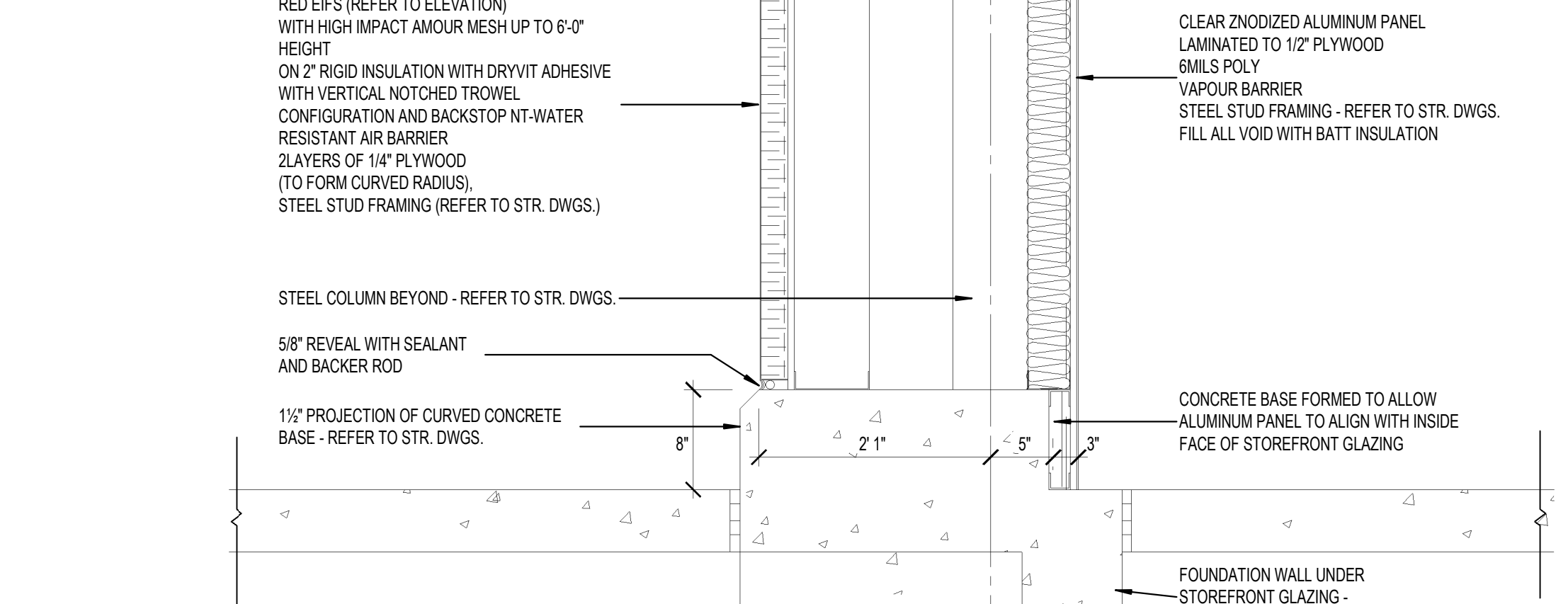
GLAZING AT CONCRETE BASE - PLAN DETAIL

SCALE = N.T.S.



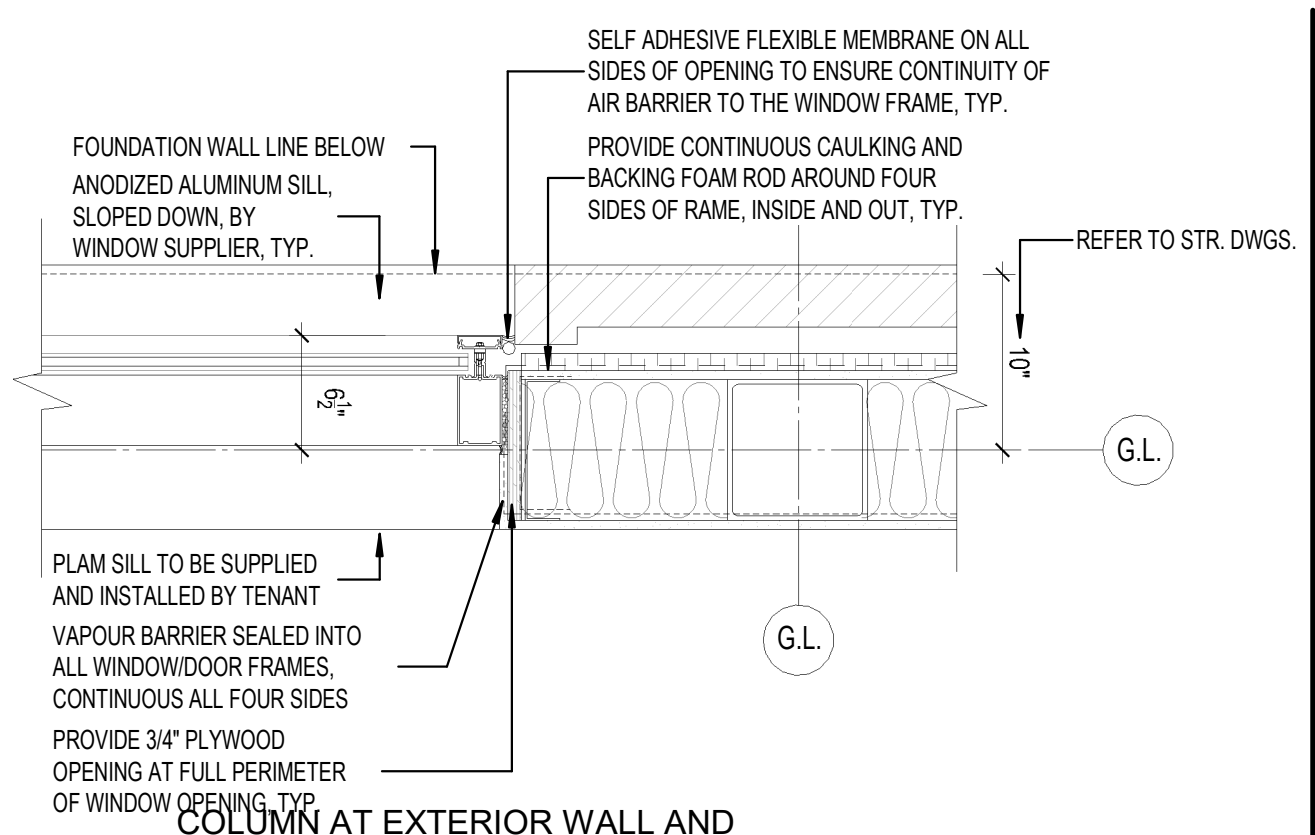
COLUMN ENCLOSURE AT SOFFIT - SECTION DETAIL

SCALE = N.T.S.



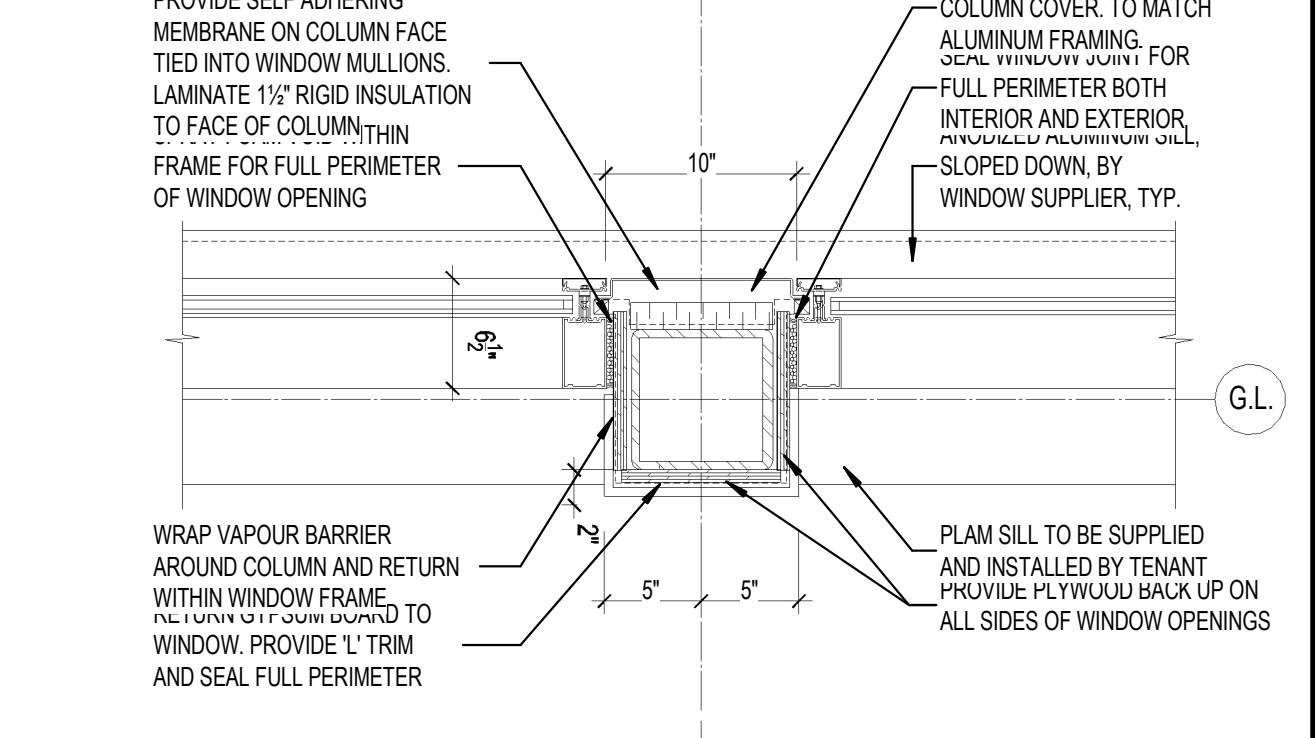
COLUMN ENCLOSURE AT BASE - SECTION DETAIL

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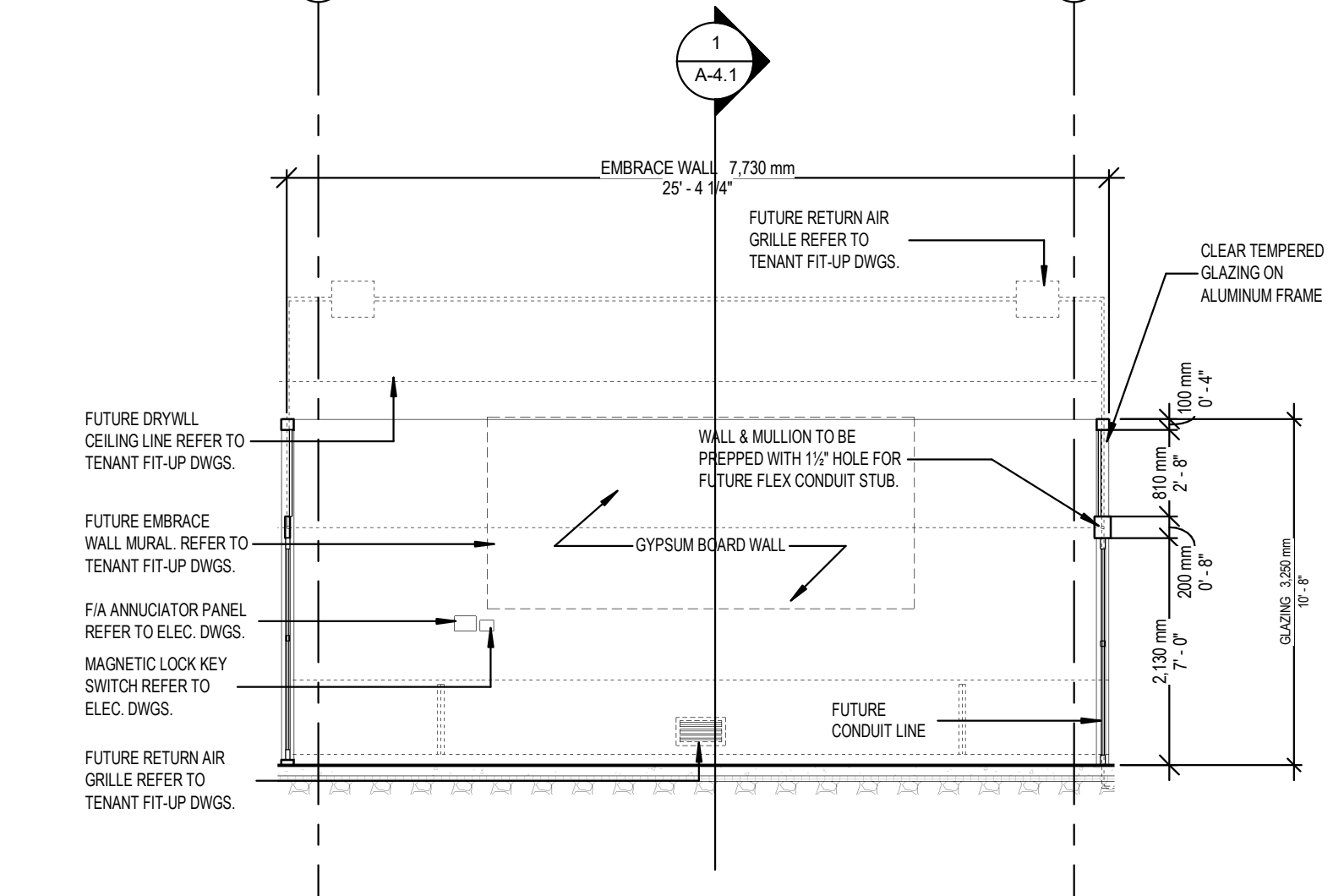
COLUMN AT EXTERIOR WALL AND WINDOW - PLAN DETAIL

N.T.S.



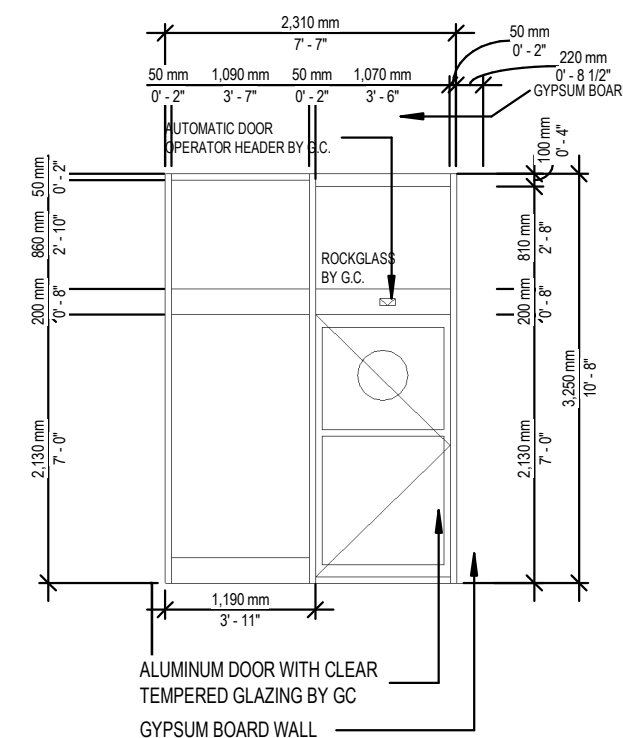
COLUMN AT GLAZING - PLAN DETAIL

N.T.S.



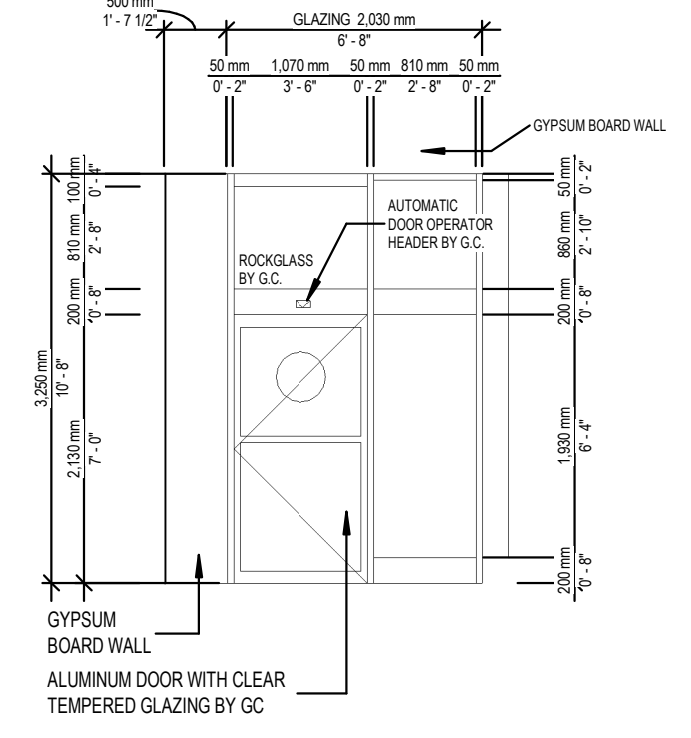
A - INTERIOR ELEVATION OF EMBRACE WALL

SCALE = N.T.S.



B - INTERIOR ELEVATION OF ENTRANCE DOOR

SCALE = N.T.S.

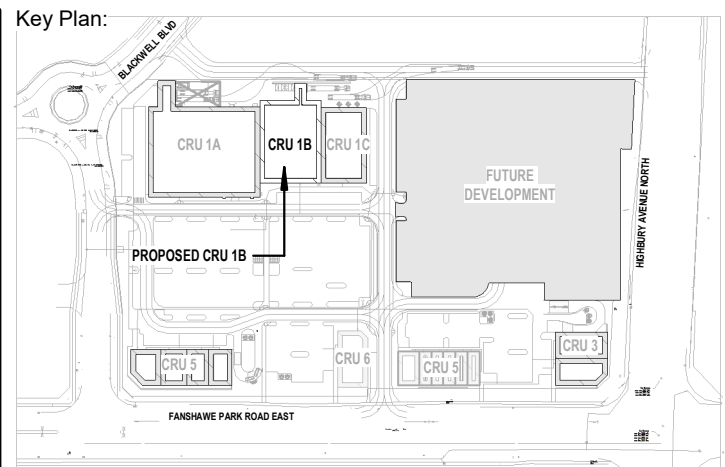


C - INTERIOR ELEVATION OF ENTRANCE DOOR

SCALE = N.T.S.

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Consultant:



Consultant:



Scale: North Arrow:

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No.	Date	Revision

ISSUES/REVISION TABLE

Project:



1300 FANSHAW PARK ROAD. EAST. - CRU #1-UNIT B
1300 FANSHAW PARK ROAD, EAST, LONDON, ON

Drawing Title:

CANOPY, ENTRANCE AND MISC. DETAILS

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

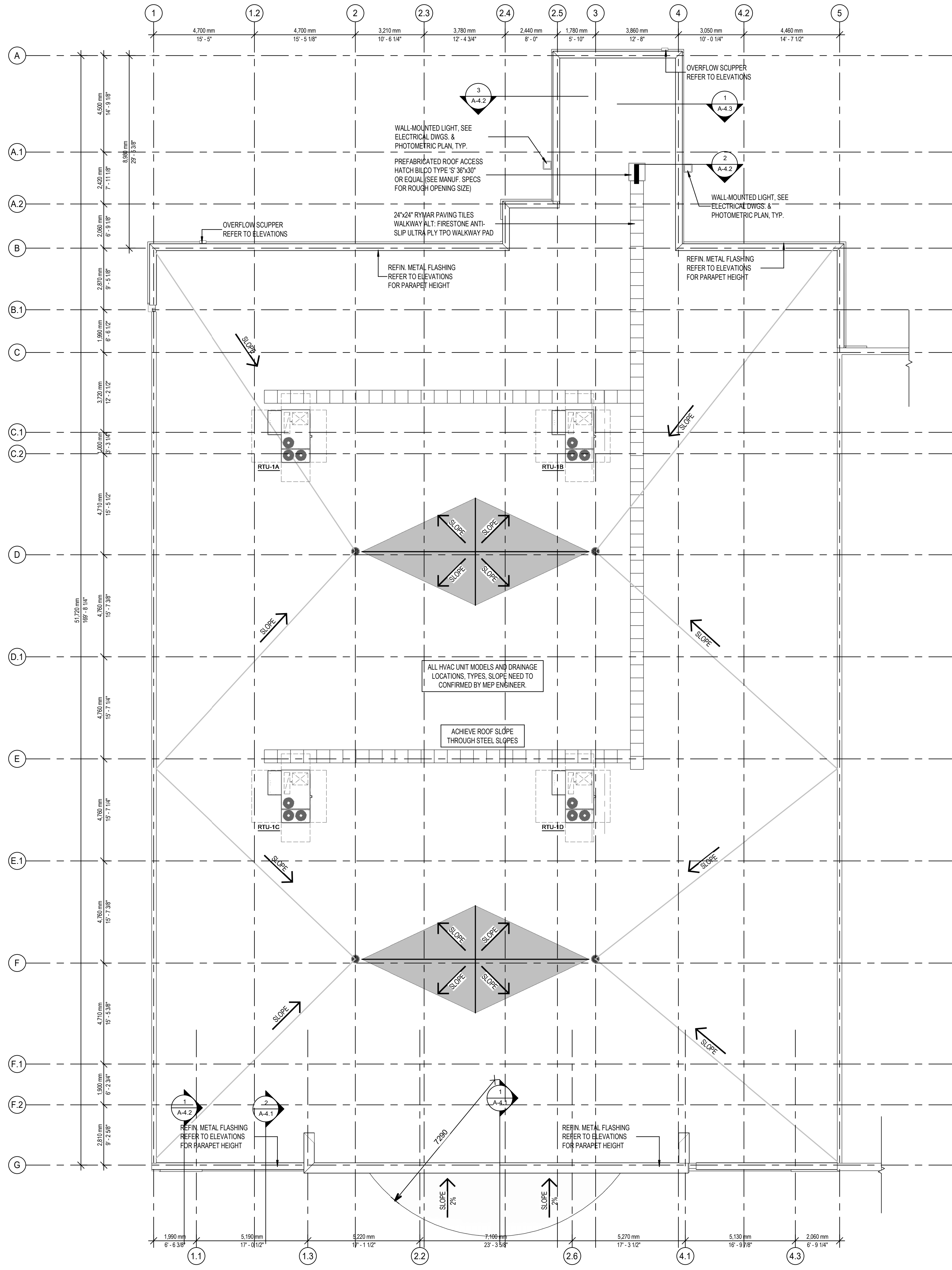
Project Date: JAN 2024

Project No: 2023-102

Drawing No: Revision

A-2.1B 4

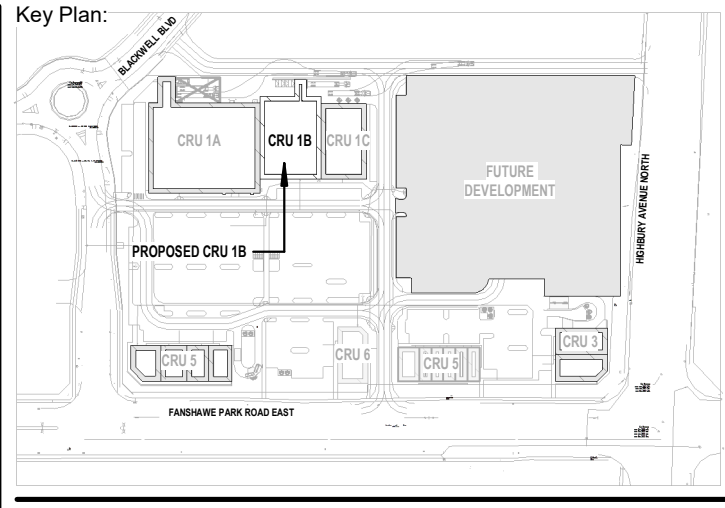
RF1 ROOF
 - 60MIL TPO ROOF MEMBRANE SYSTEM (FIRESTONE OR APPROVED EQUAL)
 - BONDING AGENT
 - MIN. R-35 POLYISO RIGID INSULATION
 - SOPREMA SOPRAVAPR VAPOUR BARRIER
 - 1 1/2" METAL DECK (SEE STRUCT. DWGS.)
 - BEAM AND OSWJ SLOPED FOR DRAINAGE (SEE STRUCT. DWGS.)



ROOF PLAN - UNIT B
 SCALE: 1 : 100

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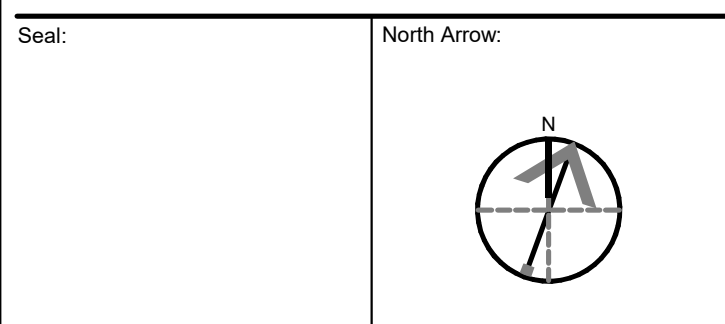


Consultant:

CREATIVE STRUCTURES
 CS@CREATIVESTR.CA

Consultant:

N/A NGACAKU ARCHITECTURE INC



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Project:

WESTDELL
 DEVELOPMENT CORP

1300 FANSHAW PARK ROAD,
 EAST. - CRU #1-UNIT B

1300 FANSHAW PARK ROAD, EAST, LONDON, ON

Drawing Title:

ROOF PLAN

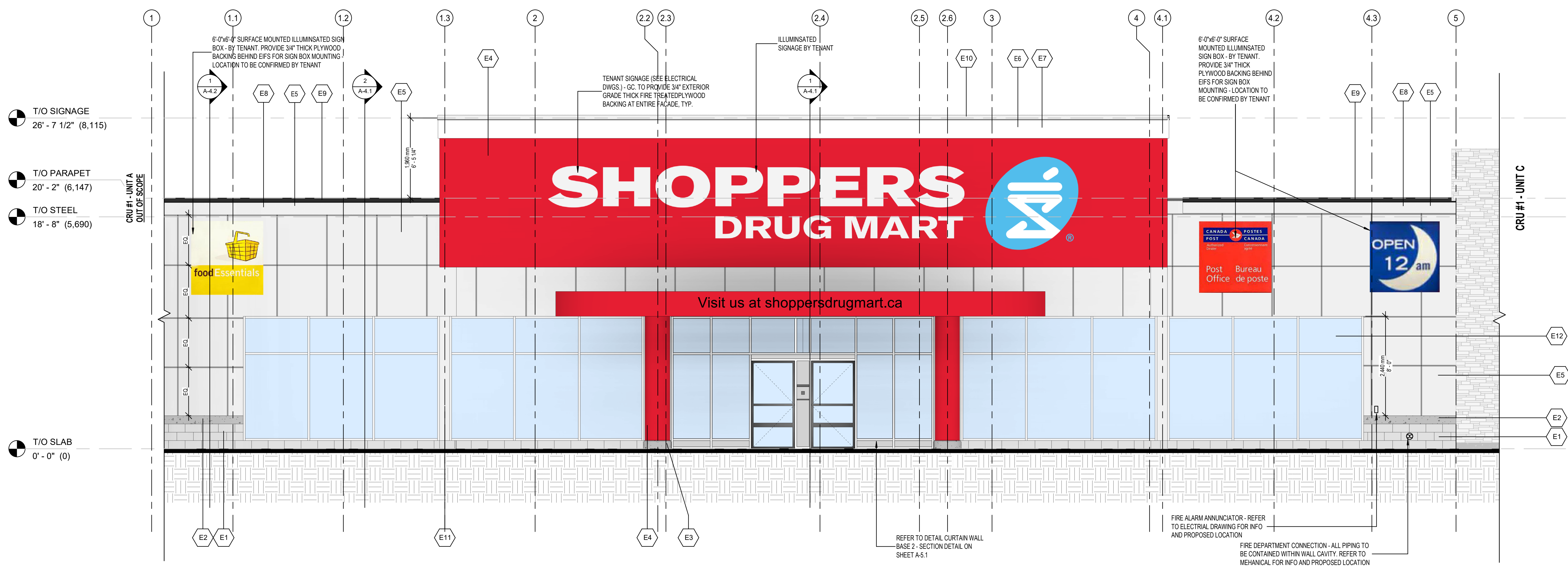
Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

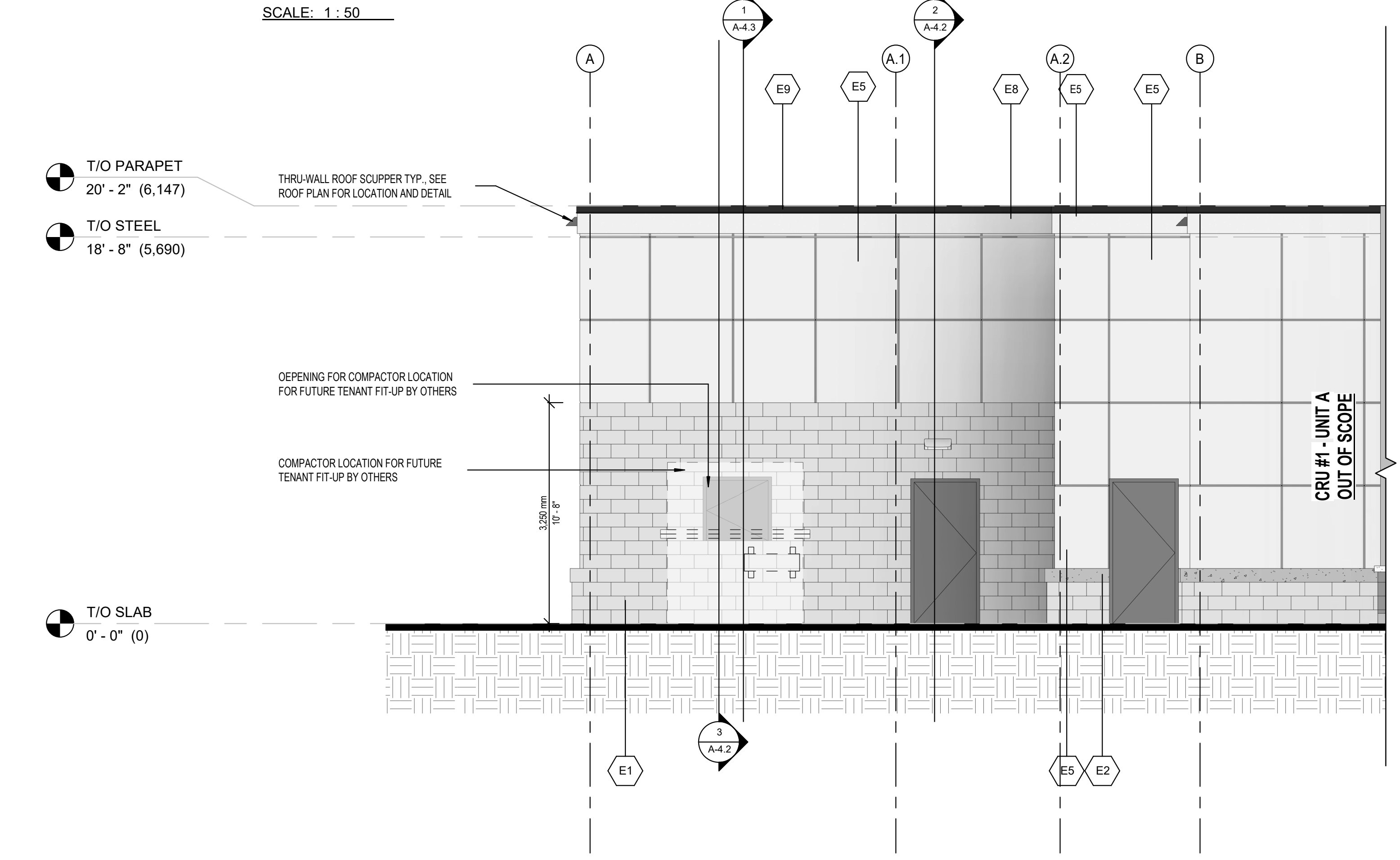
Project No: 2023-102

Drawing No: **A-2.2** Revision: **4**



CRU B SOUTH ELEVATION (PARKING SPACES)

SCALE: 1 : 50



WEST ELEVATION

SCALE: 1 : 50

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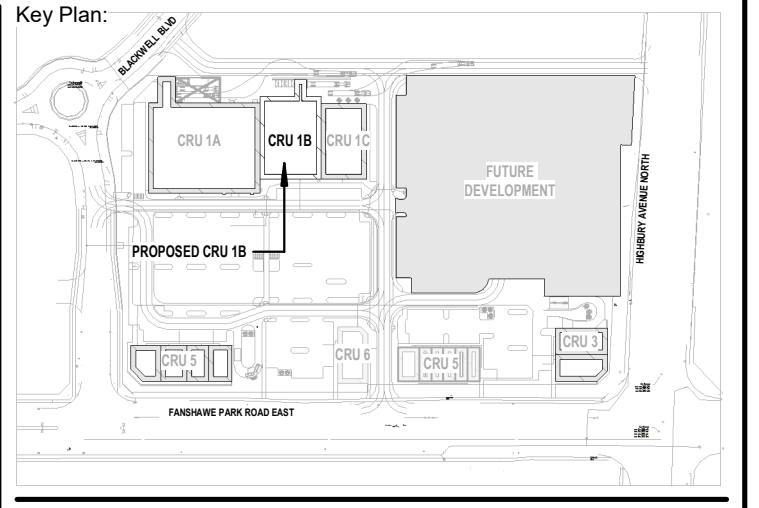
MATERIAL LEGEND

E1 CONCRETE BLOCK MASONRY VENEER	MANUFACTURER: RICHVALE YORK INC OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER) SIZE: 8" x 16" x 4" - SMOOTH FINISH GROUT COLOUR: STANDARD GREY COLOUR: LIGHT GREY TBC BY OWNER (PROVIDE REINFORCED CONCRETE BLOCK WALL AT MANUFACTURER: RICHVALE YORK INC VGS.) OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER)
E2 8" PRECAST CONCRETE SILL	
E3 8" HIGH CONCRETE CURB AROUND THE BASE OF COLUMNS. FINISH WITH 1" x 1/2" BEVELED EDGE AT THE TOP. SEE DETAIL	
E4 EXTERIOR INSULATION FINISH	MANUFACTURER: DRYVIT NO. SDMA-04-1030(S) TEXTURE: SANDBLAST FINISH MAINTENANCE: DEMANDIT DSC 400 SDM 'RED' COLOUR: SHOPPERS 2002 RED (NO ALTERNATES WILL BE ACCEPTED)
E5 EXTERIOR INSULATION FINISH	MANUFACTURER: DRYVIT NO. NA2-13-10-26-25(S) TEXTURE: SANDBLAST FINISH WITH 1" x 1/2" DEEP V-GROOVE REVEALS MAINTENANCE: DEMANDIT DSC 400 'SHOPPERS WHITE' COLOUR: SHOPPERS WHITE (NO ALTERNATES WILL BE ACCEPTED)
E6 EXTERIOR INSULATION FINISH	MANUFACTURER: DRYVIT NO. NA2-13-10-26-26 TEXTURE: SANDBLAST FINISH MAINTENANCE: DEMANDIT DSC 400 'CAMBRIDGE WHITE' COLOUR: CAMBRIDGE WHITE (NO ALTERNATES WILL BE ACCEPTED)
E7 CORNICE MOULDING	MANUFACTURE: CANA MOULD. SDM-009 OR APPROVED EQAUL (WARRANTY PERIOD BY OWNER)
E8 WALL MOULDING	MANUFACTURE: CANA MOULD. SDM-010 OR APPROVED EQAUL (WARRANTY PERIOD BY OWNER)
E9 PREFINISHED METAL FLASHING	COLOUR: GREY. STELCO: QC 8305 OR VICWEST: QC 56071
E10 PREFINISHED METAL FLASHING	COLOUR: CAMBRIDGE WHITE. STELCO: QC 8695 OR VICWEST: QC 56161
E11 ALUMINUM COLUMN CLADDING	COLOUR: CLEAR ANODIZED
E12 STOREFRONT GLAZING	ROCKGLASS THERMALLY BORKEN HYBRID SEALED UNITS: EXTERIOR GLAZING: 10mm ROCKGLASS, INTERIOR GLAZING: 6mm CLEAR TEMPERED SOLAR 74 LOW 'E' GLASS IN FACTORY SEALED UNIT AND SEPARATED BY ARGON GAS SPACE. CONTACT: VINCE CROKER @ ROCKGLASS CA NON TINTED FIXED OPAQUE SPANDREL GLASS PANEL INSULATED METAL BACK PAN. COLOUR: GREY WITH GREY BACK SCRIM. CLEAR ANODIZED ALUMINUM FRAMING GLAZING: INKAW NO. 04-1254 (PROVIDE SAMPLE FOR APPROVAL) INTERCHANGEABLE SURFACE APPLIED VINYL GRAPHICS, SUPPLIED AND INSTALLED BY SDM GRAPHICS. VARY WITH OPERATION. TBC BY OWNER OR TENANT COLOUR: CLEAR ANODIZED
E13 SPANDREL GLASS PANEL	COLOUR: CAMBRIDGE WHITE STELCO: QC 8695 OR VICWEST: QC 56161
E14 VINYL GRAPHICS	
E15 ALUMINUM ENTRANCE DOOR	
E16 ALUMINUM BACKSIDE CLADDING	

NOTE:

- GC TO PROVIDE SAMPLES OF ALL FINISHES FOR OWNER/ARCHITECT APPROVAL
- SHOP DWGS. TO BE PROVIDED FOR APPROVAL FOR ALL LIGHT FIXTURES. REFER TO ELECT. DWGS. FOR ALL WALL MOUNTED UTILITY SECURITY LIGHTING & CAMERAS (IF REQUIRED).
- MASONRY CONTROL JOINTS (CJ) TO BE PLACED AS SHOWN. CAULKING COLOURS TO MATCH MASONRY UNIT MORTAR COLOUR.
- CAULKING AT ALL WINDOWS TO MATCH WINDOW FRAMES.

NOTE:
IF SIZES ARE NOT SPECIFIED REFER TO WALL ASSEMBLYS.
CREATIVE STRUCTURES IS NOT RESPONSIBLE FOR FUTURE CHANGES.



Consultant:

CREATIVE STRUCTURES
CS@CREATIVESTR.CA

Consultant:

N'AJ NGACAKU ARCHITECTURE INC

Seal: North Arrow

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Project:

WESTDELL DEVELOPMENT CORP

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1300 FANSHAWE PARK ROAD, EAST. LONDON, ON

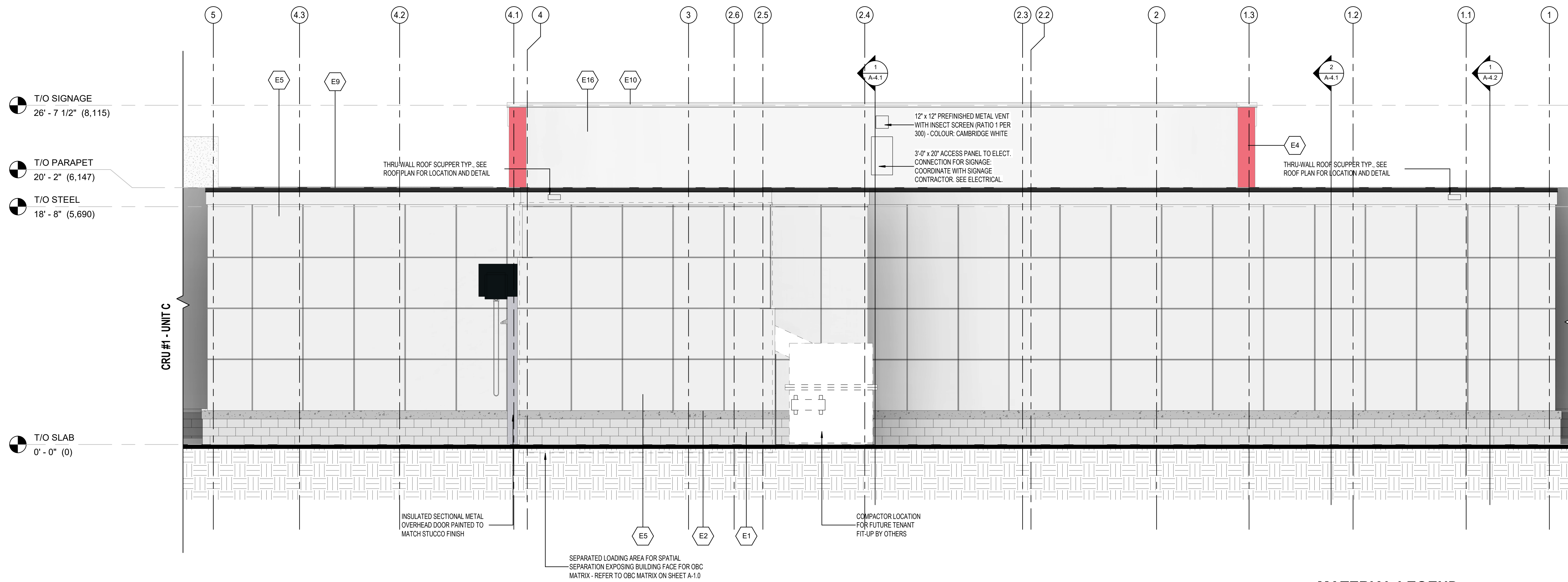
Drawing Title:

ELEVATIONS I

Drawn By: D.H.	Scale: AS INDICATED
Checked By: K.N.	Plot Date: APR 02, 2024
Project Date: JAN 2024	
Project No: 2023-102	
Drawn No:	Revision

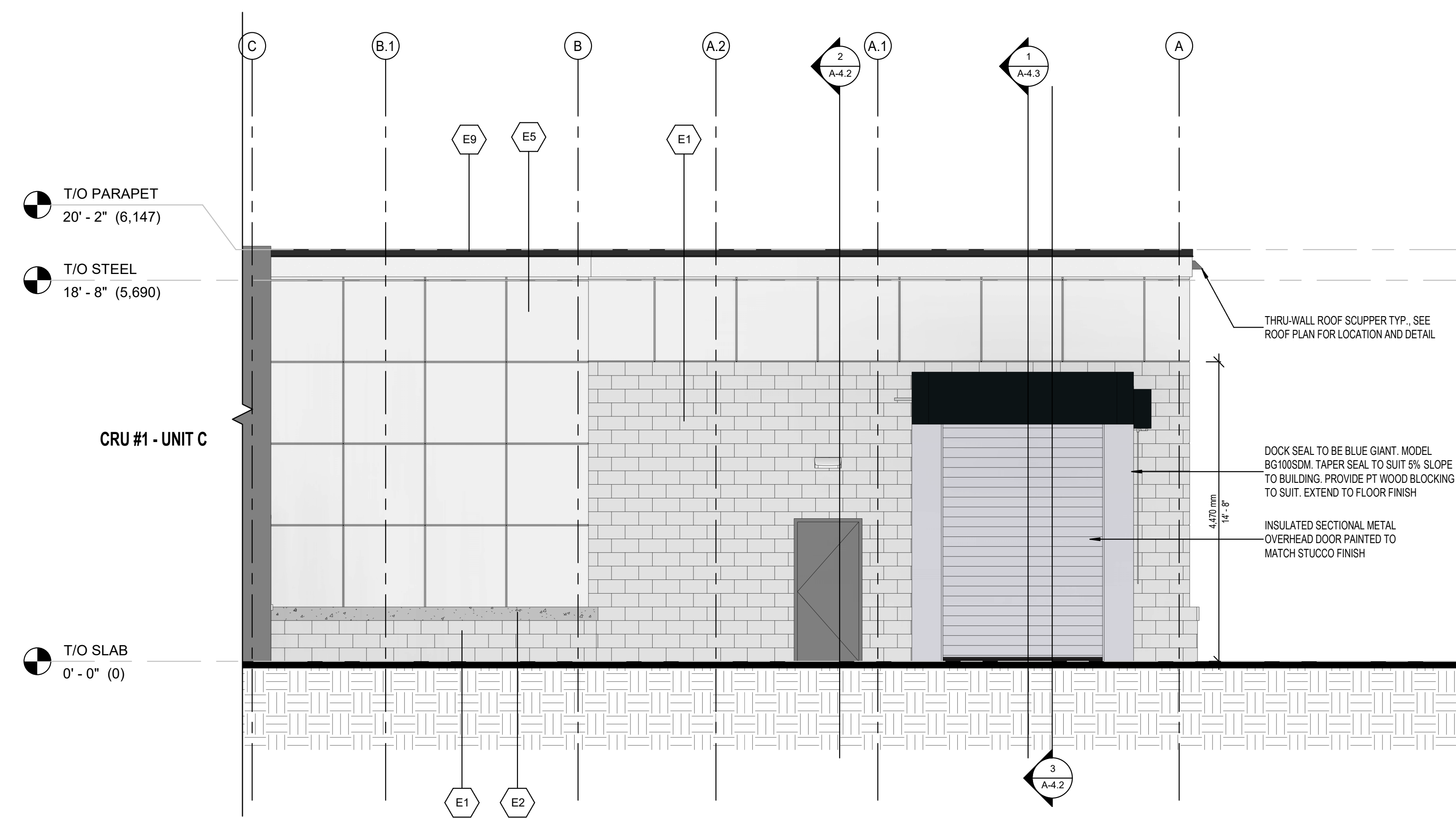
A-3.1

4



CRU B NORTH ELEVATION (LOADING DECK SIDE)

SCALE: 1 : 50



EAST ELEVATION (LOADING DECK AREA)

SCALE: 1 : 50

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MATERIAL LEGEND

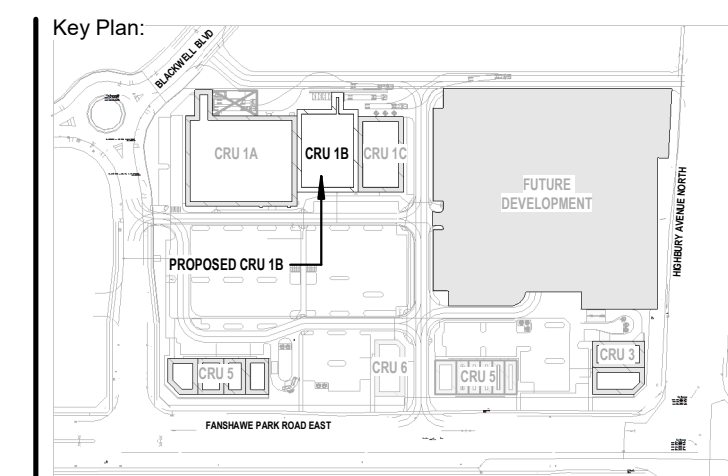
- E1 CONCRETE BLOCK MASONRY VENEER
MANUFACTURER: RICHVALE YORK INC OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER)
SIZE: 8" x 16" x 4" - SMOOTH FINISH
GROUT COLOUR: STANDARD GREY
COLOUR: LIGHT GREY TBC BY OWNER (PROVIDE REINFORCED CONCRETE BLOCK WALL AT MANUFACTURER: RICHVALE YORK INC VGS.) OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER)
- E2 8" PRECAST CONCRETE SILL
WITH 1/2" BEVELED EDGE AT THE TOP. SEE DETAIL
- E3 8" HIGH CONCRETE CURB AROUND THE BASE OF COLUMNS. FINISH WITH 1/2" BEVELED EDGE AT THE TOP. SEE DETAIL
- E4 EXTERIOR INSULATION FINISH
MANUFACTURER: DRYVIT NO. SDMA-04-1030(S)
TEXTURE: SANDBLAST FINISH
MAINTENANCE: DEMANDIT DSC 400 SDM 'RED'
COLOUR: SHOPPERS 2002 RED (NO ALTERNATES WILL BE ACCEPTED)
MANUFACTURER: DRYVIT NO. NA2-13-10-26-25(S)
TEXTURE: SANDBLAST FINISH
WITH 1" x 1/2" DEEP V-GROOVE REVEALS
MAINTENANCE: DEMANDIT DSC 400 'SHOPPERS WHITE'
COLOUR: SHOPPERS WHITE (NO ALTERNATES WILL BE ACCEPTED)
MANUFACTURER: CANA MOULD. SDM-009 OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER)
- E5 EXTERIOR INSULATION FINISH
MANUFACTURER: DRYVIT NO. NA2-13-10-26-25(S)
TEXTURE: SANDBLAST FINISH
WITH 1" x 1/2" DEEP V-GROOVE REVEALS
MAINTENANCE: DEMANDIT DSC 400 'CAMBRIDGE WHITE'
COLOUR: CAMBRIDGE WHITE (NO ALTERNATES WILL BE ACCEPTED)
MANUFACTURER: CANA MOULD. SDM-010 OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER)
- E6 EXTERIOR INSULATION FINISH
MANUFACTURER: DRYVIT NO. NA2-13-10-26-25(S)
TEXTURE: SANDBLAST FINISH
WITH 1" x 1/2" DEEP V-GROOVE REVEALS
MAINTENANCE: DEMANDIT DSC 400 'CAMBRIDGE WHITE'
COLOUR: CAMBRIDGE WHITE (NO ALTERNATES WILL BE ACCEPTED)
MANUFACTURER: CANA MOULD. SDM-010 OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER)
- E7 CORNICE MOULDING
MANUFACTURE: CANA MOULD. SDM-009 OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER)
TEXTURE: SAND BLAST FINISH
- E8 WALL MOULDING
MANUFACTURE: CANA MOULD. SDM-010 OR APPROVED EQUAL (WARRANTY PERIOD BY OWNER)
TEXTURE: SAND BLAST FINISH
- E9 PREFINISHED METAL FLASHING
COLOUR: GREY. STELCO: QC 8305 OR VICWEST: QC 56071
- E10 PREFINISHED METAL FLASHING
COLOUR: CAMBRIDGE WHITE. STELCO: QC 8695 OR VICWEST: QC 56161
- E11 ALUMINUM COLUMN CLADDING
COLOUR: CLEAR ANODIZED
ROCKGLASS THERMALLY BORKEN HYBRID SEALED UNITS:
EXTERIOR GLAZING: 10mm ROCKGLASS,
INTERIOR GLAZING: 6mm CLEAR
TEMPERED SOLAR LOW 'E' GLASS IN FACTORY SEALED UNIT AND SEPARATED BY ARGON GAS SPACE.
CONTACT: VINCE CROKER @ ROCKGLASS.CA
NON TINTED FIXED OPAQUE SPANDREL GLASS PANEL.
INSULATED METAL BACK PAN.
COLOUR: GREY WITH GREY BACK SCRIM.
CLEAR ANODIZED ALUMINUM FRAMING
GLAZING: INKAW NO. 0-1254 (PROVIDE SAMPLE FOR APPROVAL)
INTERCHANGEABLE SURFACE APPLIED VINYL GRAPHICS, SUPPLIED AND INSTALLED BY SDM GRAPHICS. (VARY WITH FUNCTION. TBC BY OWNER OR TENANT)
COLOUR: CLEAR ANODIZED
- E12 STOREFRONT GLAZING
COLOUR: CAMBRIDGE WHITE
STELCO: QC 8695 OR VICWEST: QC 56161
- E13 SPANDREL GLASS PANEL
INSULATED METAL BACK PAN.
COLOUR: GREY WITH GREY BACK SCRIM.
CLEAR ANODIZED ALUMINUM FRAMING
GLAZING: INKAW NO. 0-1254 (PROVIDE SAMPLE FOR APPROVAL)
INTERCHANGEABLE SURFACE APPLIED VINYL GRAPHICS, SUPPLIED AND INSTALLED BY SDM GRAPHICS. (VARY WITH FUNCTION. TBC BY OWNER OR TENANT)
COLOUR: CLEAR ANODIZED
- E14 VINYL GRAPHICS
COLOUR: CAMBRIDGE WHITE
STELCO: QC 8695 OR VICWEST: QC 56161
- E15 ALUMINUM ENTRANCE DOOR
COLOUR: CAMBRIDGE WHITE
STELCO: QC 8695 OR VICWEST: QC 56161
- E16 ALUMINUM BACKSIDE CLADDING
COLOUR: CAMBRIDGE WHITE
STELCO: QC 8695 OR VICWEST: QC 56161

NOTE:

- GC TO PROVIDE SAMPLES OF ALL FINISHES FOR OWNER/ARCHITECT APPROVAL
- SHOP DWGS. TO BE PROVIDED FOR APPROVAL FOR ALL LIGHT FIXTURES. REFER TO ELECT. DWGS. FOR ALL WALL MOUNTED UTILITY/SECURITY LIGHTING & CAMERAS (IF REQUIRED).
- MASONRY CONTROL JOINTS (CJ) TO BE PLACED AS SHOWN. CAULKING COLOURS TO MATCH MASONRY UNIT MORTAR COLOUR.
- CAULKING AT ALL WINDOWS TO MATCH WINDOW FRAMES.

NOTE:
IF SIZES ARE NOT SPECIFIED REFER TO WALL ASSEMBLYS.

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Seal: North Arrow.

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No.	Date	Revision
4	APR 02, 2024	ISSUED FOR TENDER
3	MAR 30, 2024	ISSUED FOR COORDINATION
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW

ISSUES/REVISION TABLE

Project:

Westdell
DEVELOPMENT CORP

1300 FANSHAWE PARK ROAD.
EAST. - CRU #1-UNIT B

1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

Drawing Title:

ELEVATIONS II

Drawn By: D.H. Scale: AS INDICATED

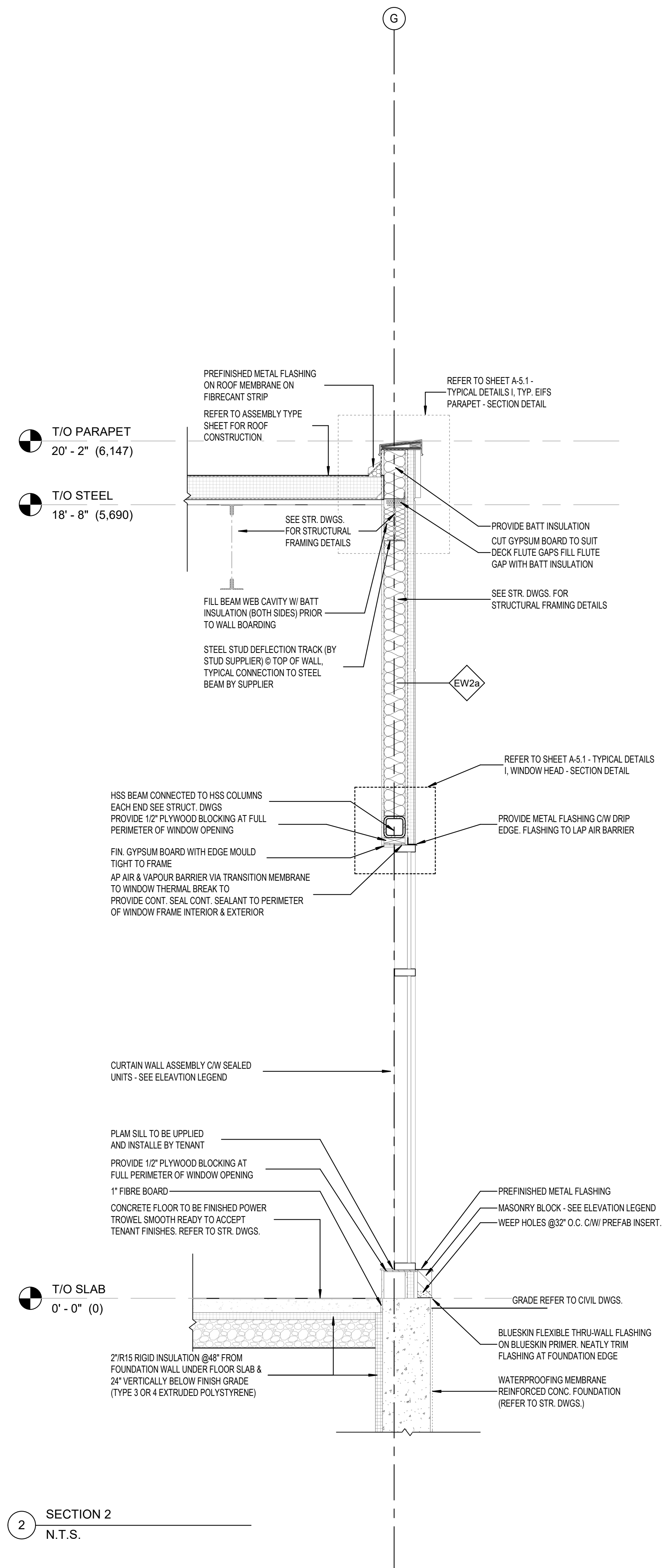
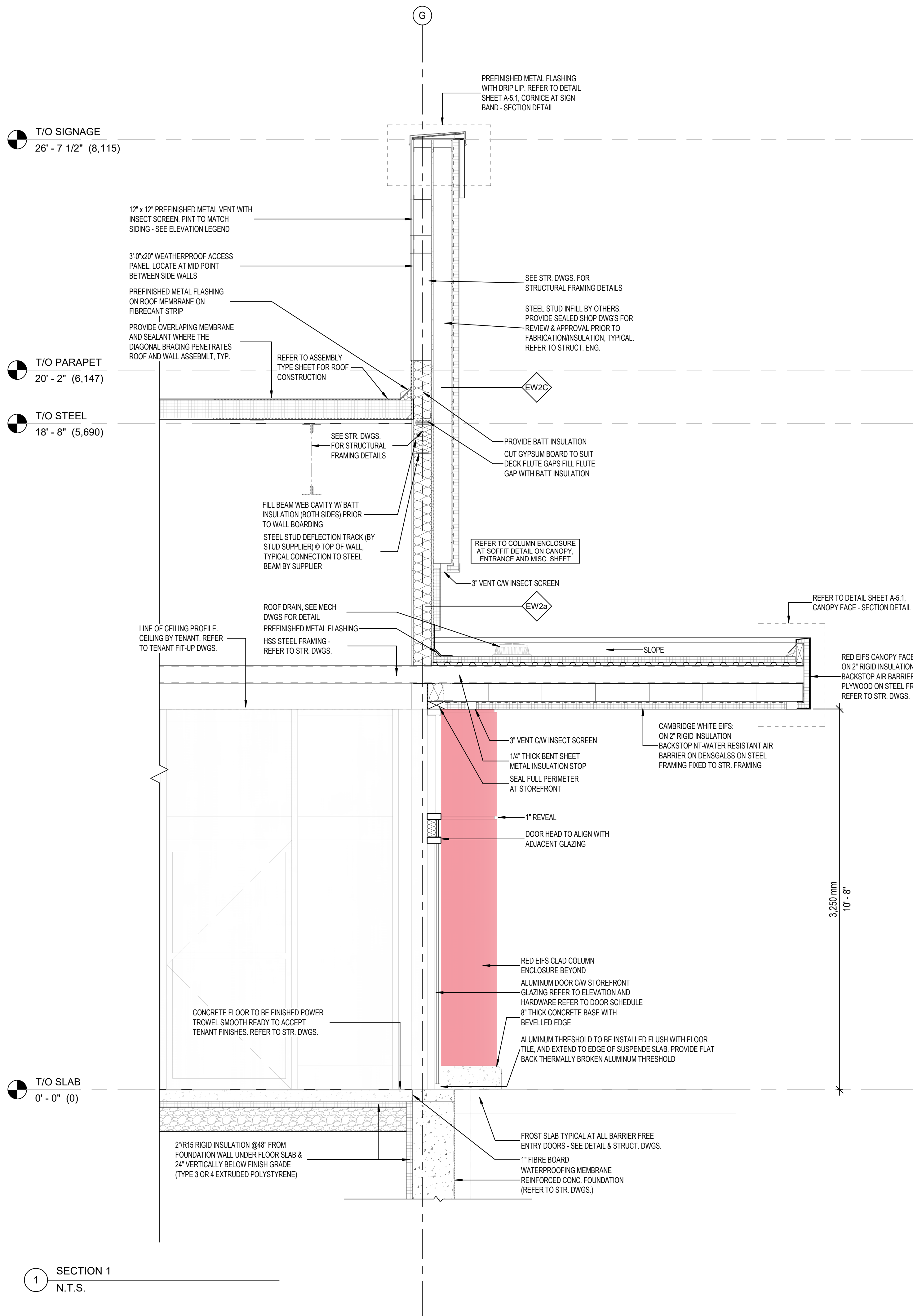
Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

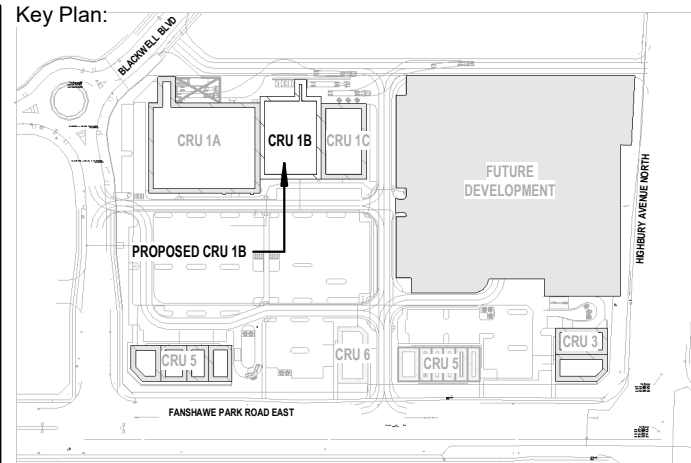
Drawing No: Revision

A-3.2 **4**



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Consultant:

CREATIVE STRUCTURES
CS@CREATIVESTR.CA

Consultant:

N/A NGACAKU ARCHITECTURE INC

Scale: North Arrow.

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ISSUES/REVISION TABLE

Project:

Westdell DEVELOPMENT CORP

1300 FANSHAWE PARK ROAD, EAST. - CRU #1-UNIT B

1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

Drawing Title:

WALL SECTION I

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

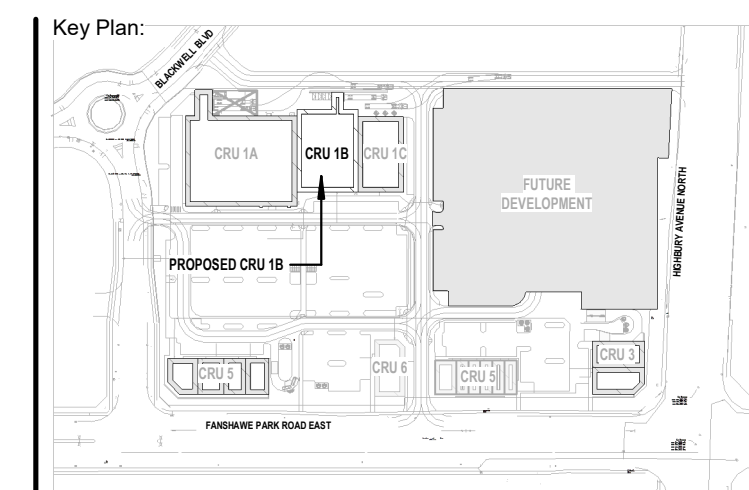
Drawing No: Revision

A-4.1 4

SECTION 1
N.T.S.

SECTION 2
N.T.S.

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Seal: _____ North Arrow: _____

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3	MAR 30, 2024	ISSUED FOR COORDINATION
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1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW

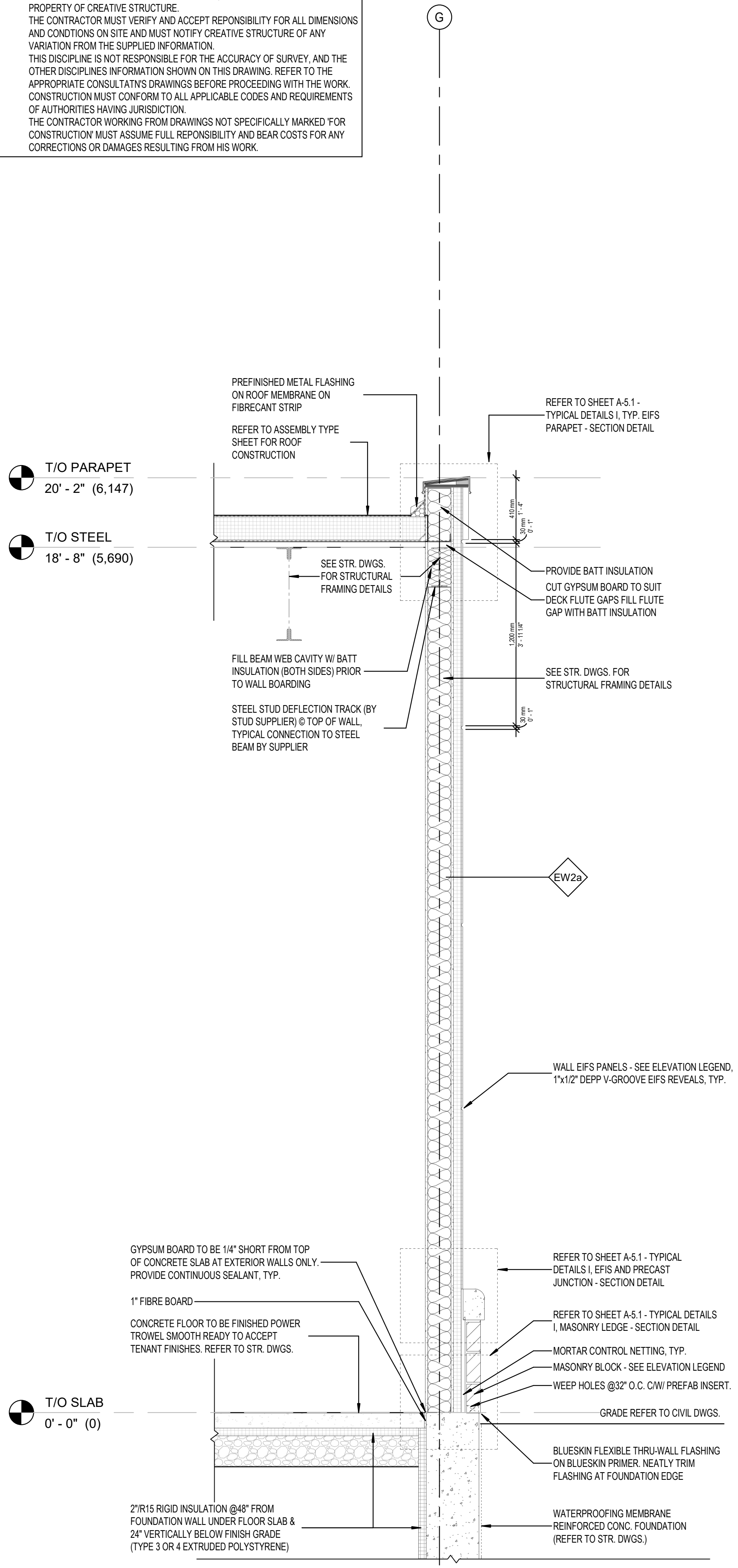
ISSUES/REVISION TABLE

Project: **Westdell Development Corp**
1300 FANSHAW PARK ROAD, EAST. - CRU #1-UNIT B
 1300 FANSHAW PARK ROAD, EAST, LONDON, ON

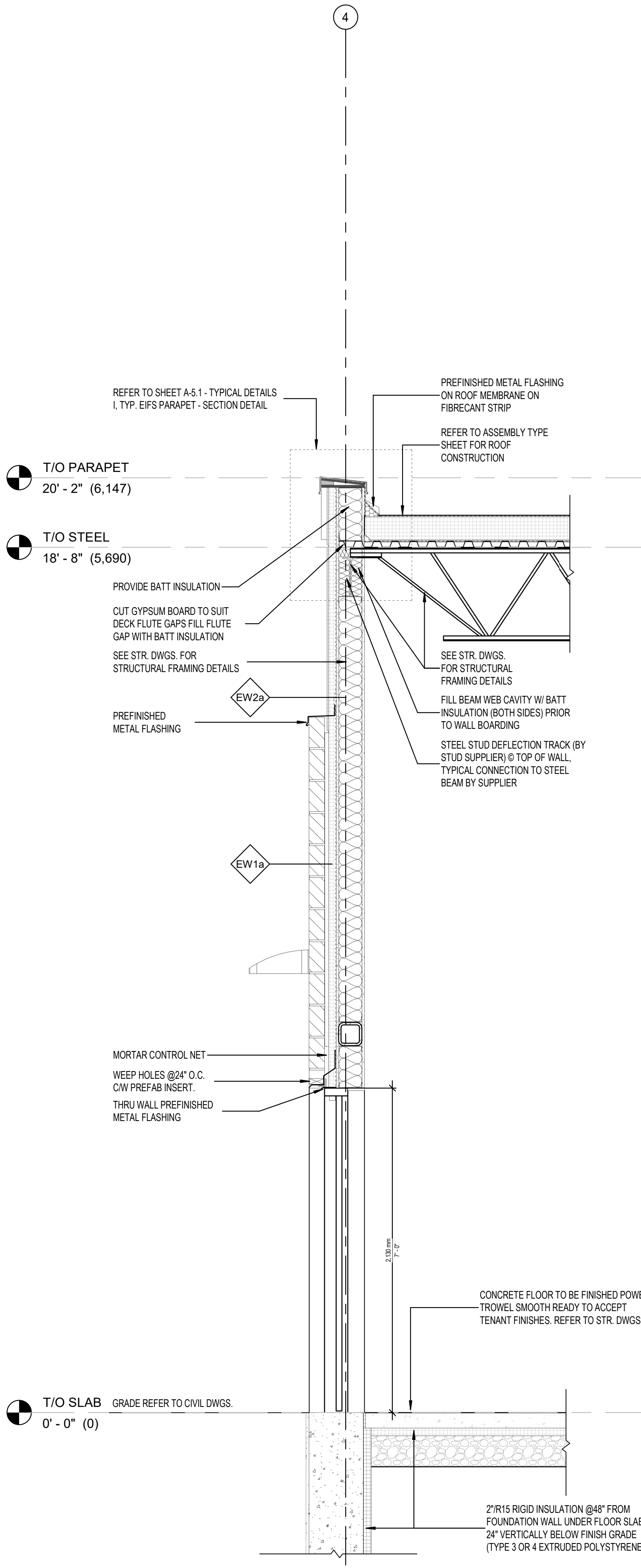
Drawing Title: **WALL SECTION II**

Drawn By: D.H. Scale: AS INDICATED
 Checked By: K.N. Plot Date: APR 02, 2024
 Project Date: JAN 2024
 Project No: 2023-102
 Drawing No: _____ Revision: _____

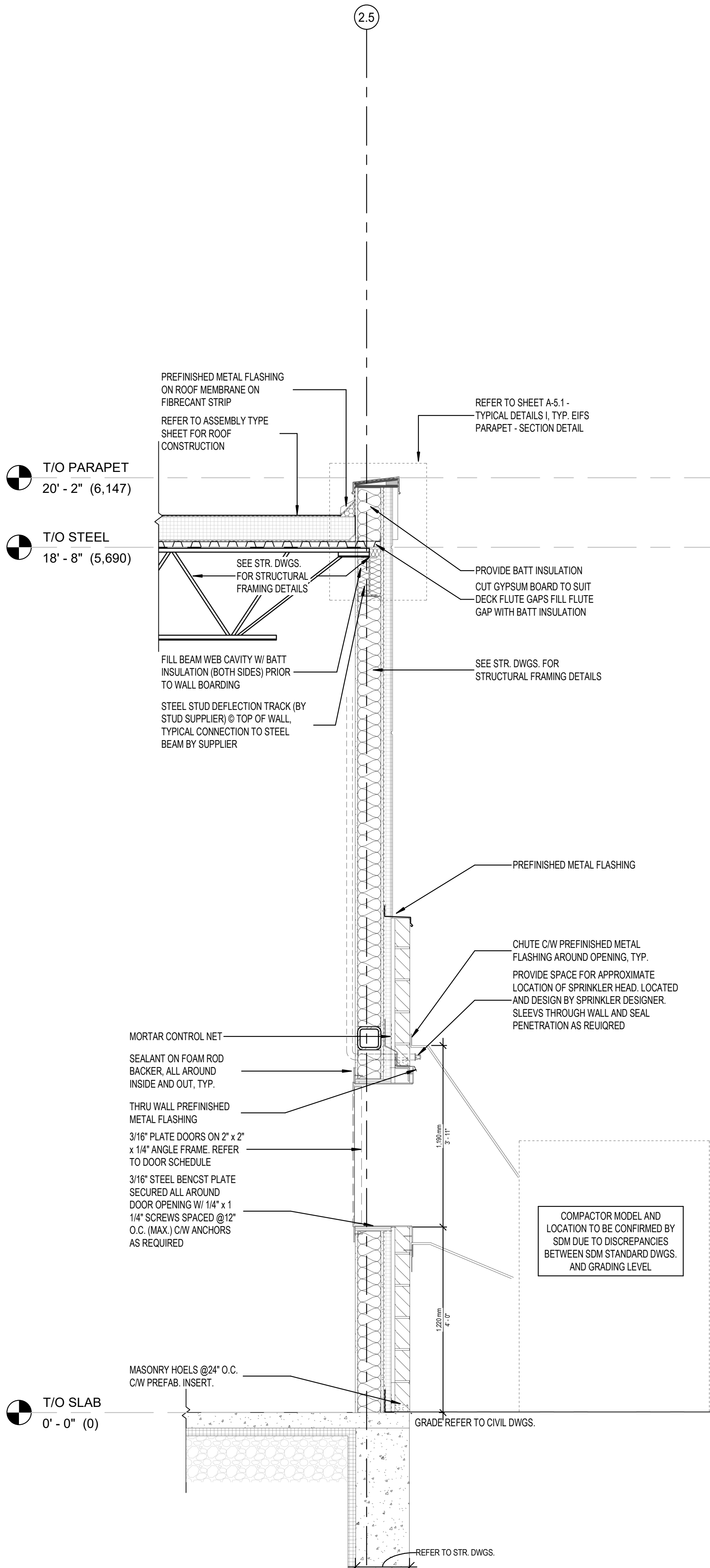
A-4.2 4



1 SECTION 3 N.T.S.

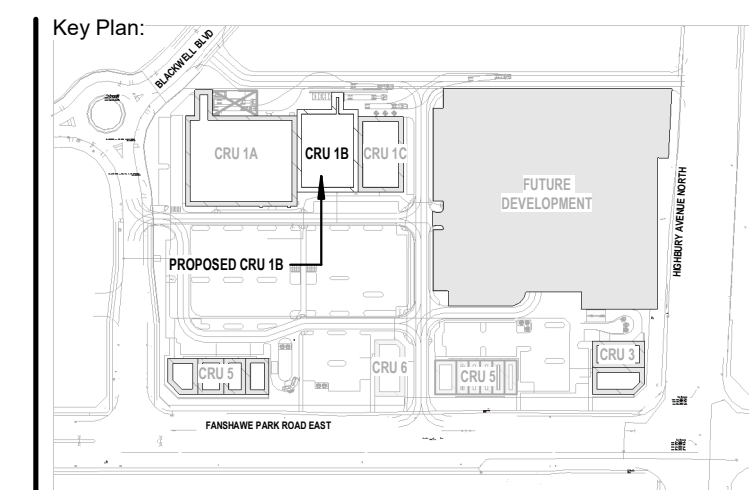
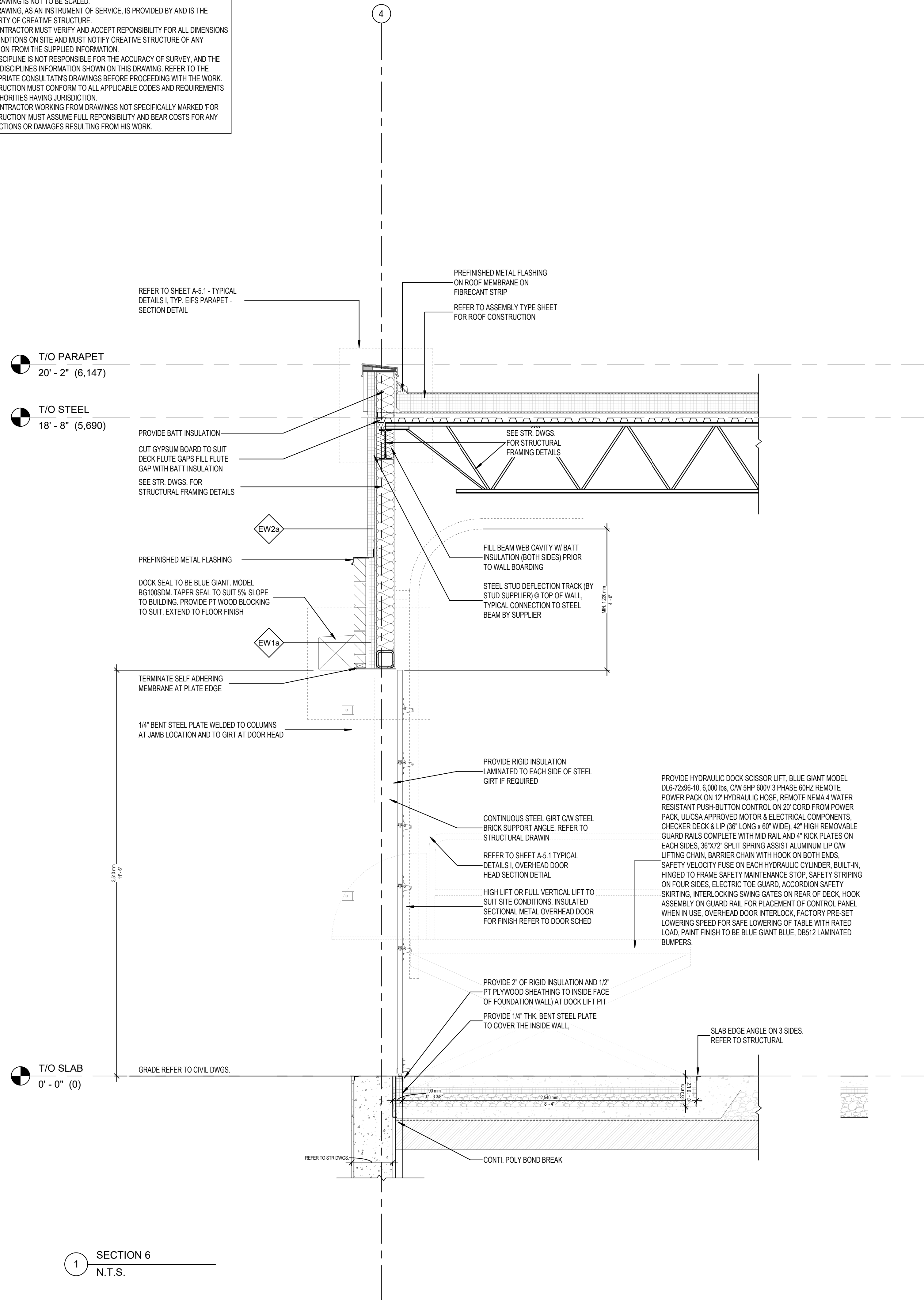


2 SECTION 4 N.T.S.



3 SECTION 5 N.T.S.

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Consultant:

CREATIVE STRUCTURES
CS@CREATIVESTR.CA

Consultant:

NGACAKU ARCHITECTURE INC

Seal: _____ North Arrow: _____

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Project:

WESTDELL
DEVELOPMENT CORP

1300 FANSHAW PARK ROAD.
EAST. - CRU #1-UNIT B

1300 FANSHAW PARK ROAD, EAST, LONDON, ON

Drawing Title:

WALL SECTION III

Drawn By: D.H. Scale: AS INDICATED

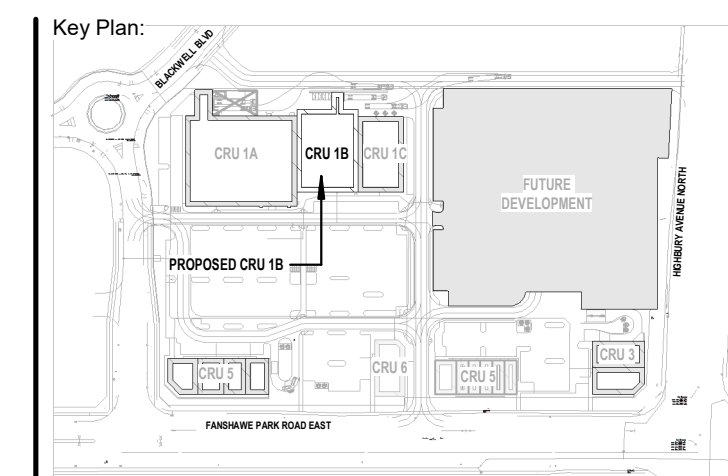
Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: **A-4.3** Revision: **4**

SECTION 6
N.T.S.



Consultant:
CREATIVE STRUCTURES
 CS@CREATIVESTR.CA

Consultant:
NGACAKU ARCHITECTURE INC

Scale: North Arrow.

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No.	Date	Revision
4	APR 02, 2024	ISSUED FOR TENDER
3	MAR 30, 2024	ISSUED FOR COORDINATION

ISSUES/REVISION TABLE

Project:
Westdell DEVELOPMENT CORP
1300 FANSHAW PARK ROAD. EAST. - CRU #1-UNIT B
 1300 FANSHAW PARK ROAD, EAST, LONDON, ON

Drawing Title:

TYPICAL DETAILS I

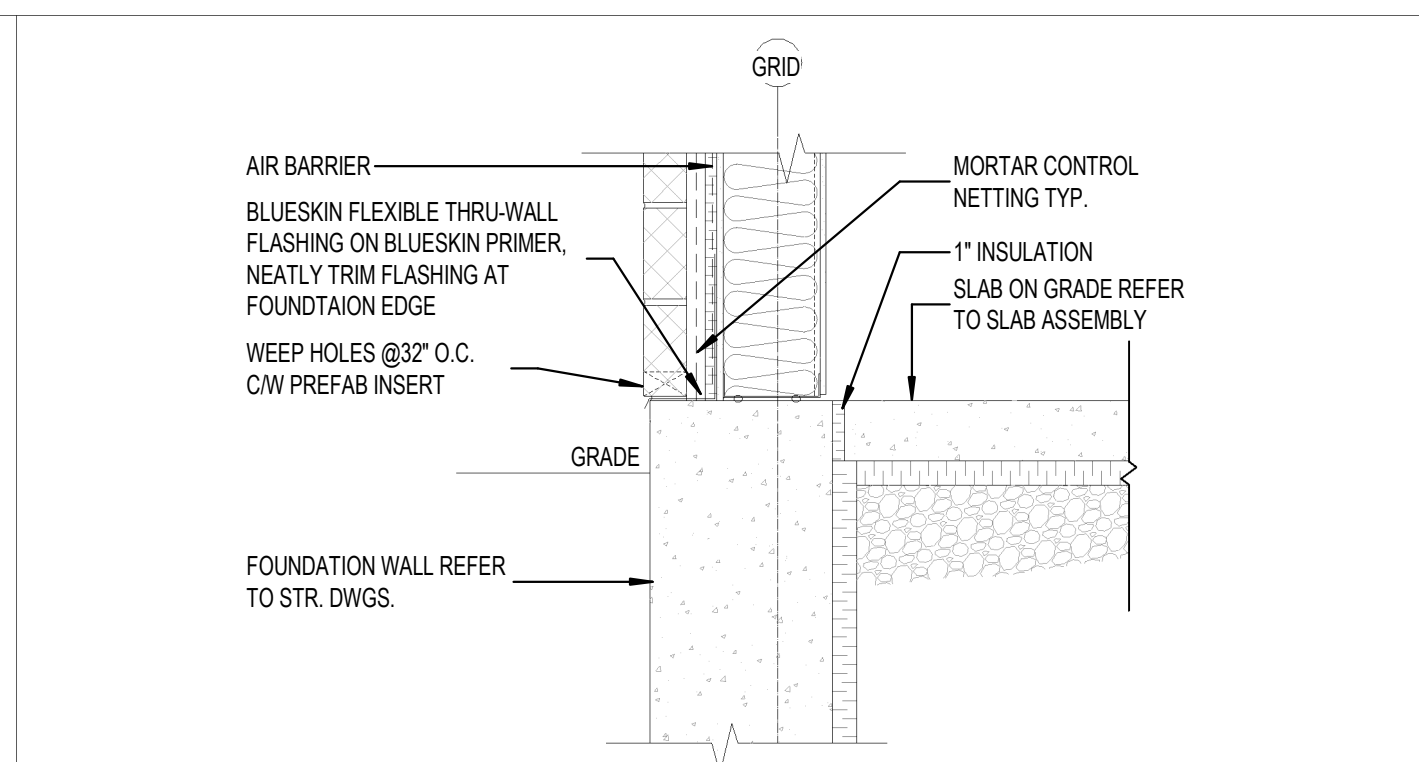
Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

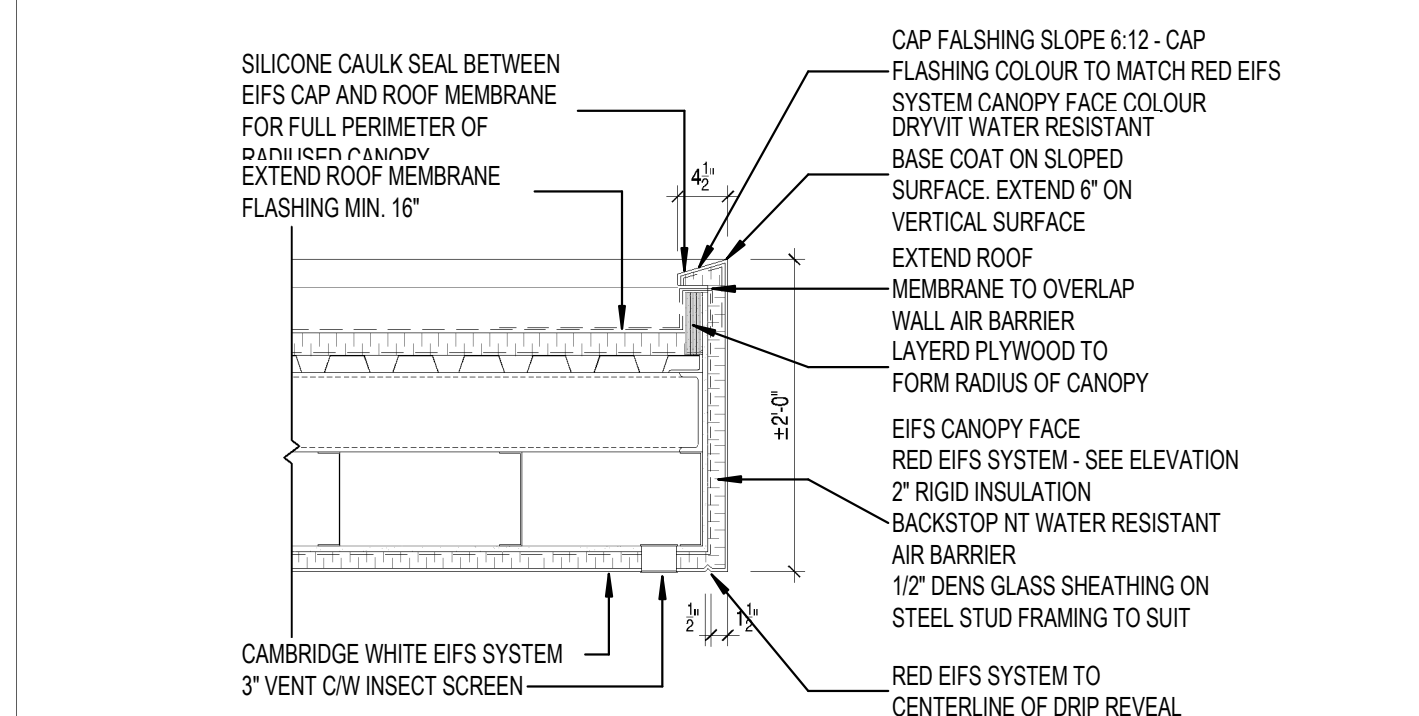
Project Date: JAN 2024

Project No: 2023-102

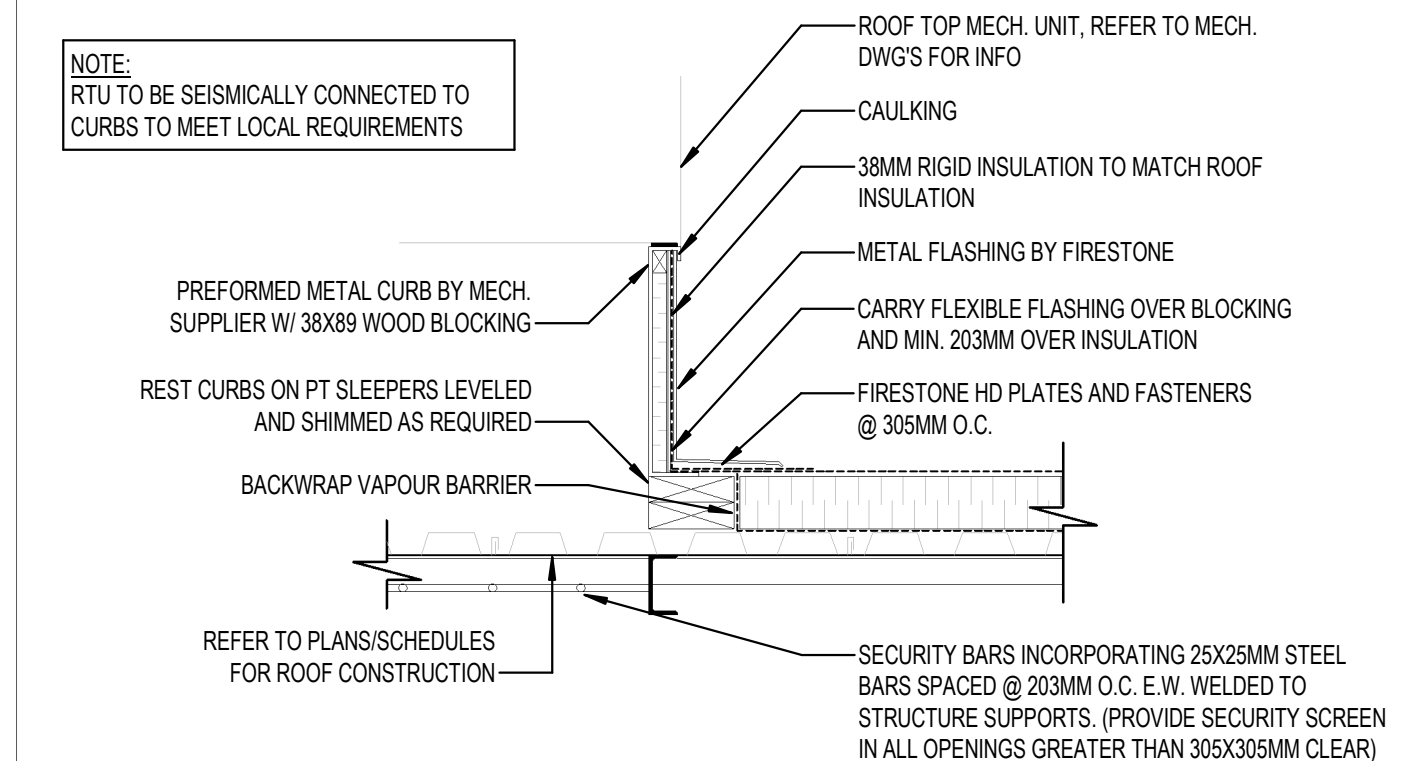
Drawing No: Revision



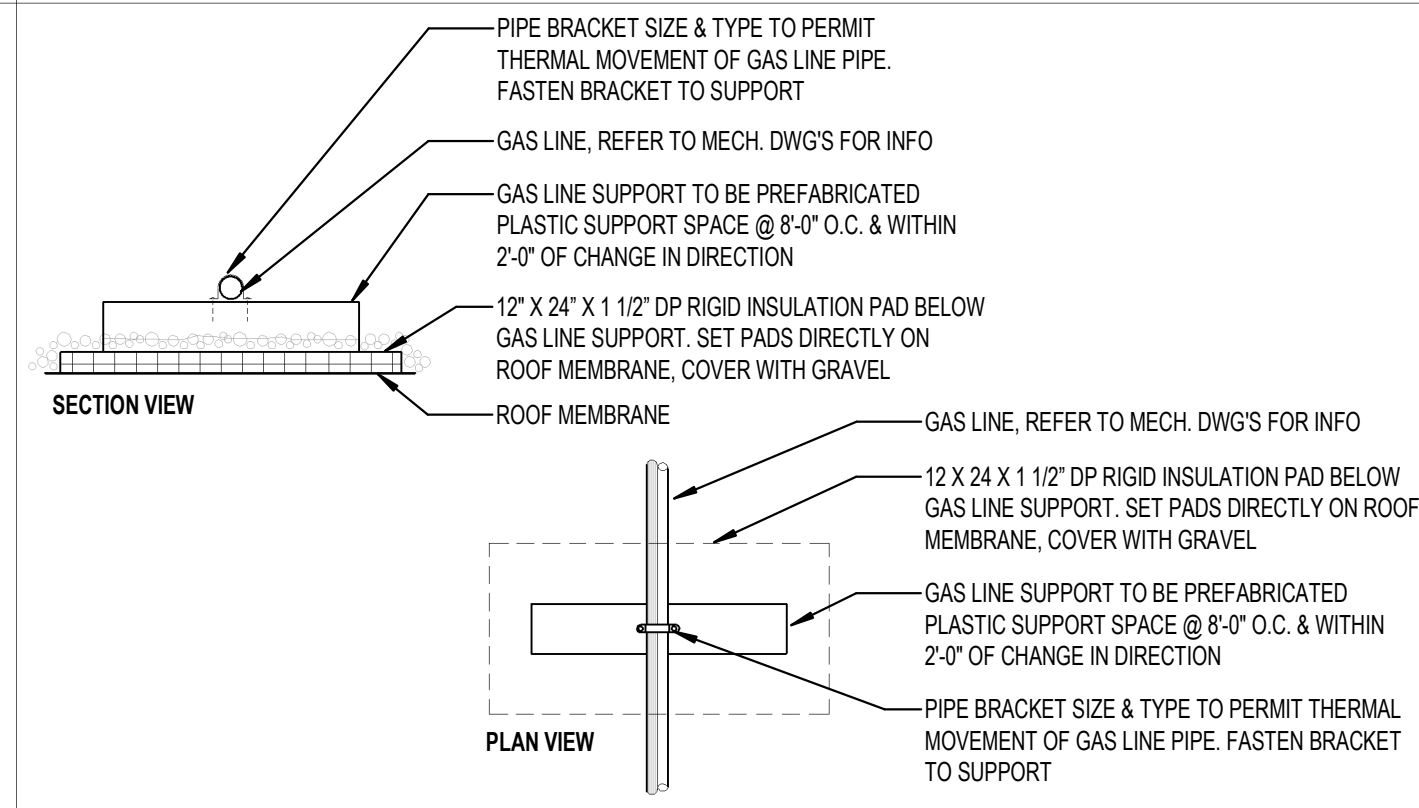
MASONRY LEDGE - SECTION DETAIL
 SCALE= N.T.S.



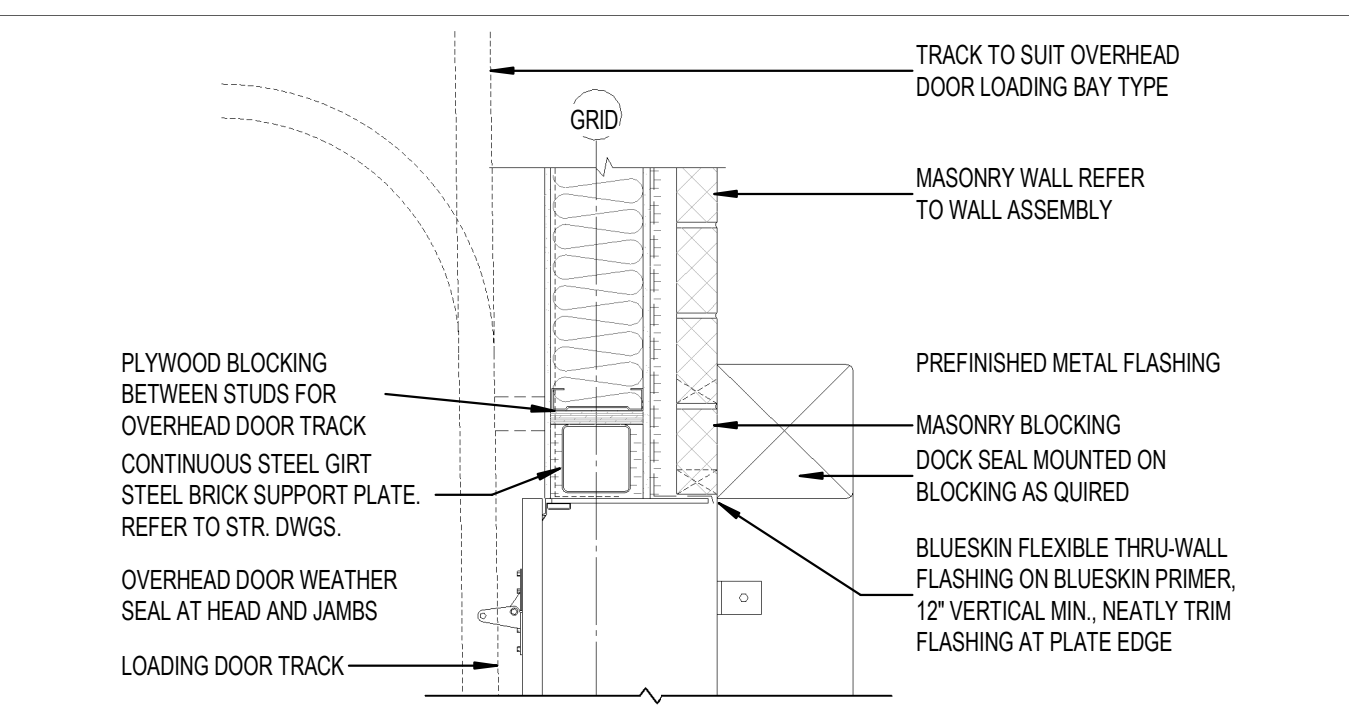
CANOPY FACE - SECTION DETAIL
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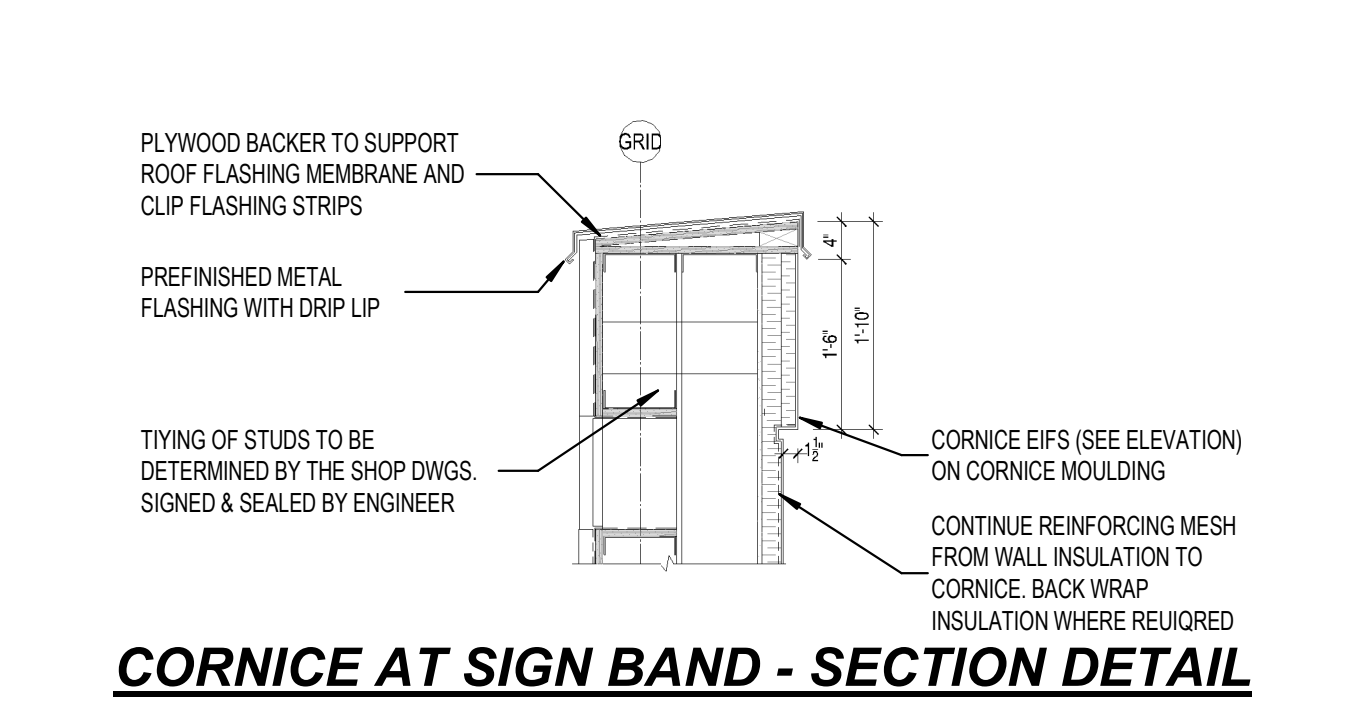
MECH. UNIT ROOF CURB DETAIL
 SCALE= N.T.S.



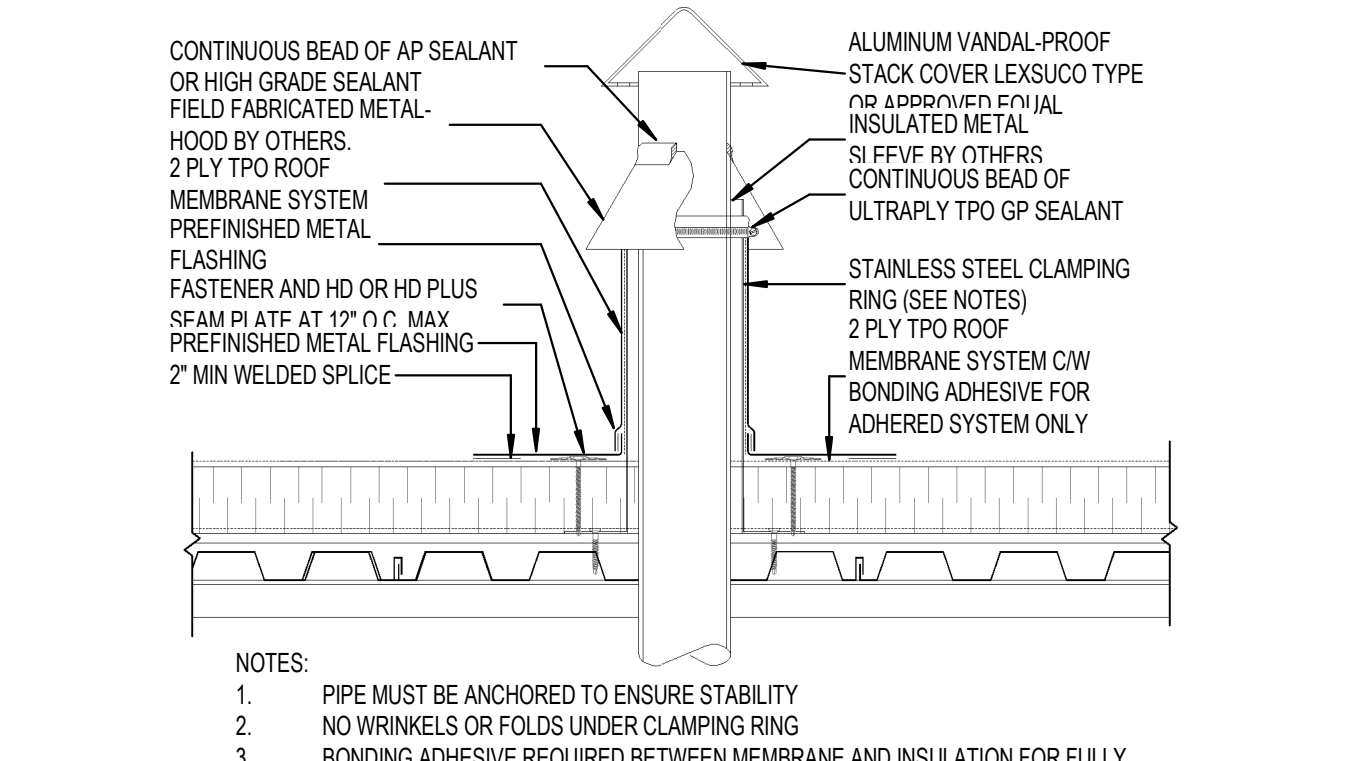
GAS PIPE ROOF SUPPORT DETAIL
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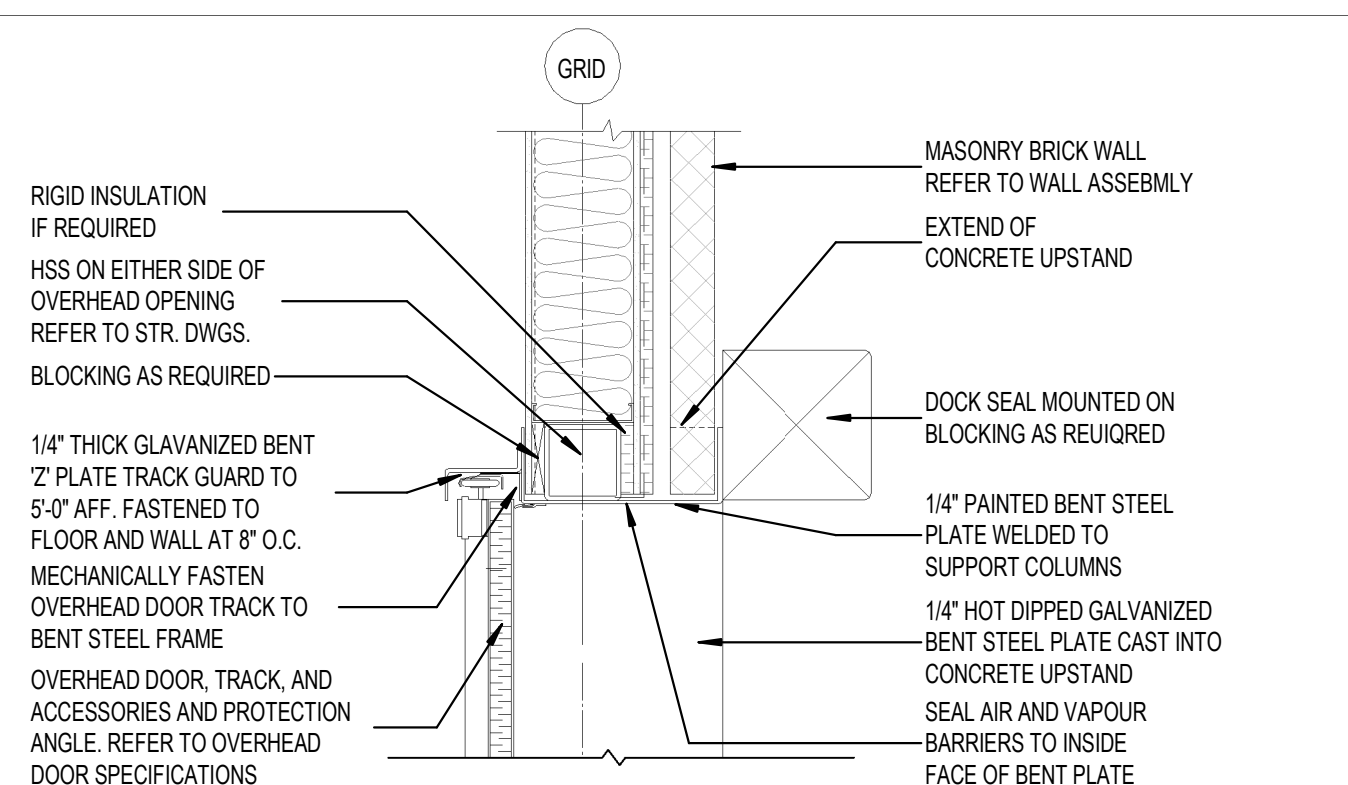
OVERHEAD DOOR JAMB - SECTION DETAIL
 SCALE= N.T.S.



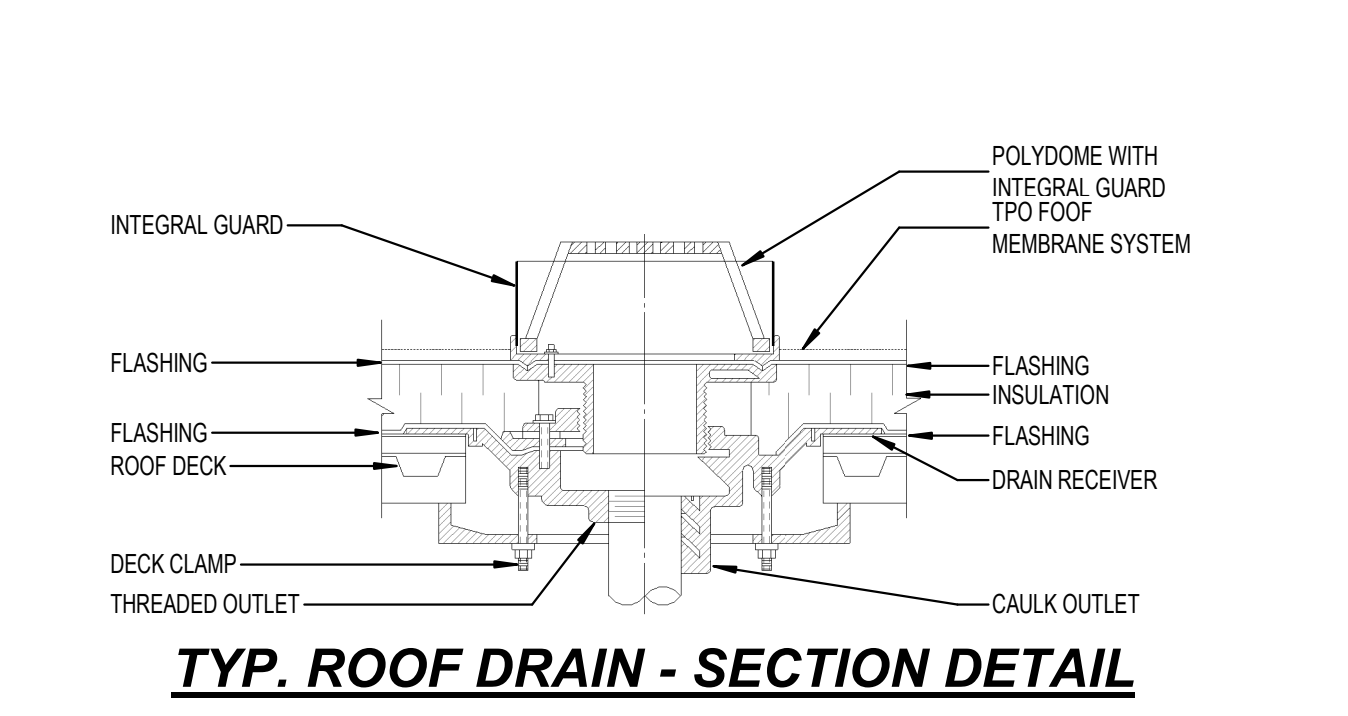
CORNICE AT SIGN BAND - SECTION DETAIL
 SCALE= N.T.S.



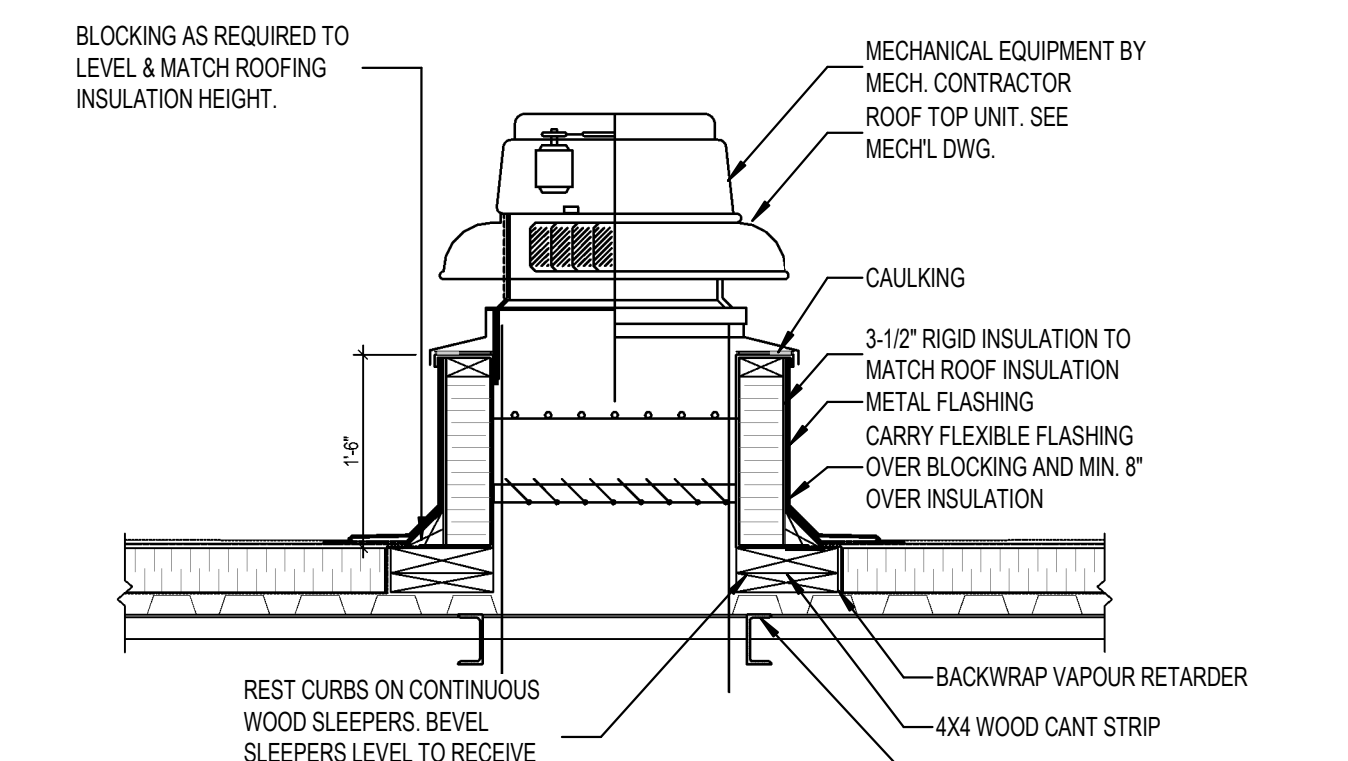
HOT EXHAUST - SECTION DETAIL
 SCALE= N.T.S.



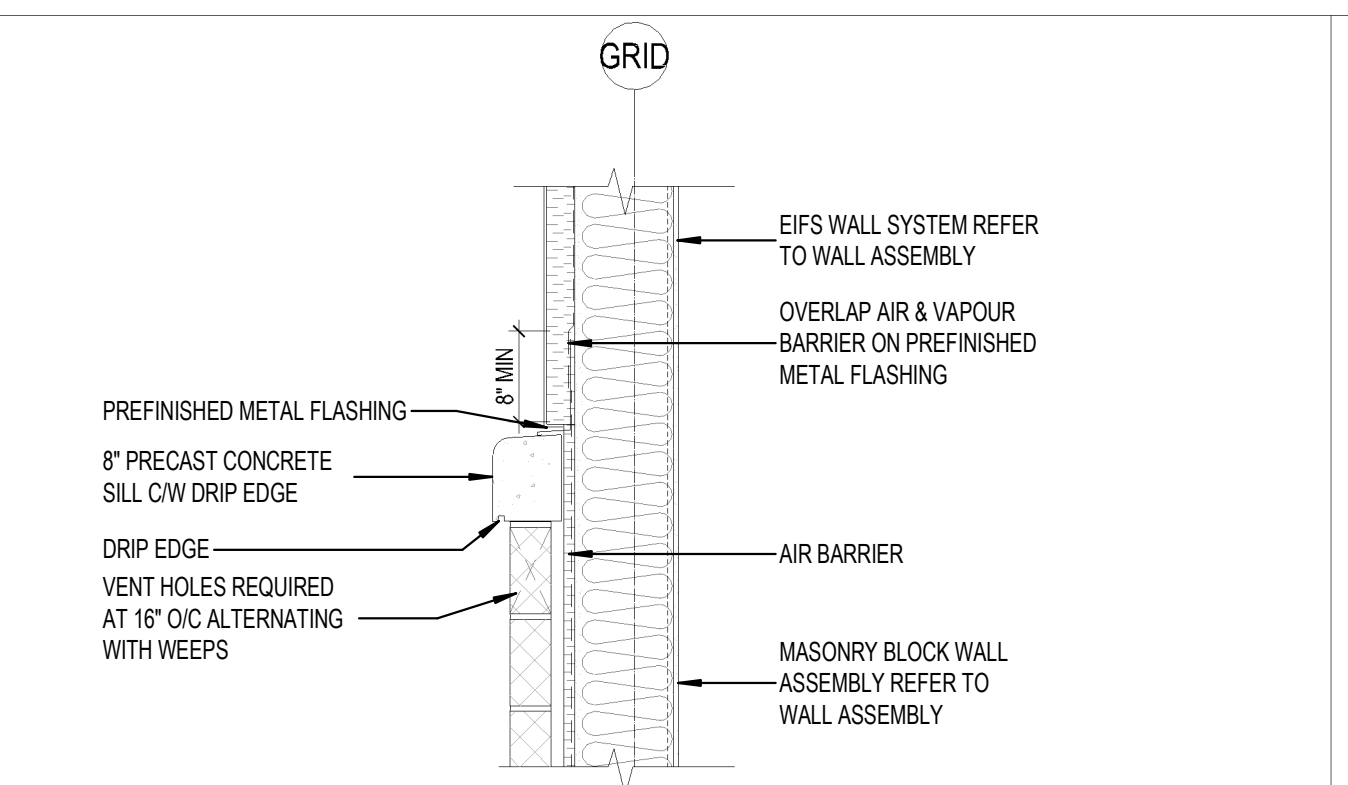
OVERHEAD DOOR JAMB - PLAN DETAIL
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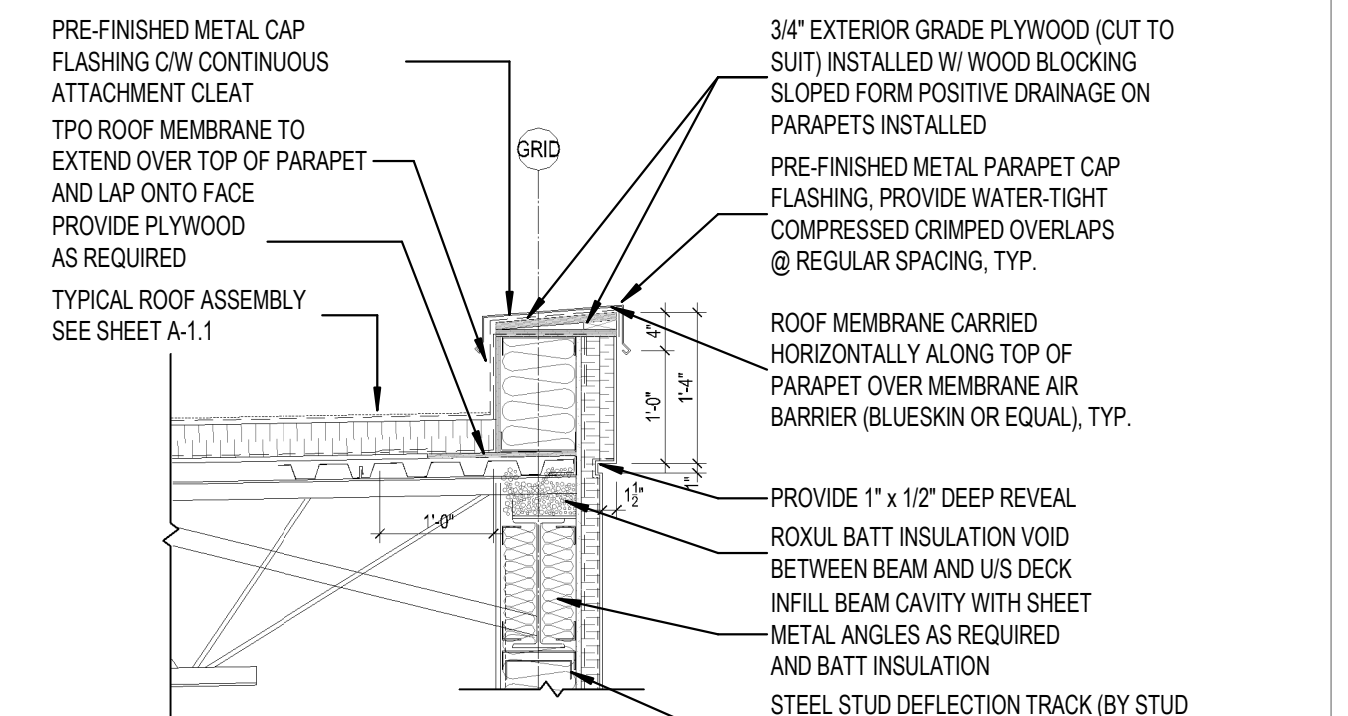
TYP. ROOF DRAIN - SECTION DETAIL
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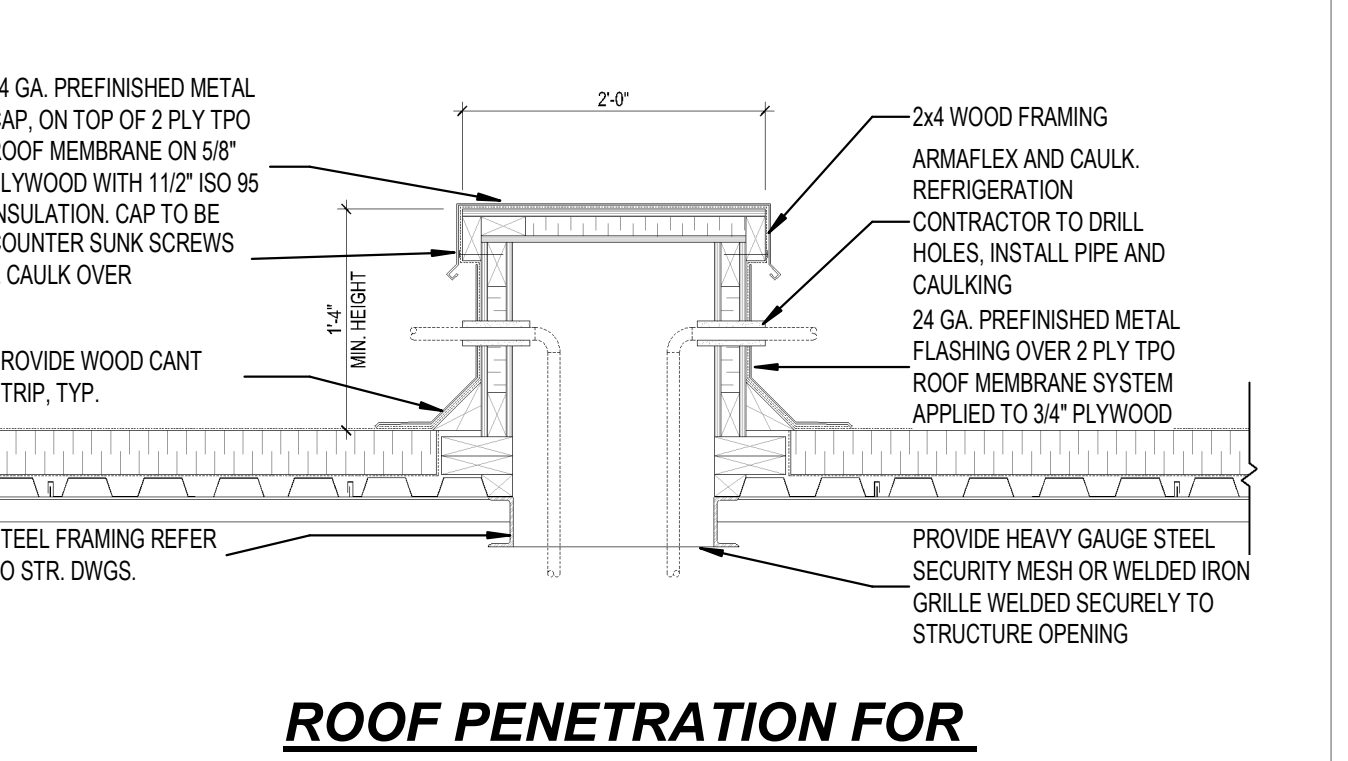
ROOF CURB FOR FAN EQUIP. - SECTION DETAIL
 SCALE= N.T.S.



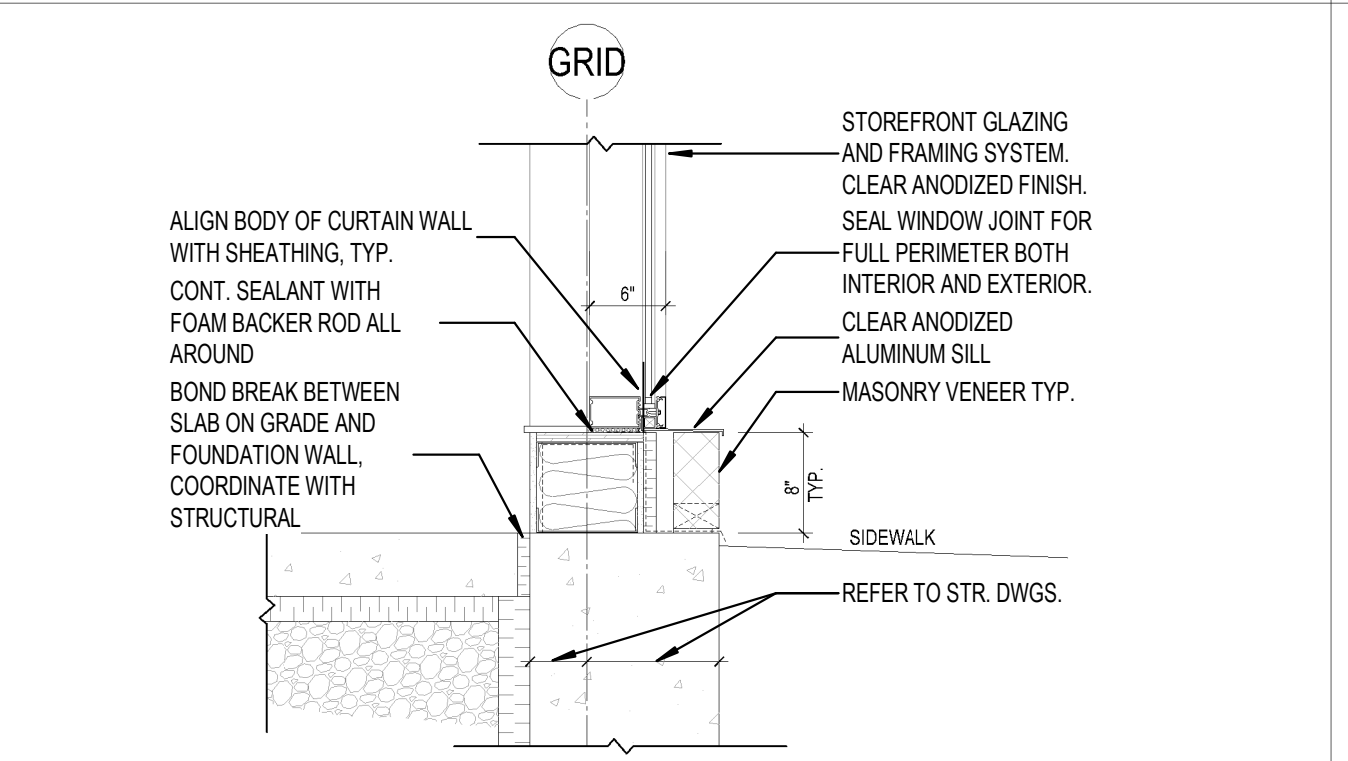
EIFS AND PRECAST JUNCTION - SECTION DETAIL
 SCALE= N.T.S.



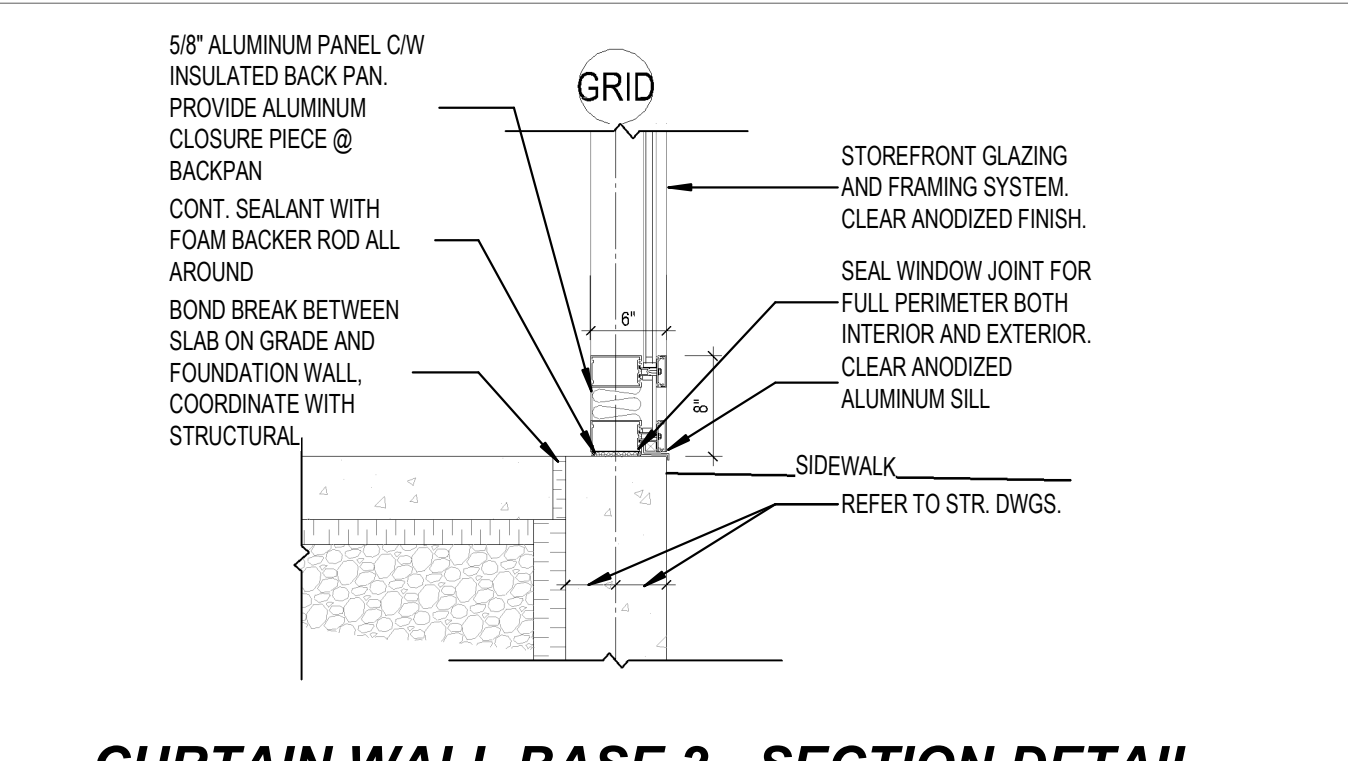
TYP. EIFS PARAPET - SECTION DETAIL
 SCALE= N.T.S.



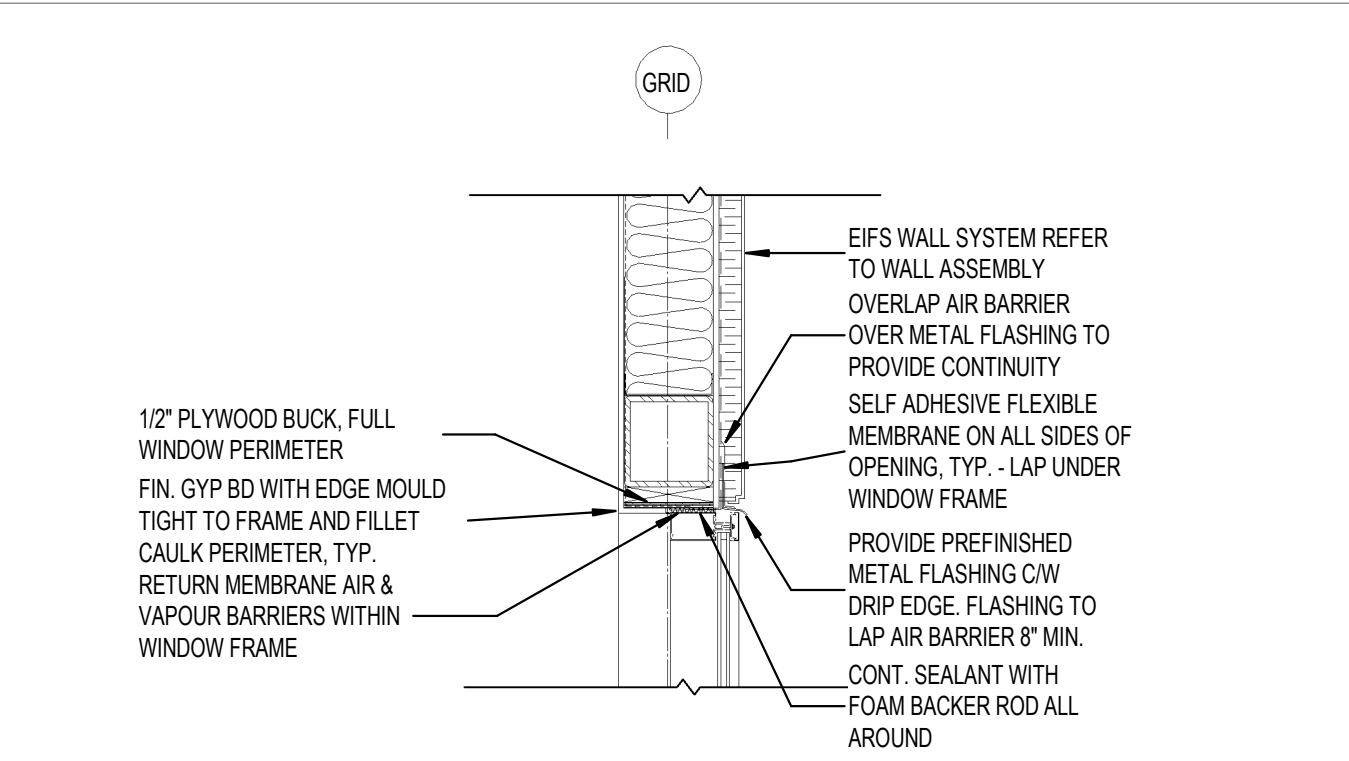
ROOF PENETRATION FOR ADAPTAPAK - SECTION DETAIL
 SCALE= N.T.S.



CURTAIN WALL BASE - SECTION DETAIL
 SCALE= N.T.S.

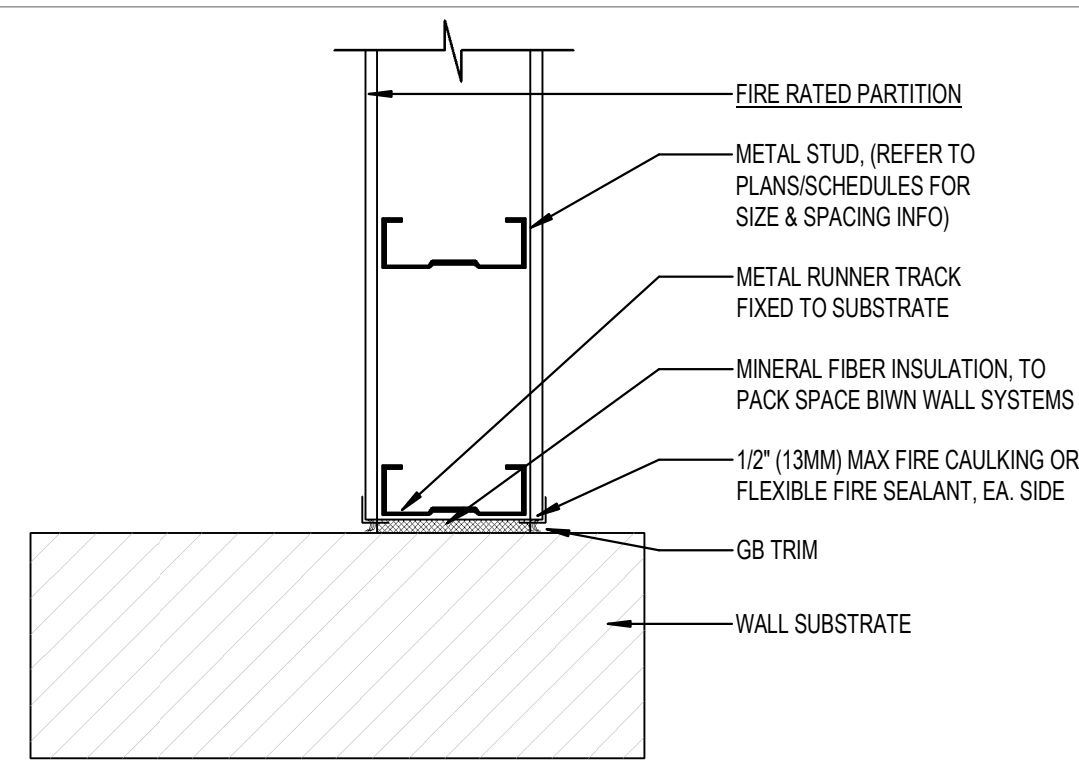


CURTAIN WALL BASE 2 - SECTION DETAIL
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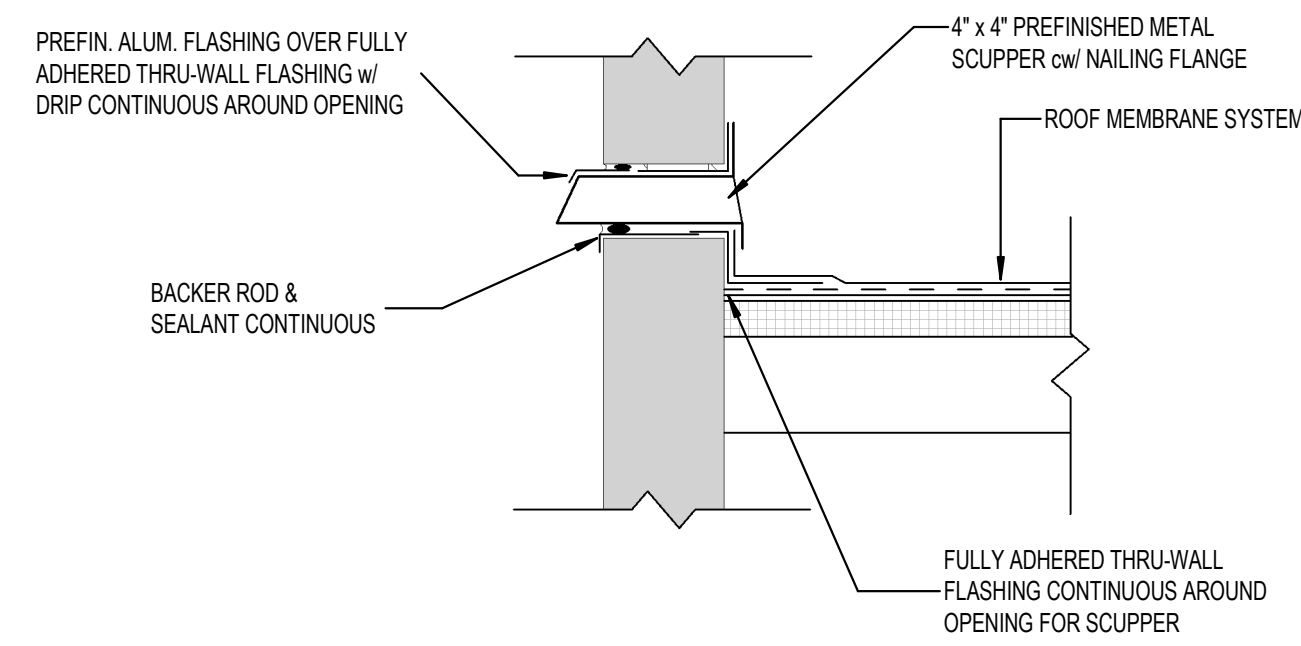


WINDOW HEAD - SECTION DETAIL
 SCALE= N.T.S.

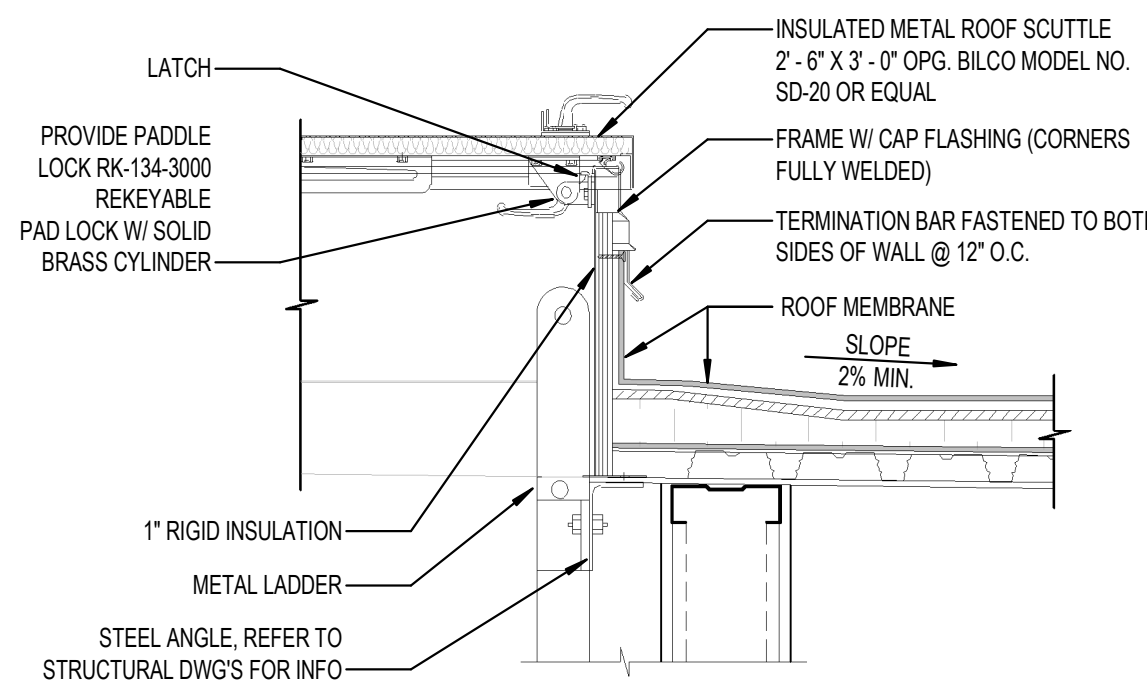
GAS PIPE ROOF SUPPORT DETAIL
 SCALE= N.T.S.



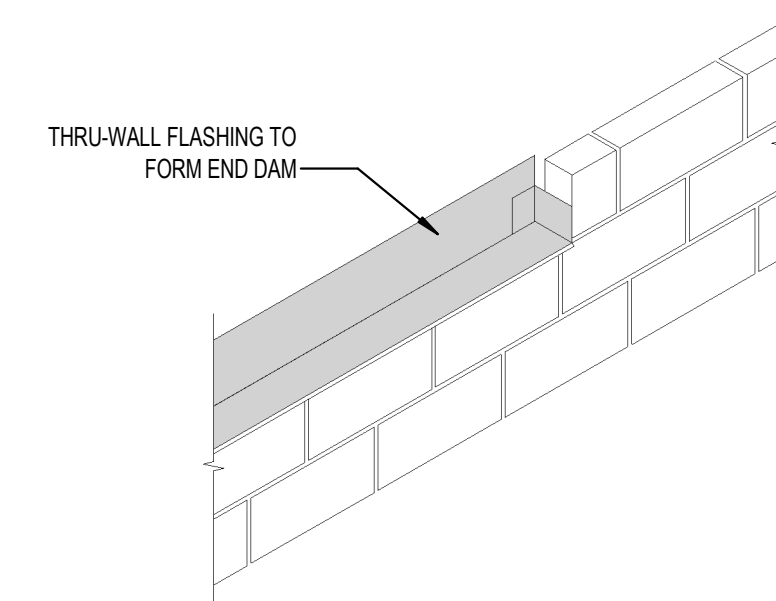
FIRE SEPARATION TERMINATION @ WALL EDGE
SCALE= N.T.S.



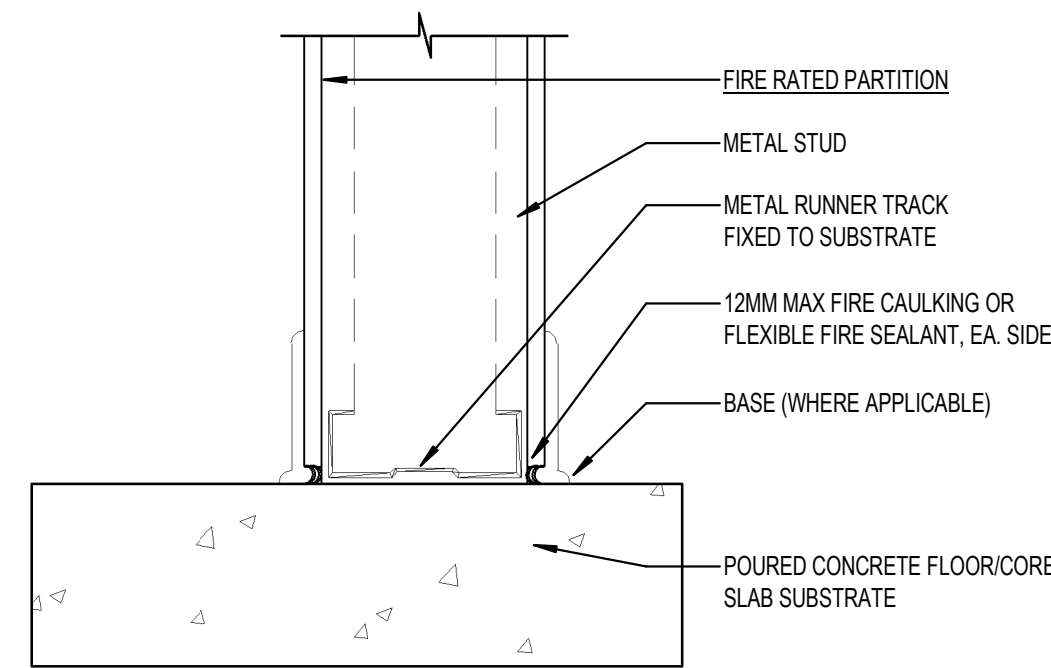
SCUPPER DETAIL
SCALE= N.T.S.



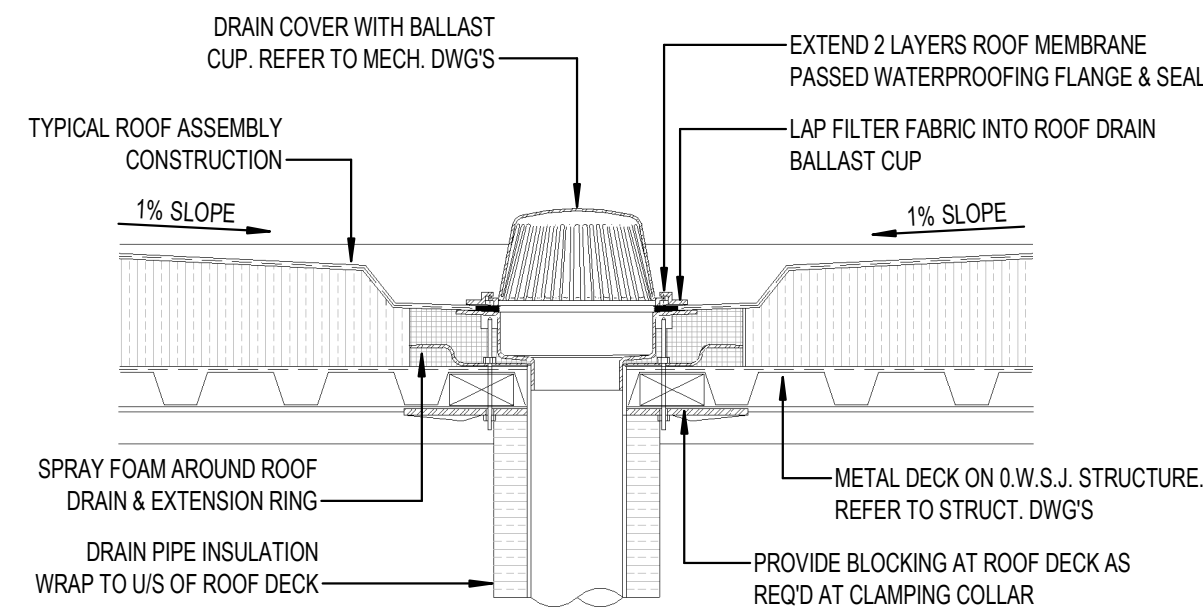
ROOF ACCESS HATCH CURB DETAIL
SCALE= N.T.S.



END DAM DETAIL
SCALE= N.T.S.

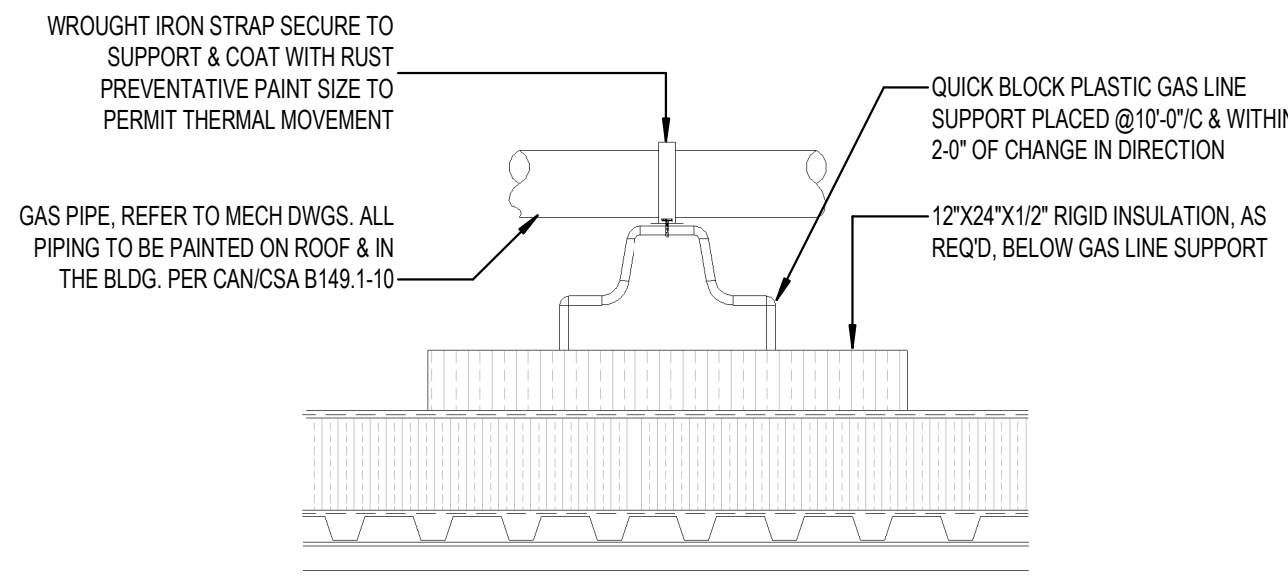


FIRE SEPARATION TERMINATION @ WALL BASE
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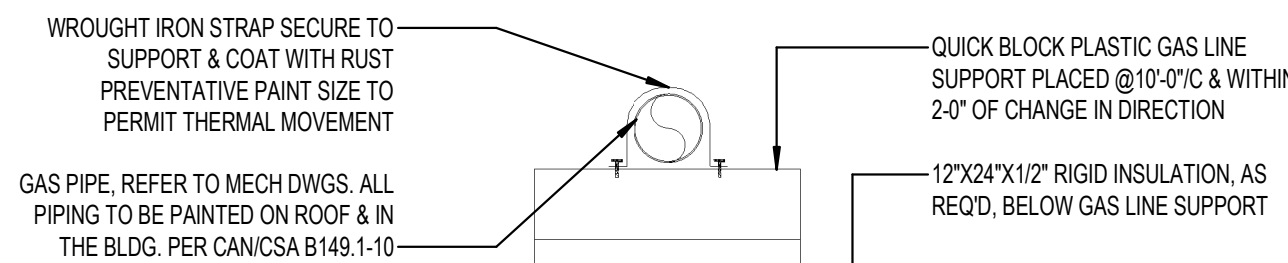


ROOF DRAIN DETAIL
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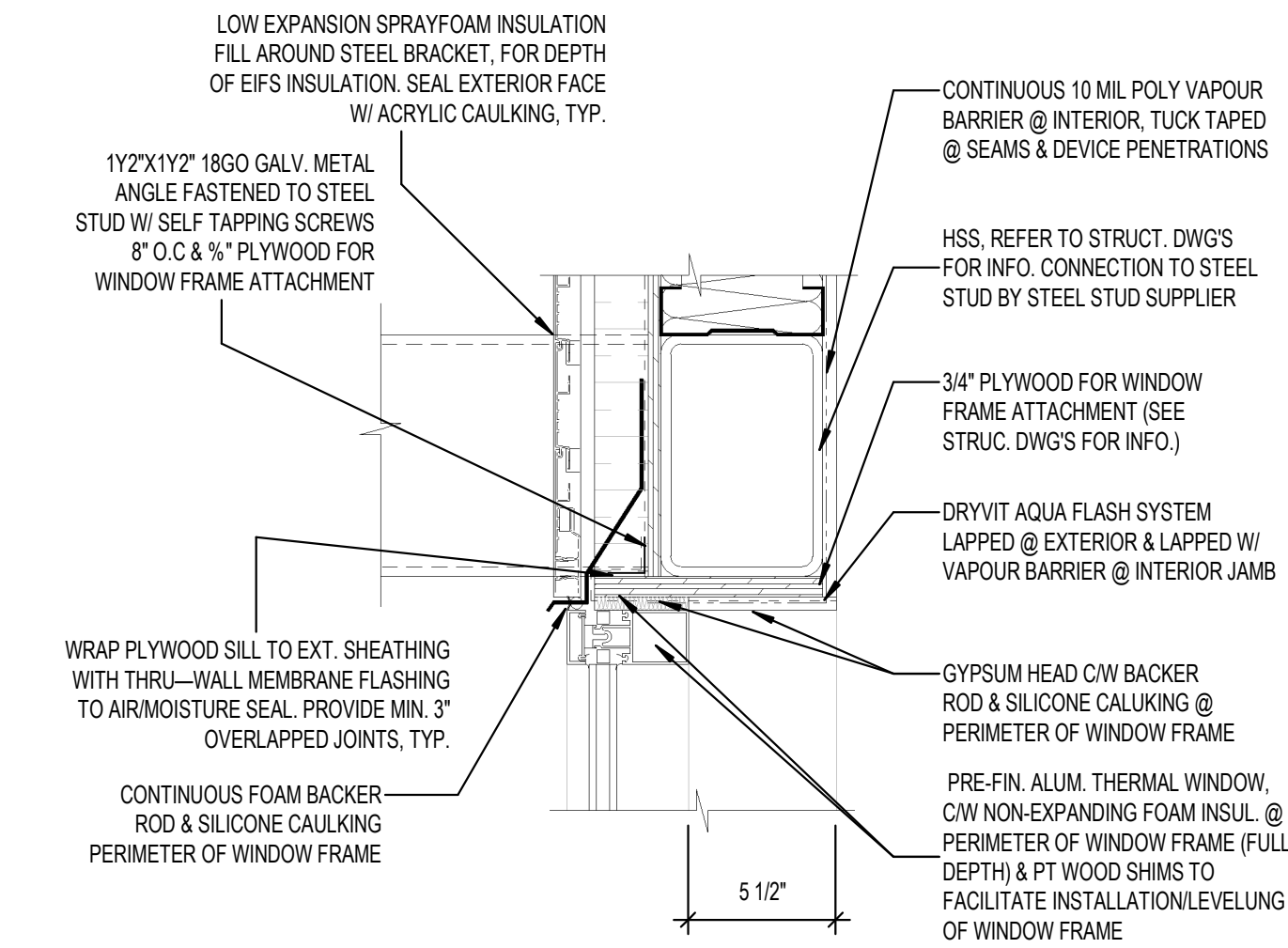
REFER TO MECH. DWGS. FOR LOCATION & EXTENT OF ROOF DRAINS.
REFER TO ROOF DRAIN MANUF. SPEC. FOR ALL INSTALLATION INSTRUCTIONS.



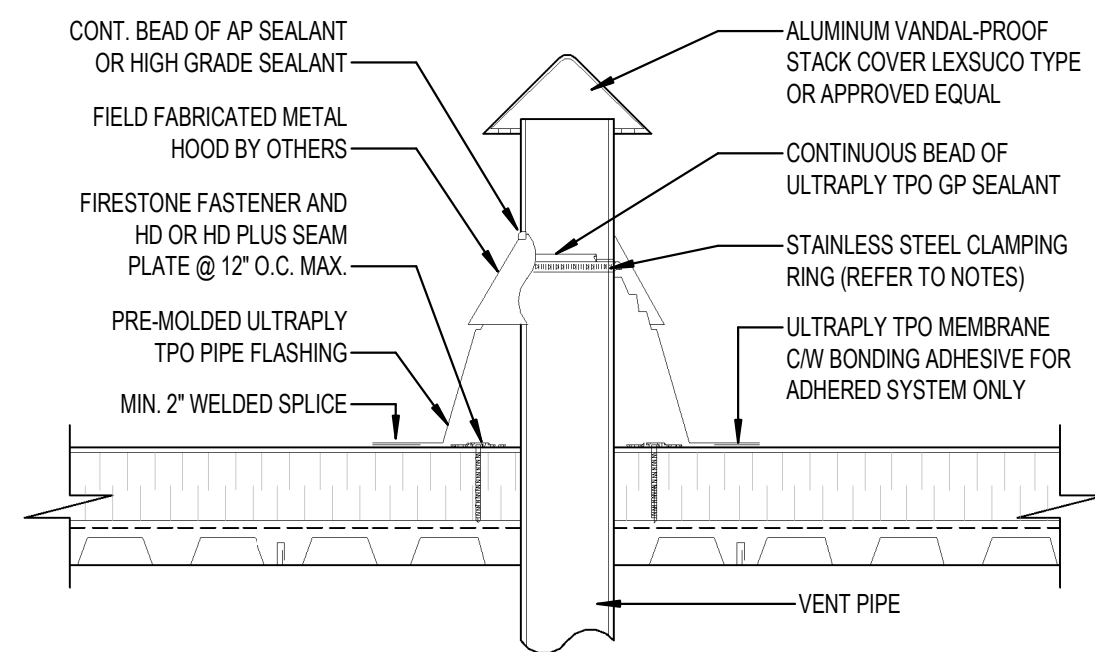
GAS PIPE ROOF SUPPORT DETAIL
SCALE= N.T.S.



REFER TO MECH. DWGS. ALL PIPING TO BE PAINTED ON ROOF & IN THE BLDG. PER CAN/CSA B149.1-10

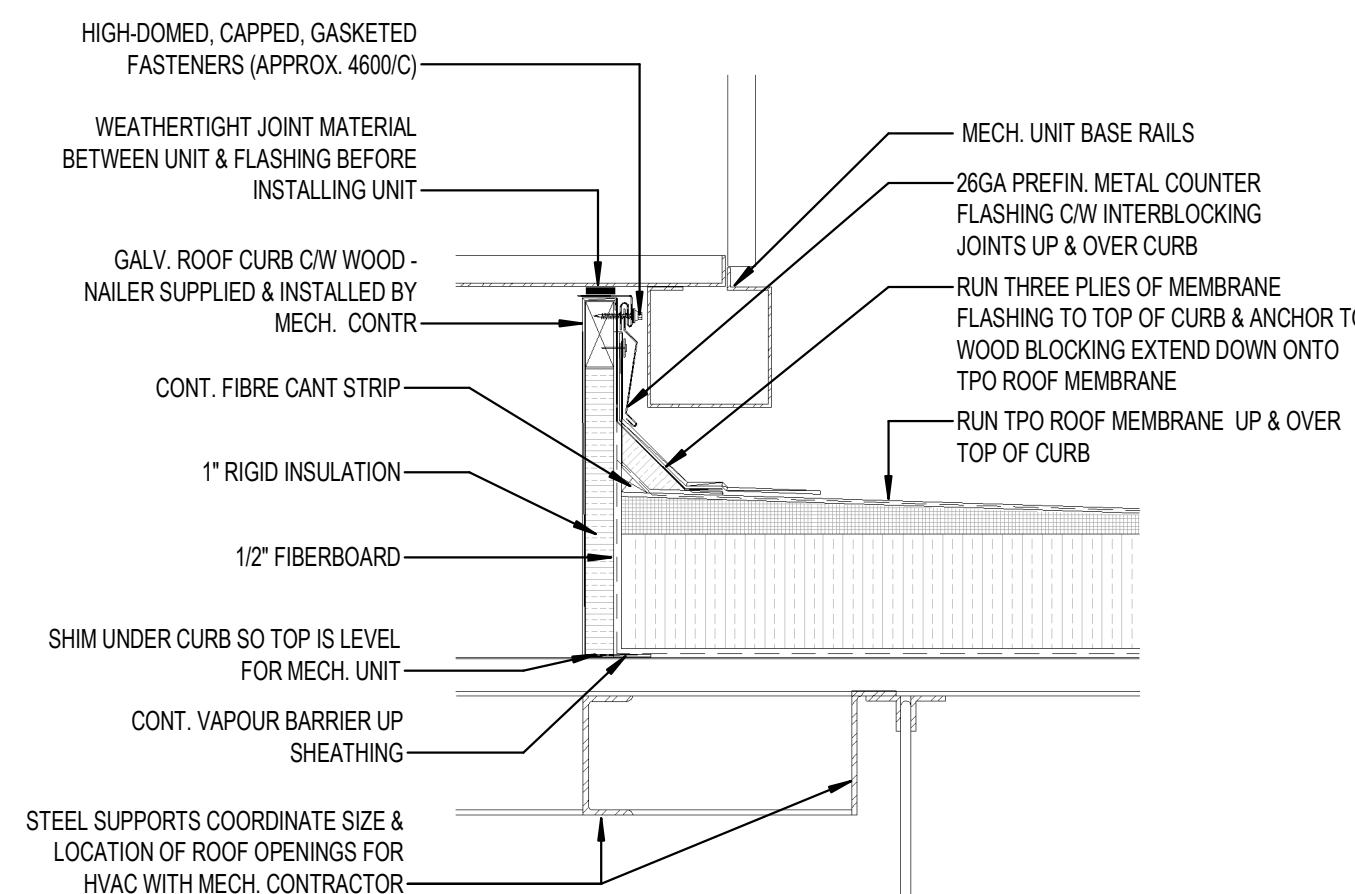


WINDOW HEAD FLASHING DETAIL
SCALE= N.T.S.



- NOTES:
- PIPE MUST BE ANCHORED TO ENSURE STABILITY
 - PRE-MOLDED PIPE FLASHING MAY BE CUT TO HEIGHT, BUT NO LOWER THAN REINFORCING RING (ENSURE NO WRINKLES OR FOLDS UNDER CLAMPING RING)
 - APPLY GP SEALANT BETWEEN PENETRATION AND PRE-MOLDED PIPE FLASHING PRIOR TO INSTALLATION OF CLAMPING RING
 - LARGE PRE-MOLDED PIPE FLASHING FITS 4\"/>

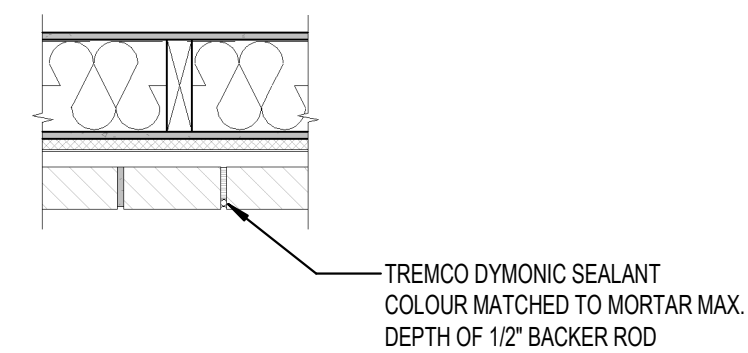
VENT PIPE DETAIL
SCALE= N.T.S.



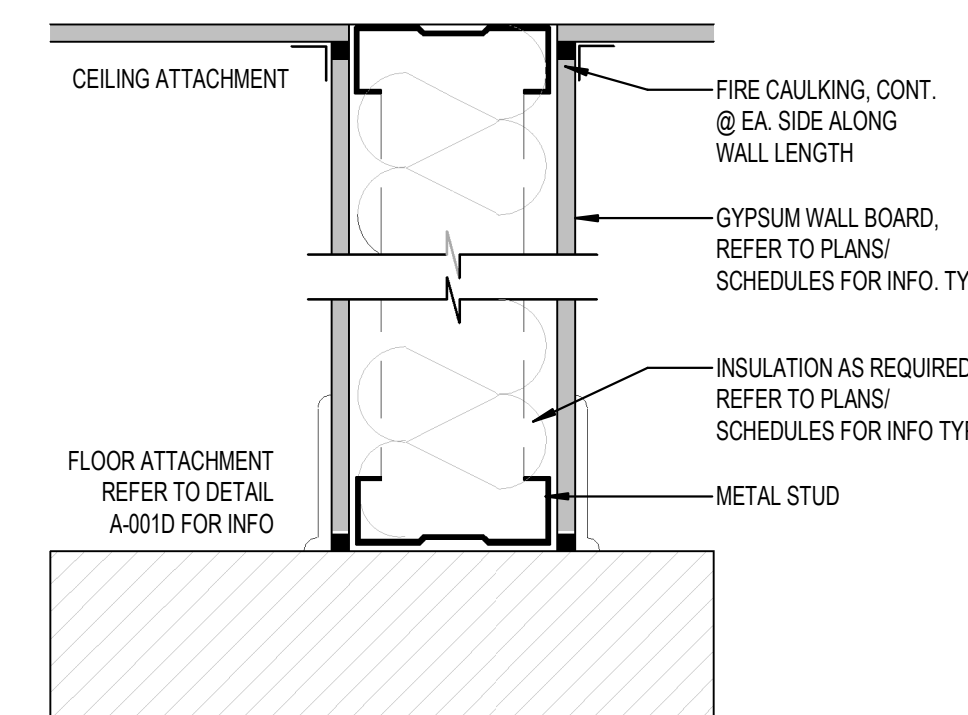
HVAC ROOF CURB DETAIL
SCALE= N.T.S.

NOTE:
WHEN POSSIBLE, THE MECHANICAL UNITS SHOULD NOT BE SET UNTIL THE ROOF MEMBRANE AND FLASHING HAVE BEEN INSTALLED. THE CURBS, TOP NAILER AND SEAL STRIP ARE TO BE SUPPLIED BY THE CURB MANUFACTURER. PROVIDE SECURITY SCREEN IN ALL OPENINGS GREATER THAN 12\"/>

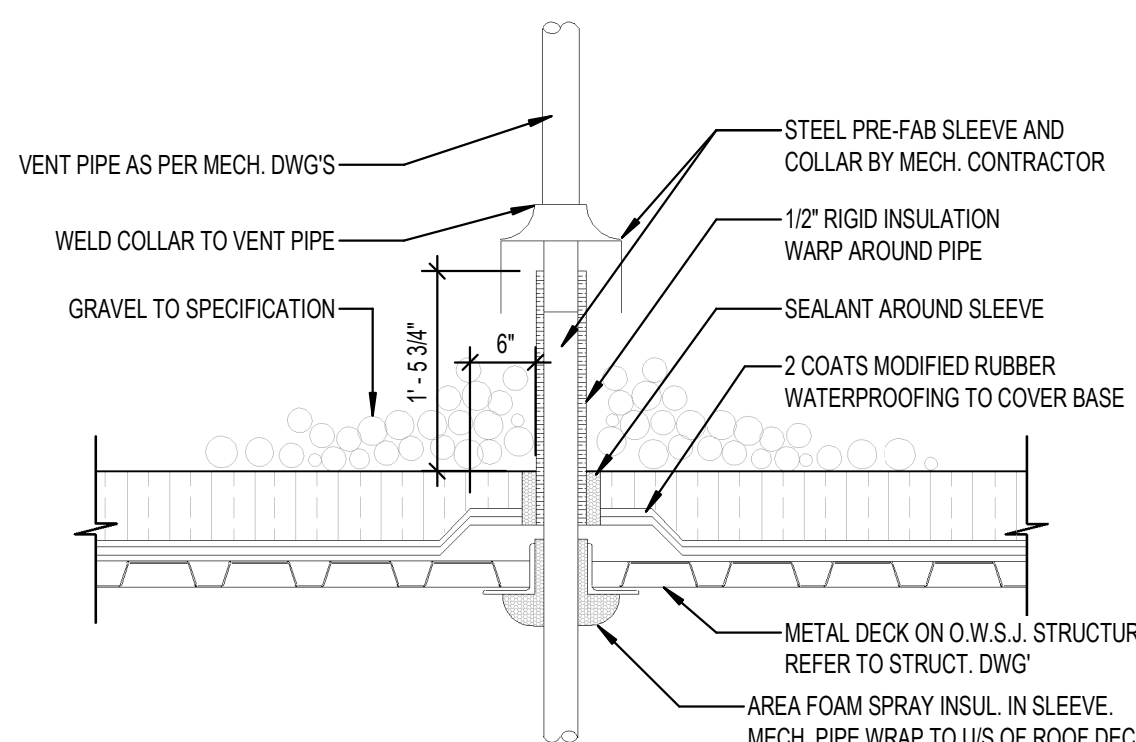
CONTROL JOINT (CJ)
SCALE= N.T.S.



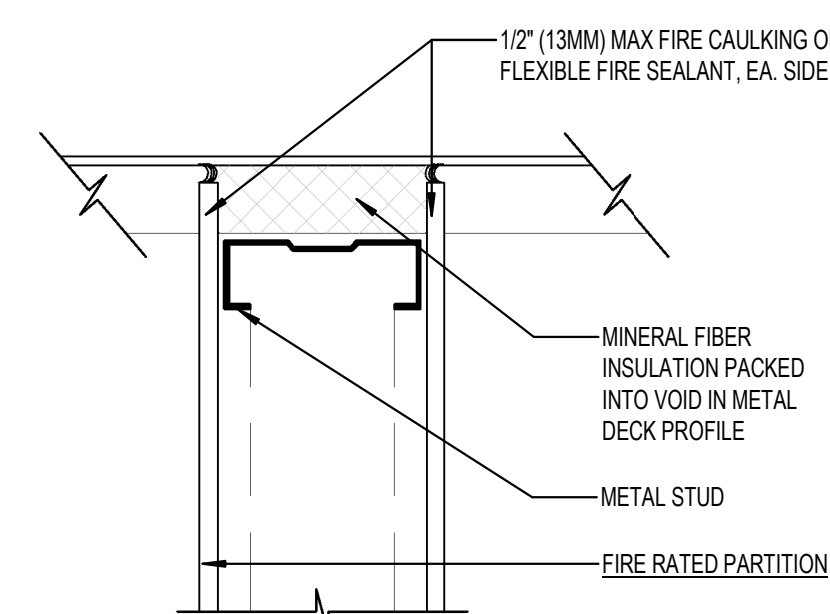
TYPICAL CONTROL JOINT IN FACE BRICK & MASONRY VENEERS



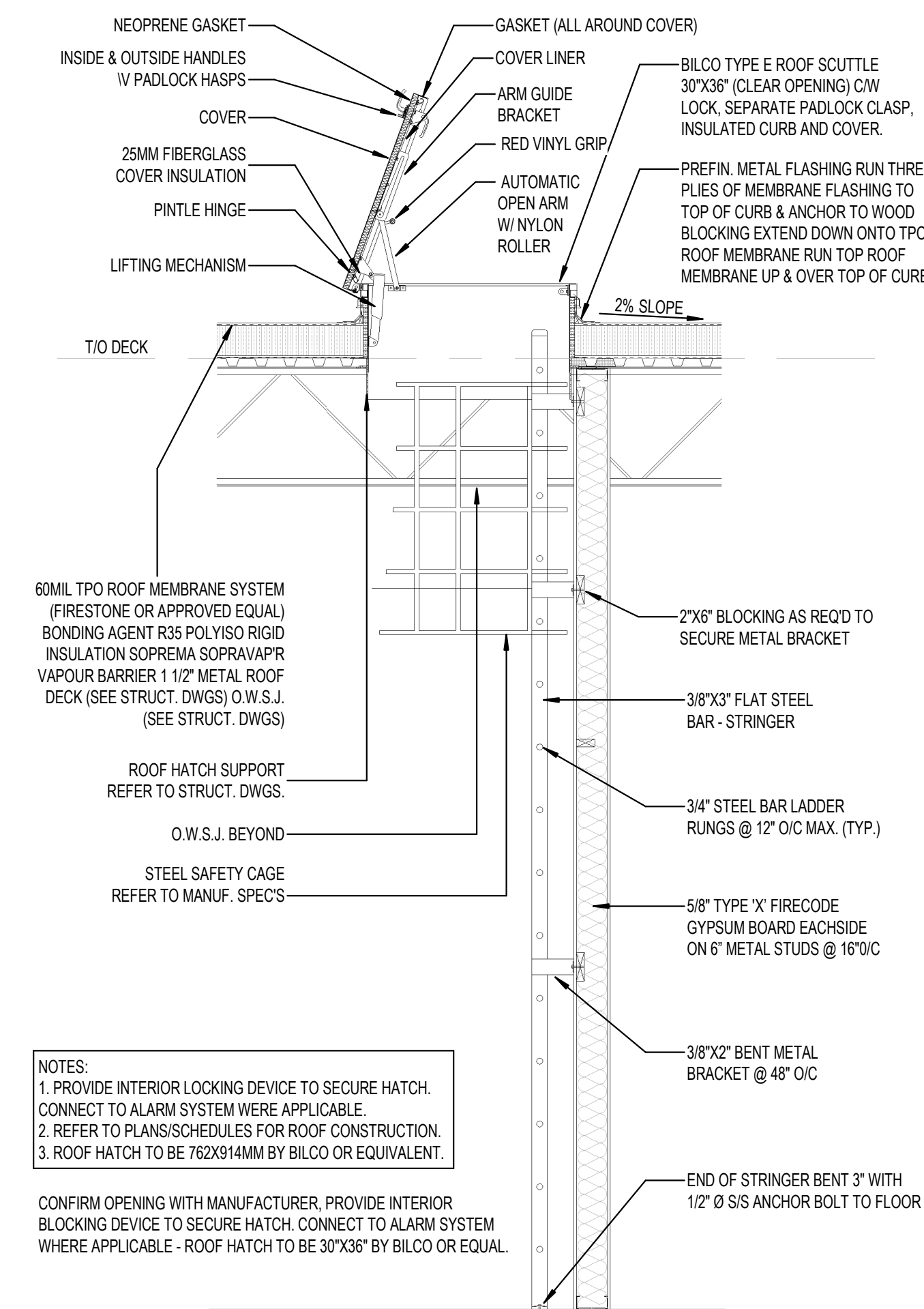
FIRE RESISTANT ASSEMBLIES PARTITION SECTION
SCALE= N.T.S.



VENT STACK DETAIL
SCALE= N.T.S.



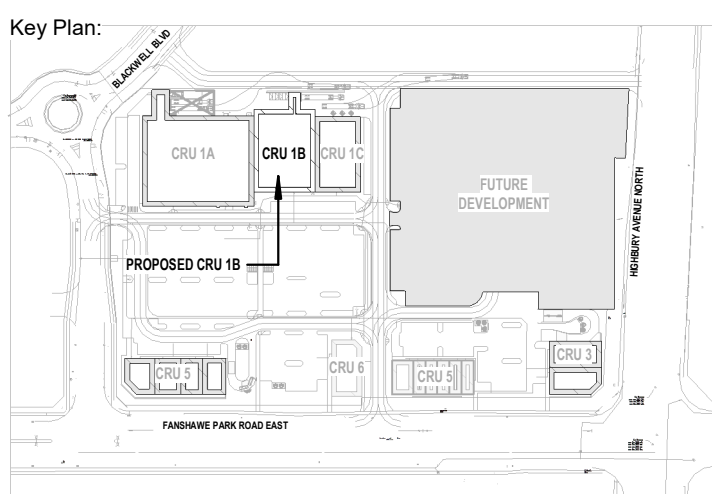
FIRE SEPARATION TERMINATION @ WALL BASE
SCALE= N.T.S.



- NOTES:
- PROVIDE INTERIOR LOCKING DEVICE TO SECURE HATCH. CONNECT TO ALARM SYSTEM WHERE APPLICABLE.
 - REFER TO PLANS/SCHEDULES FOR ROOF CONSTRUCTION.
 - ROOF HATCH TO BE 762X914MM BY BILOCO OR EQUIVALENT.

CONFIRM OPENING WITH MANUFACTURER. PROVIDE INTERIOR BLOCKING DEVICE TO SECURE HATCH. CONNECT TO ALARM SYSTEM WHERE APPLICABLE - ROOF HATCH TO BE 30\"/>

SECTION AT ACCESS HATCH
SCALE= N.T.S.



Consultant:



CS@CREATIVESTR.CA

Consultant:



Scale:

North Arrow:

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No.	Date	Revision
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3	MAR 30, 2024	ISSUED FOR COORDINATION

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Project:
Westdell DEVELOPMENT CORP
1300 FANSHAWE PARK ROAD, EAST. - CRU #1-UNIT B
1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

Drawing Title:

TYPICAL DETAILS II

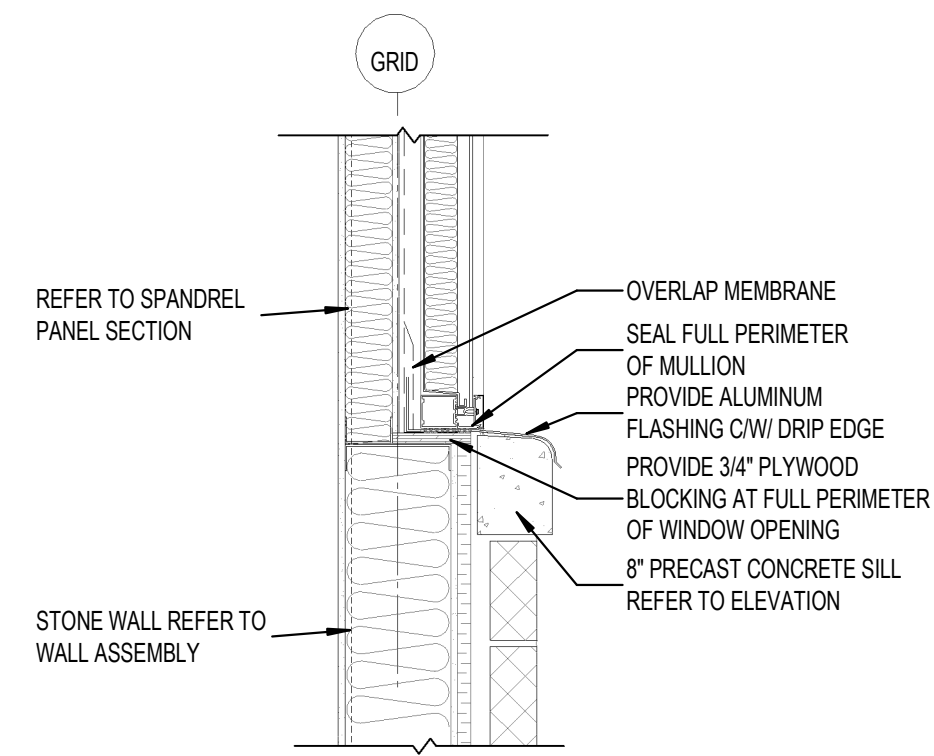
Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

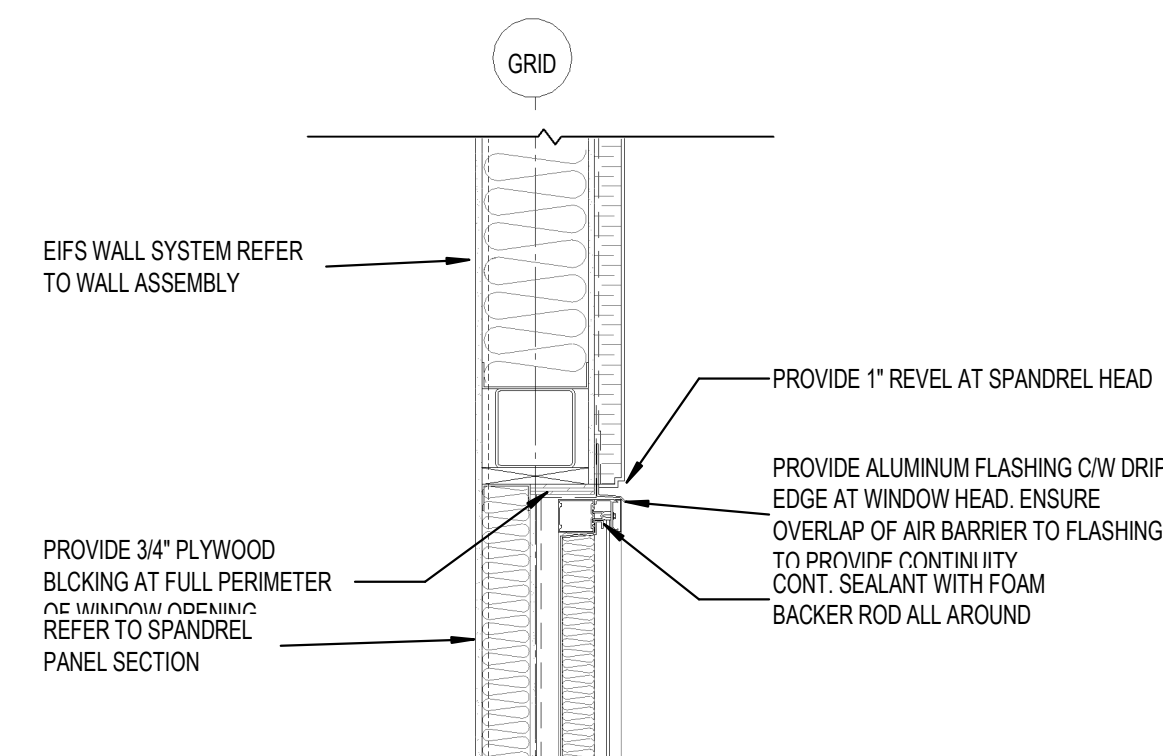
Project Date: JAN 2024

Project No: 2023-102

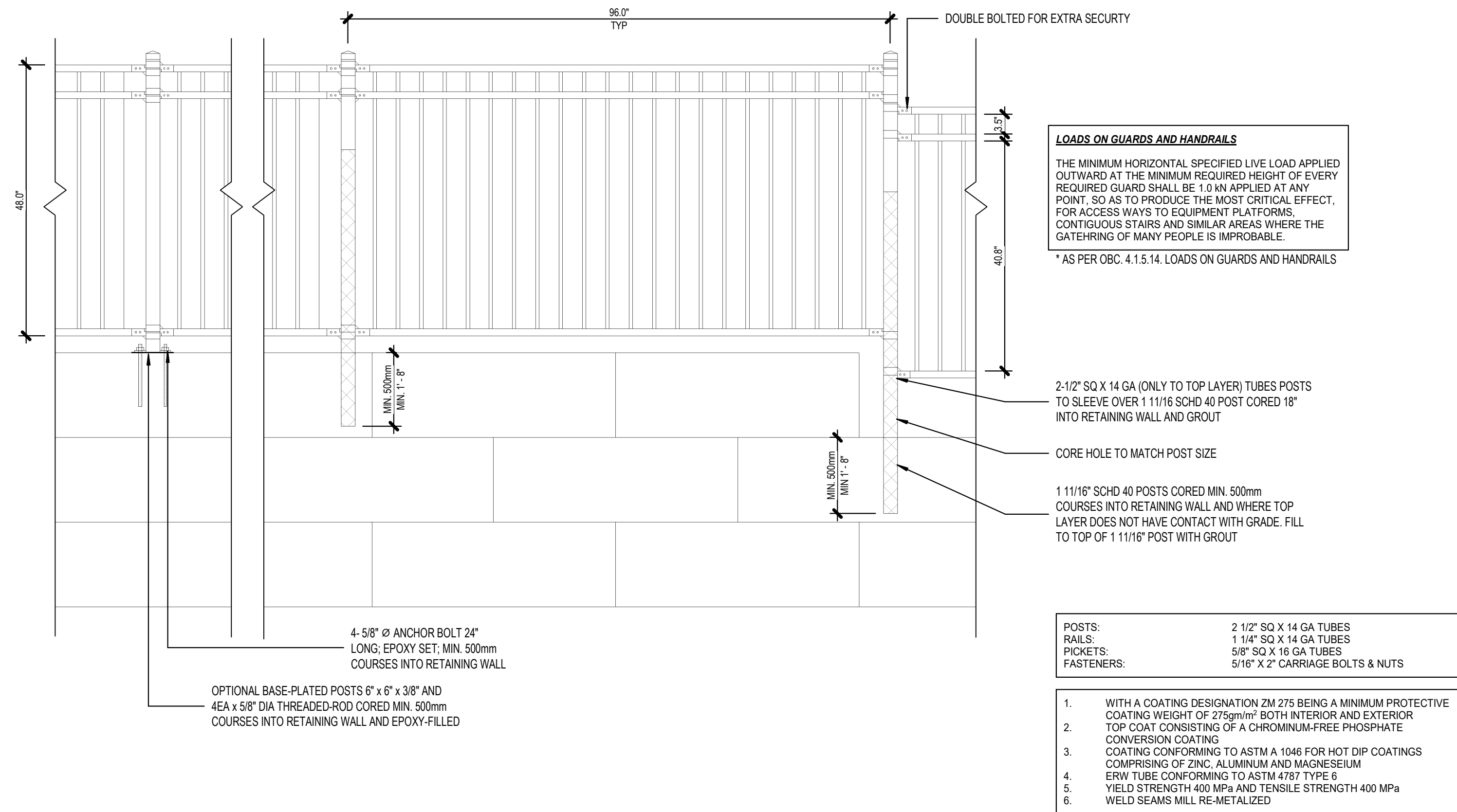
Drawing No: Revision



SPANDREL SILL ALONG STONE - SECTION DETAIL
SCALE= N.T.S.



SPANDREL HEAD WITH EIFS - SECTION DETAIL
SCALE= N.T.S.



GUARDRAIL DETAIL

SCALE: 1 : 7

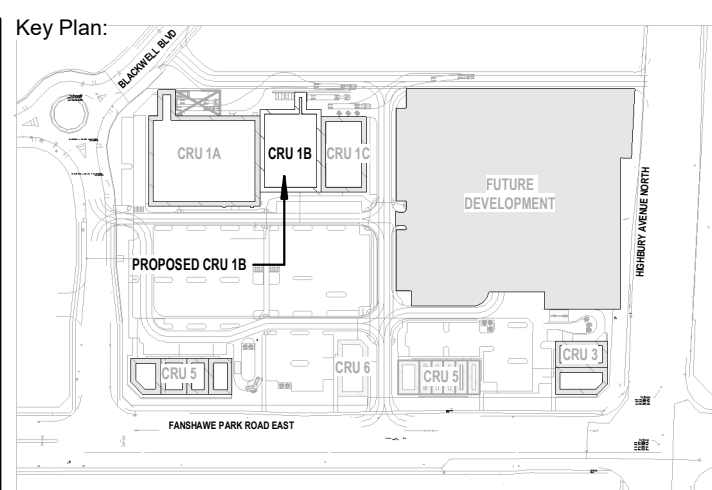
LOADS ON GUARDS AND HANDRAILS
THE MINIMUM HORIZONTAL SPECIFIED LIVE LOAD APPLIED OUTWARD AT THE MINIMUM REQUIRED HEIGHT OF EVERY REQUIRED GUARD SHALL BE 10 kN APPLIED AT ANY POINT, SO AS TO PRODUCE THE MOST CRITICAL EFFECT, FOR ACCESS WAYS TO EQUIPMENT PLATFORMS, CONTIGUOUS STAIRS AND SIMILAR AREAS WHERE THE GATHERING OF MANY PEOPLE IS IMPROBABLE.

* AS PER OBC, 4.1.5.14. LOADS ON GUARDS AND HANDRAILS

- 2-1/2" SQ X 14 GA (ONLY TO TOP LAYER) TUBES POSTS TO SLEEVE OVER 1 11/16" SCHD 40 POST CORED 18" INTO RETAINING WALL AND GROUT
- CORE HOLE TO MATCH POST SIZE
- 1 11/16" SCHD 40 POSTS CORED MIN. 500mm COURSES INTO RETAINING WALL AND WHERE TOP LAYER DOES NOT HAVE CONTACT WITH GRADE, FILL TO TOP OF 1 11/16" POST WITH GROUT

POSTS:	2 1/2" SQ X 14 GA TUBES
RAILS:	1 1/4" SQ X 14 GA TUBES
PICKETS:	5/8" SQ X 16 GA TUBES
FASTENERS:	5/16" X 2" CARRIAGE BOLTS & NUTS

1. WITH A COATING DESIGNATION ZM 275 BEING A MINIMUM PROTECTIVE COATING WEIGHT OF 275g/m² BOTH INTERIOR AND EXTERIOR TOP COAT CONSISTING OF A CHROMIUM-FREE PHOSPHATE CONVERSION COATING
2. COATING CONFORMING TO ASTM A 1048 FOR HOT DIP COATINGS COMPRISING OF ZINC, ALUMINUM AND MAGNESEIUM
3. ERW TUBE CONFORMING TO ASTM 4787 TYPE 6
4. YIELD STRENGTH 400 MPa AND TENSILE STRENGTH 400 MPa
5. WELD SEAMS MILL RE-METALIZED



Consultant:



CS@CREATIVESTR.CA

Consultant:



Seal:

North Arrow:

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WESTDELL
DEVELOPMENT CORP
1300 FANSHAWE PARK ROAD,
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1300 FANSHAWE PARK ROAD, EAST, LONDON, ON

Drawing Title:

TYPICAL DETAILS III

Drawn By: D.H. Scale: AS INDICATED

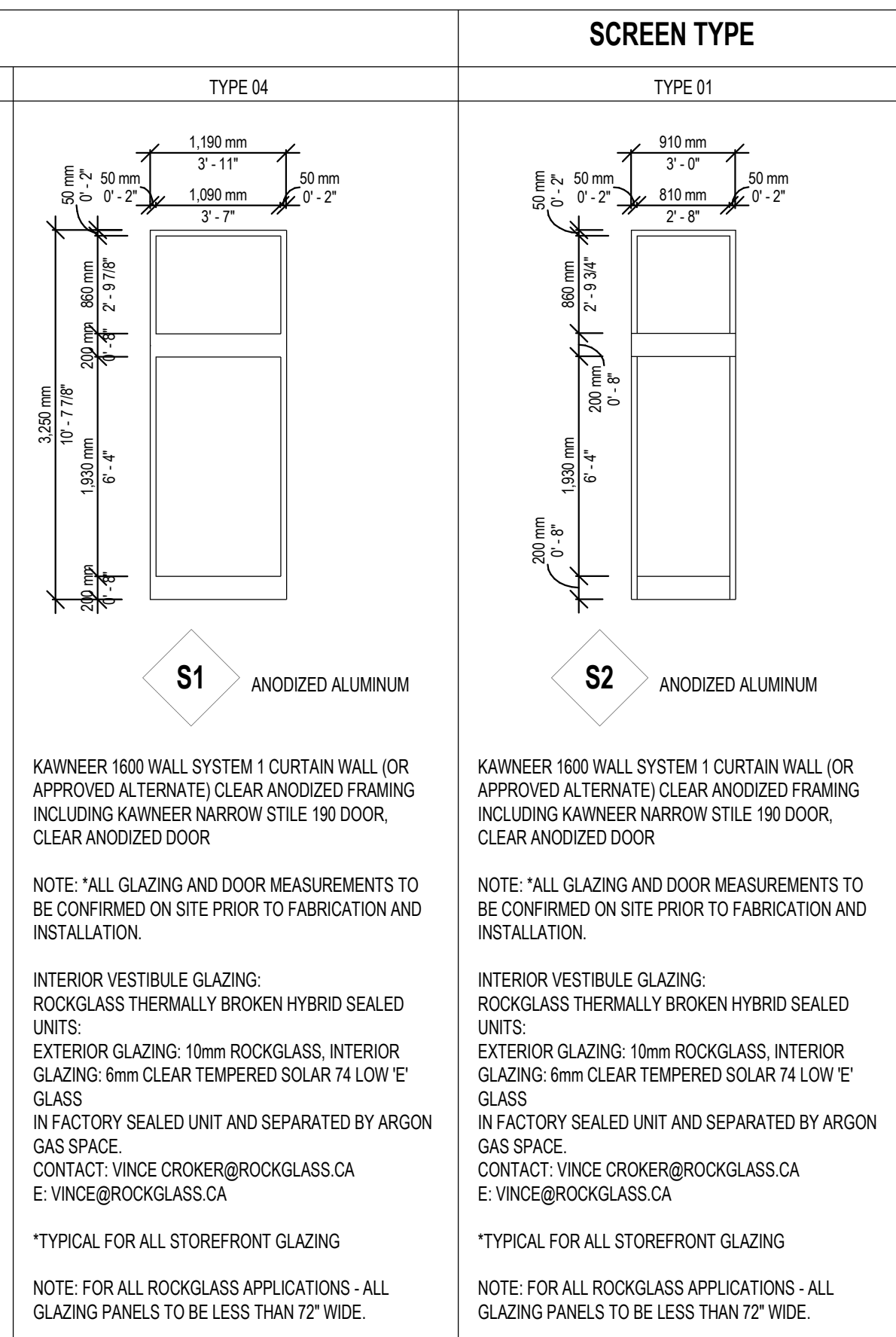
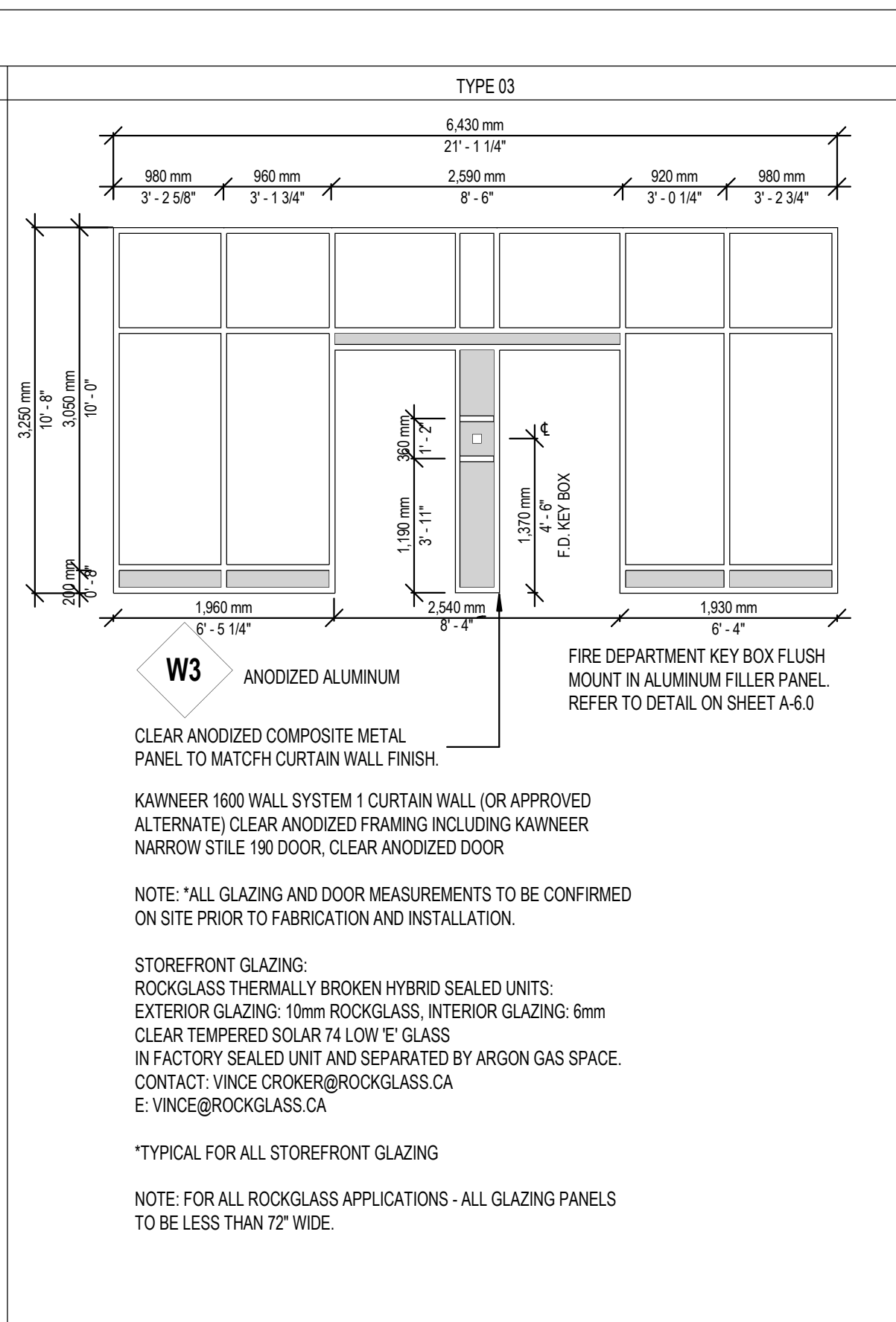
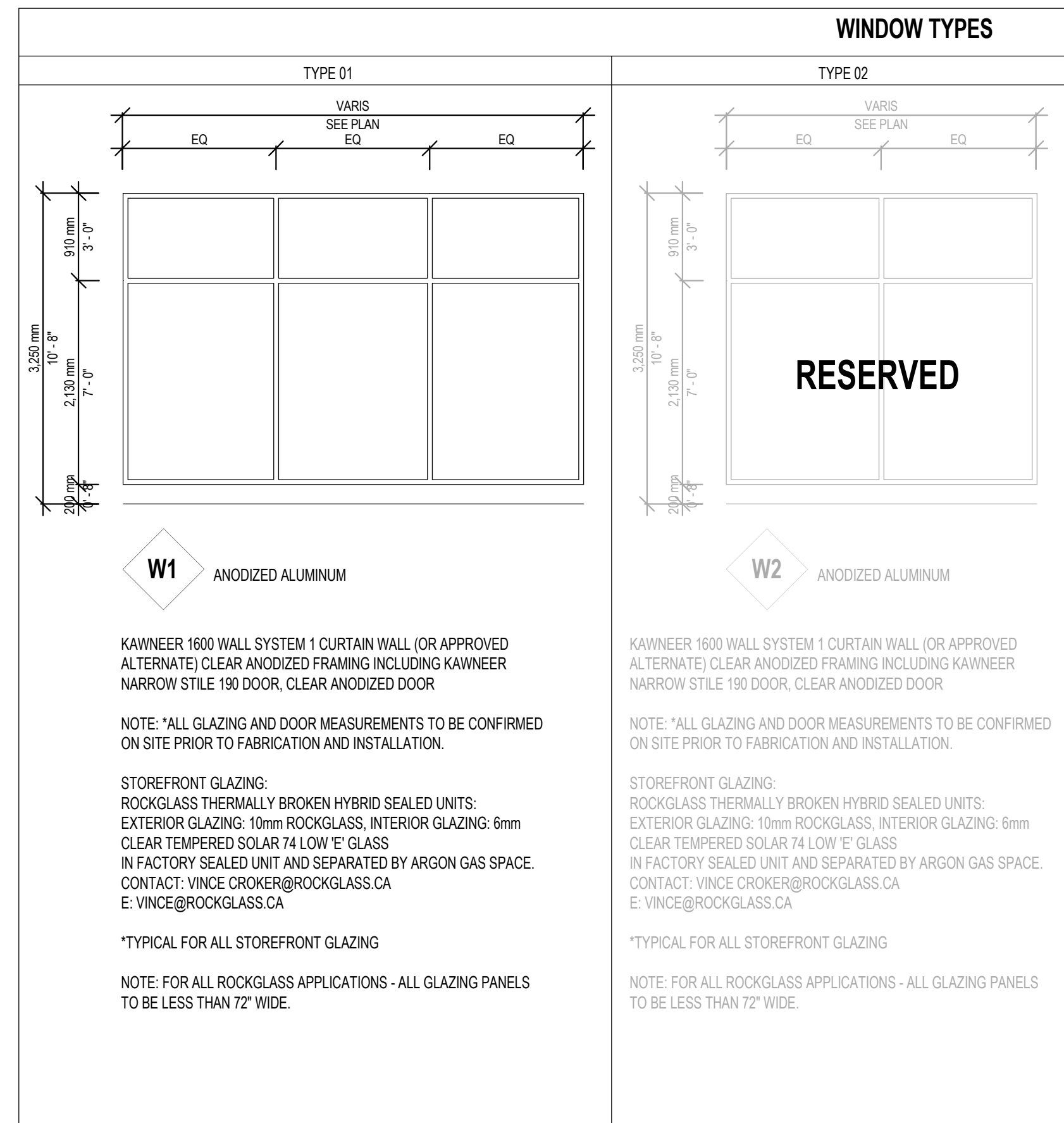
Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No: Revision

A-5.3 **4**



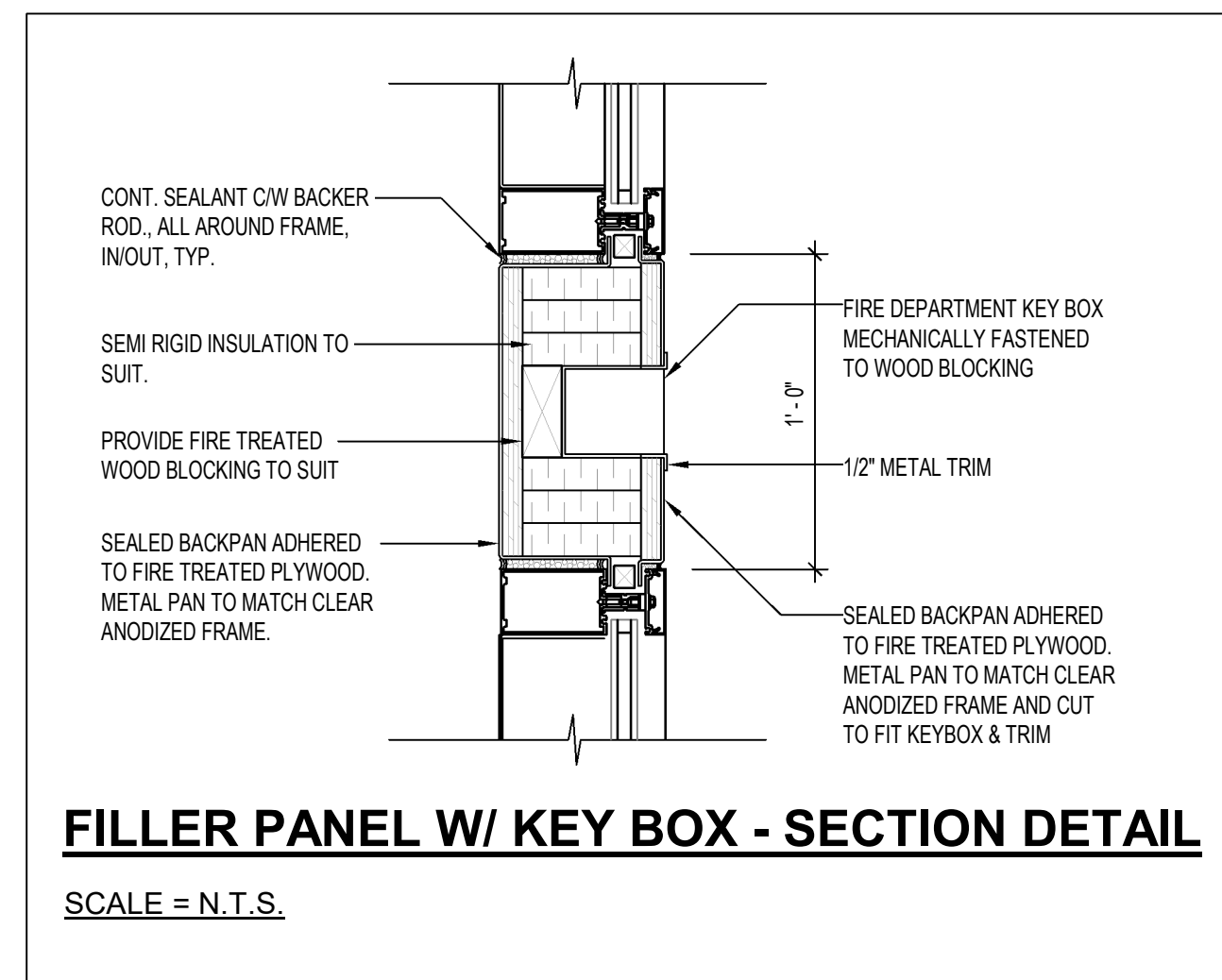
GENERAL DOOR NOTES

- DOOR & FRAME SUPPLIER (HOLLOW METAL & ALUMINUM) SHALL PROVIDE ALL REQUIRED CLOSURE TRIM FOR ALL EXTERIOR FRAMES TO SUIT CORRESPONDING OPENINGS.
- PROVIDE WEATHERSTRIPPING TO ALL EXTERIOR & FIRE RATED DOORS.
- EXTERIOR HOLLOW METAL DOORS & FRAMES TO BE 18g AND HAVE G90 GALVANIZED FINISH OR APPROVED EQUAL.
- PROVIDE CAULKING AROUND ALL EXTERIOR HOLLOW METAL & ALUMINUM DOOR FRAMES INSIDE & OUT. CAULKING COLOUR TO MATCH COLOUR OF FRAMES.
- ALL COLOURS TO BE CHOSEN BY OWNER.
- ALUMINUM DOOR SUPPLIER SHALL PROVIDE REQUIRED HARDWARE AS LISTED ON THE DOOR SCHEDULE FOR ALUMINUM DOORS.
- EXTERIOR AND INTERIOR DOOR SUPPLIERS SHALL SITE MEASURE AND CONFIRM OPENINGS PRIOR TO FABRICATION AND INSTALLATION. CONTRACTOR MUST CONFIRM ALL DOOR TYPES, MATERIAL & FINISHES WITH OWNER PRIOR TO CONSTRUCTION.
- FINISHES IN ALL DOORS SHALL BE 1/4" CLEAR TEMPERED OR LAMINATED SAFETY GLASS.
- ALL HARDWARE TO BE MEDIUM DUTY, COMMERCIAL GRADE.
- DOOR CLOSER TO BE MOUNTED ON DOOR FRAME.
- PROVIDE 3 KEYS PER LOCKSET.
- BARRIER FREE DOOR ACCESS PADDLES MOUNTED ON WINDOW OR DOORS MULLIONS ARE TO BE REMOTELY CONNECTED TO DOOR OPERATOR B/F DOOR PADDLE MOUNTED ON INTERIOR WALL TO BE FLUSH MOUNTED IN WALL & HARDWIRED TO DOOR OPERATOR.
- ALL HARDWARE TO BE SUPPLIED WITH ALL REQUIRED ACCESSORIES.

GENERAL WINDOW NOTES

- WINDOW SUPPLIER SHALL SITE MEASURE ALL OPENINGS % REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO WINDOW FABRICATION.
 - OPENINGS DIMENSIONED ON FLOOR PLANS, SECTIONS, DETAILS & WINDOW SCHEDULE ARE NOMINAL.
 - WINDOW SUPPLIER SHALL PROVIDE PREFINISHED ALUMINUM CLOSURE TRIM TO SUIT OPENINGS AS REQUIRED. COLOUR OF TRIM TO MATCH COLOUR OF WINDOW FRAMES.
 - PROVIDE CAULKING AROUND ALUMINUM WINDOW FRAMES INSIDE & OUT. CAULKING COLOUR TO MATCH COLOUR OF FRAMES.
 - LOW E GLAZING TO MEET ALL REQUIREMENTS FOR ENERGY EFFICIENCY OF SB-10, ASHRAE 90.1.
 - WINDOW FRAME FINISH & GLASS TINT TO BE CONFIRMED BY OWNER PRIOR TO ORDERING.
- SUBMIT SHOP DRAWINGS AS REQUIRED BY THIS WORK, THE CONSULTANTS OR BY AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR SHALL CHECK, SIGN AND MAKE NOTATIONS HE CONSIDERS NECESSARY ON SHOP DRAWINGS BEFORE EACH SUBMISSION TO CONSULTANTS. SHOP DRAWING REVIEW BY CONSULTANTS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT AND IS A PRECAUTION AGAINST OVERSIGHT OR ERROR. THIS REVIEW SHALL NOT MEAN THAT THE CONSULTANT APPROVES THE DETAIL DESIGN INHERENT IN THE SHOP DRAWINGS. RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS, OMISSIONS OR MEETING ALL THE REQUIREMENTS OF THIS CONTRACT.

CL: DENOTES GLAZING
 AP: DENOTES GLASS SPANDREL
 AC: DENOTES PREFIN. ALUM. CLOSURE FINISH TO MATCH WINDOW FRAME.

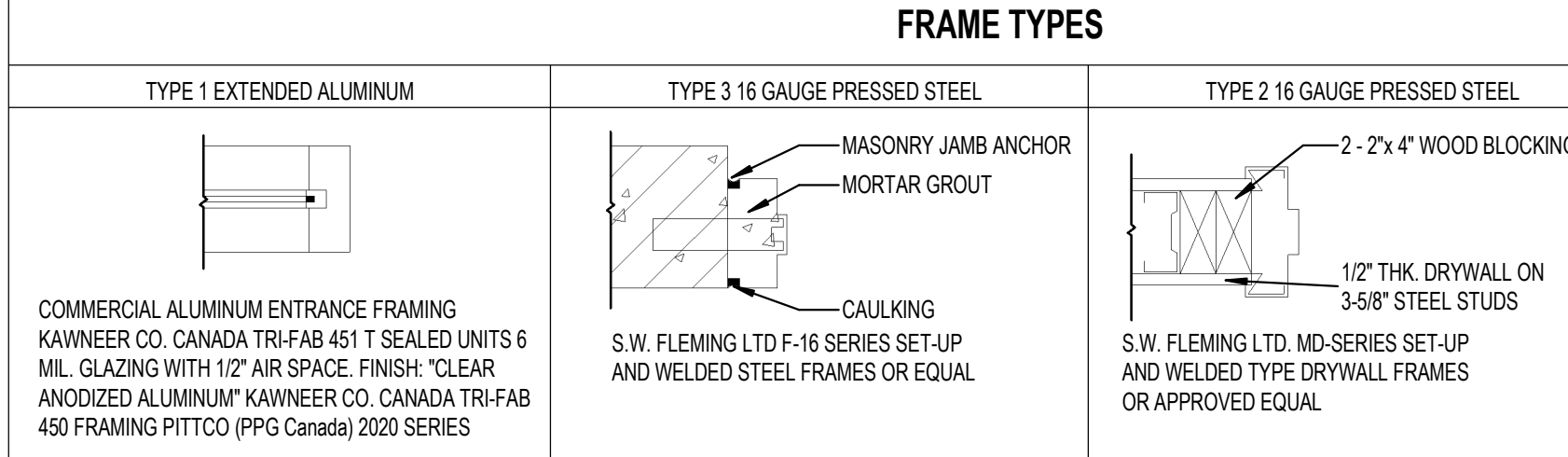
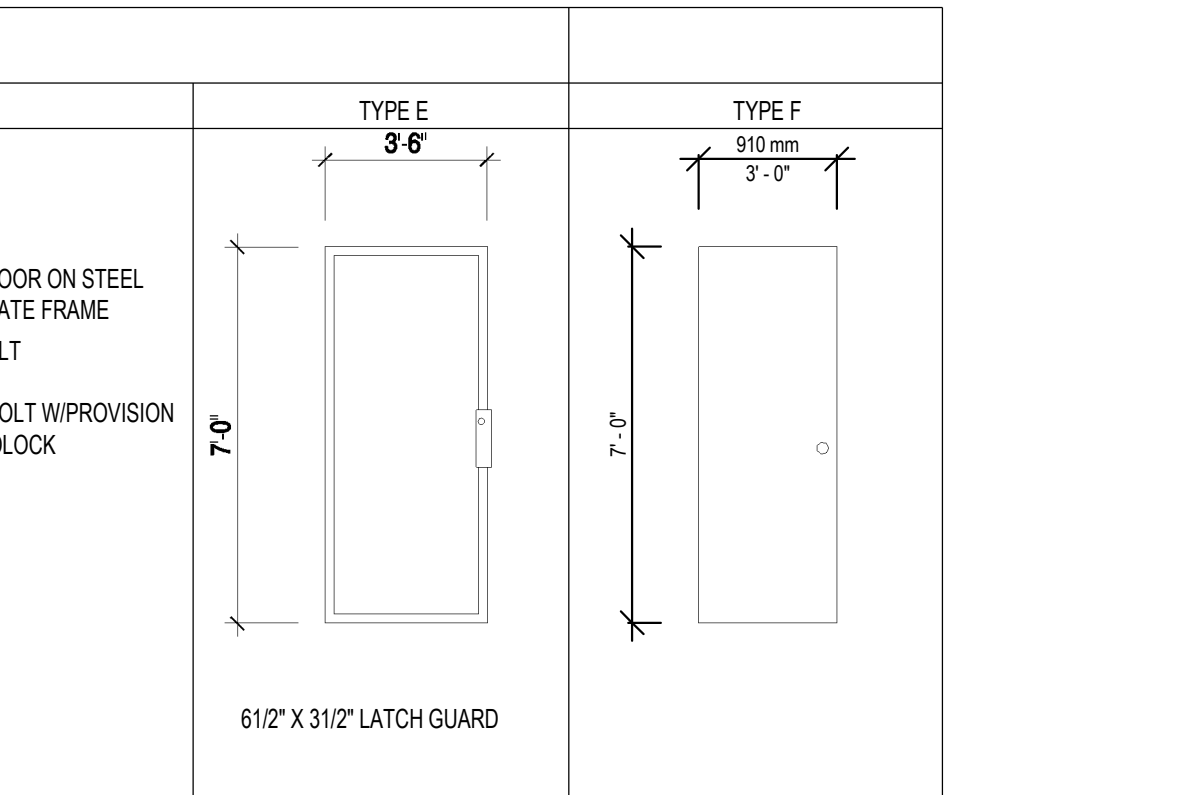
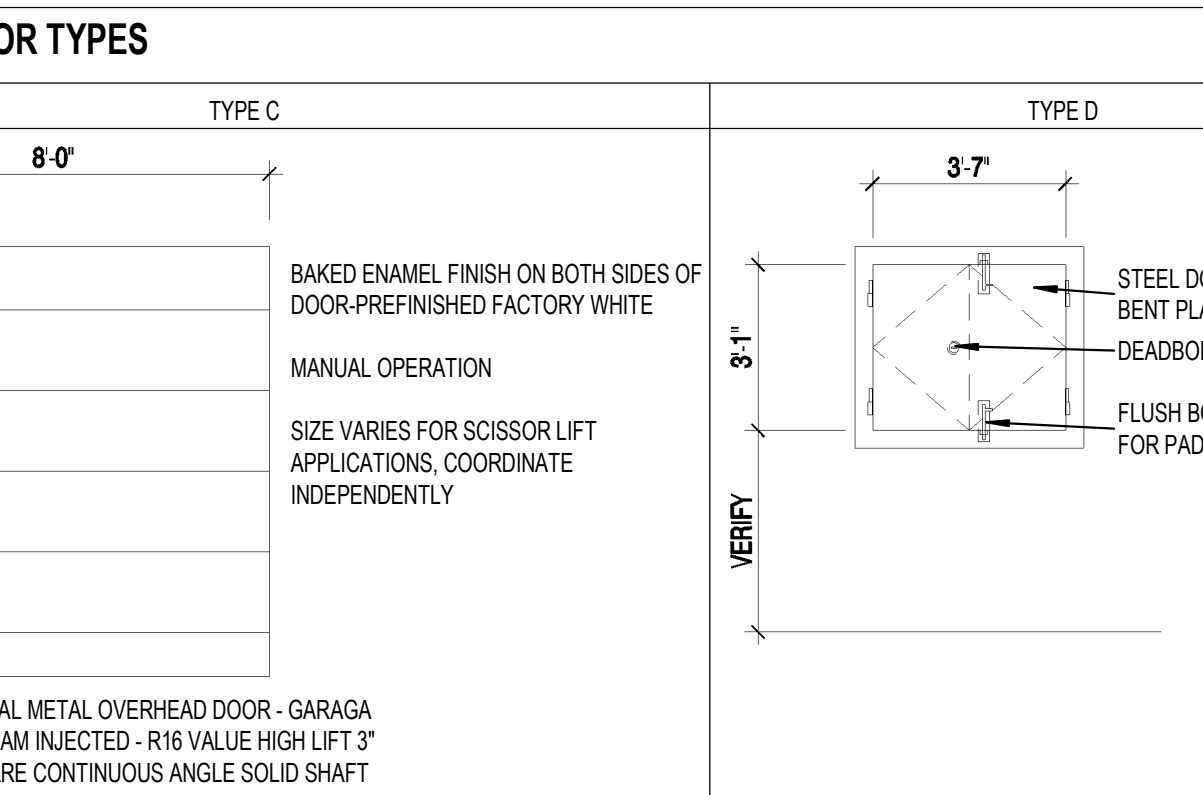
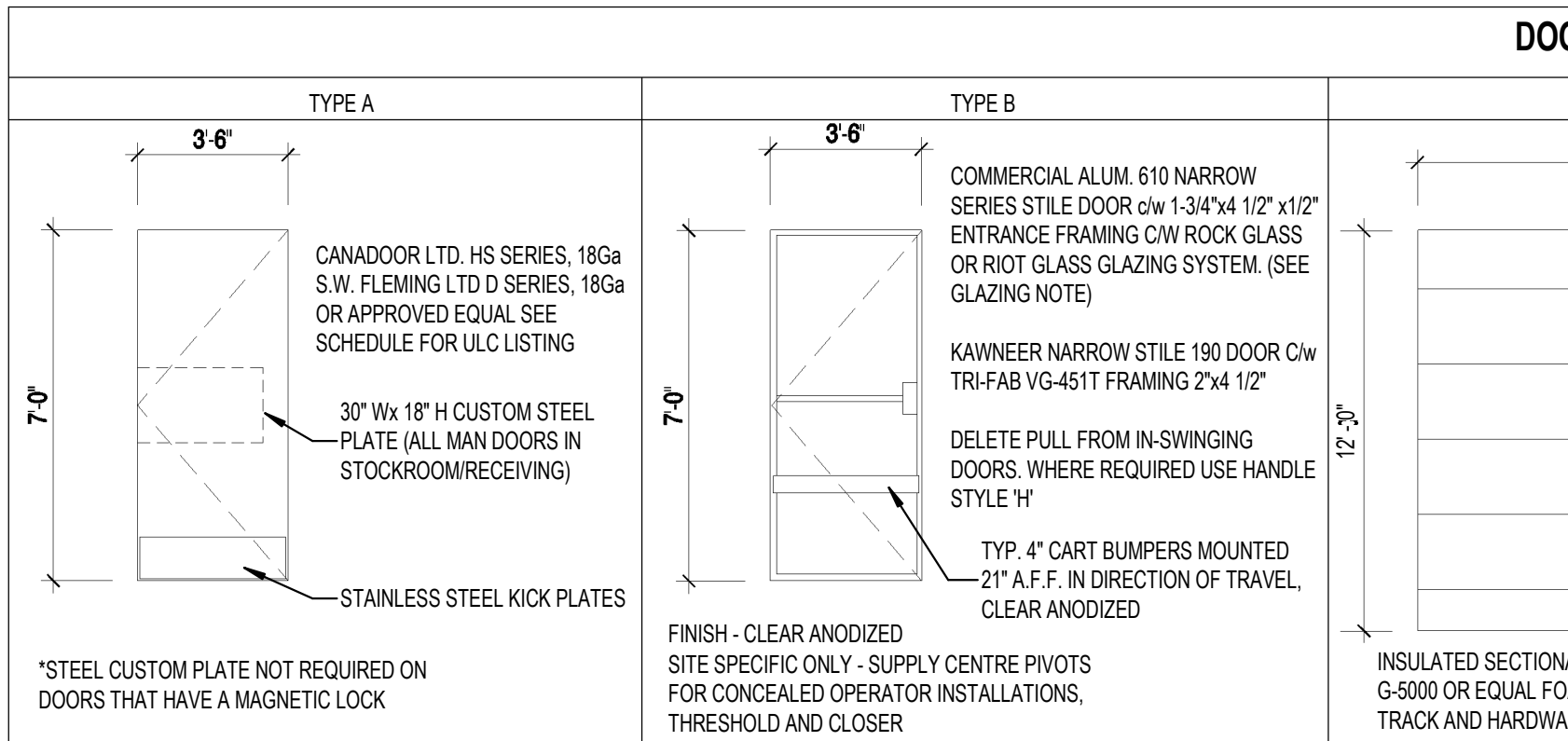


FILLER PANEL W/ KEY BOX - SECTION DETAIL
 SCALE = N.T.S.

*ALL GALZED EXTERIOR WALL SHOULD BE ANODIZED THERMALLY BORKEN CURTAIN WALL FRAMING SYSTEM C2 SEALED DOUBLE GLAZED-UNITS AND SPANDREL GLAZED UNITS C/W INSULATED STEEL BACK PANS. ALL GLAZED UNITS AT ENTRANCES AND IMMEDIATELY ADJACENT TO ENTRANCES SHALL BE TEMPERED GLASS

*TYPICAL FOR ALL STOREFRONT GLAZING

*TYPICAL FOR ALL STOREFRONT GLAZING



ALL ELEVATION AND SECTIONS ARE N.T.S.

DOOR SCHEDULE

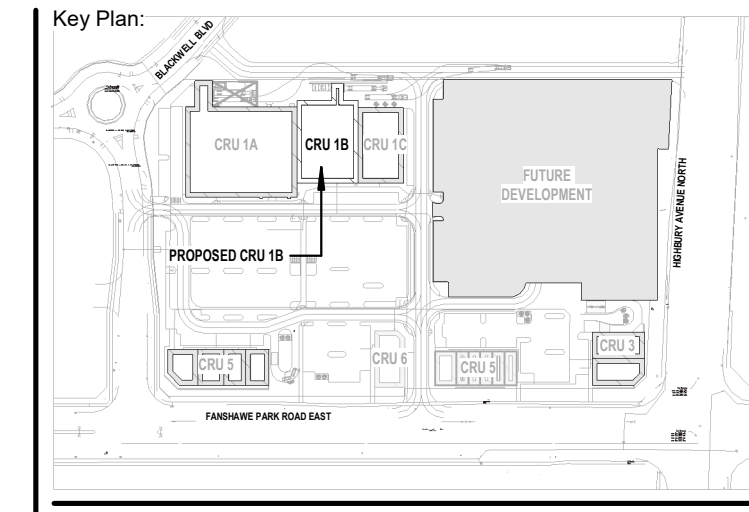
DOOR NO.	ROOM NAME		DOOR SIZES	MATERIAL	FINISH	TYPE	FRAMES		GROUP	ULC LABEL	UP LOCK FUNCTION	REMARKS
	FROM ROOM	TO ROOM					MATERIAL	FINISH				
D101a	EXTERIOR	MAIN ENT.	3'-6\"/>									

GROUP 1a	GROUP 1b	GROUP 1c	GROUP 1d	GROUP 1e	GROUP 1f	GROUP 2	GROUP 3	GROUP 4	GROUP 5
3 BUTT HINGES 1 CYLINDER 1 AUTOMATIC DOOR OPENER (BY ASSA ABLOY)	1 SURFACE MOUNTED DOOR ARM ASSEMBLY (BY ASSA ABLOY) 1 MOTION SENSOR (BY ASSA ABLOY) 1 SURFACE MOUNTED HEADERS (BY ASSA ABLOY) 1 ON / OFF SWITCH / HOLD OPEN (BY ASSA ABLOY) 1 PUSH/PULL 4\"/>								

GROUP 1a	GROUP 1b	GROUP 1c	GROUP 1d	GROUP 1e	GROUP 1f	GROUP 2	GROUP 3	GROUP 4	GROUP 5
4 1/2\"/>									

GROUP 3	GROUP 3b	GROUP 3c	GROUP 4	GROUP 5
3 HINGES 1 ENTRY LOCKSET 1 DOOR CLOSER 1 DOOR VIEWER 1 THRESHOLD 1 WEATHER STRIP 1 STEEL PLATE 1 PRY SHIELD	4\"/>			

GROUP 3	GROUP 3b	GROUP 3c	GROUP 4	GROUP 5
CB190R 5\"/>				



Consultant:
 Seal:
 North Arrow:

General Notes:
 IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (N/A) PRIOR TO COMMENCING ANY WORK. DO NOT SCALE DRAWING. FOR CONSTRUCTION DRAWINGS MUST HAVE ORIGINAL CONSULTANTS STAMP AND SIGNATURE. ALL CONSTRUCTION AND MATERIALS MUST CONFORM WITH APPLICABLE CODES AND C.M.I.C. STANDARDS AND BE APPROVED BY OWNER.
 THE CONTENTS OF THIS DRAWING REMAIN THE COPYRIGHT PROPERTY OF CREATIVE STRUCTURES (CS) AND NGACAKU ARCHITECTURE INC. (N/A) AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF CREATIVE STRUCTURES.
 THESE DRAWINGS AND ALL DETAILS ARE FOR THIS PROJECT ONLY AND SHOULD NOT BE USED FOR ANY OTHER WORK.
 IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO CREATIVE STRUCTURES LTD. AND NGACAKU ARCHITECTURE INC. PRIOR TO COMMENCING WORK. ALL DIMENSIONS AND LEVELS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY OWNER AND GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNTIL IT HAS BEEN STAMPED BY CREATIVE STRUCTURES LTD. AND NGACAKU ARCHITECTURE INC. (N/A) AND A BUILDING PERMIT HAS BEEN ISSUED AND MARKED 'ISSUED FOR CONSTRUCTION'. THE DRAWINGS SHALL NOT BE USED FOR PRICING, COSTING, OR TENDER UNLESS INDICATED IN THE REVISION COLUMN AND THESE DRAWINGS ARE NOT COMPLETE AND ANY PRICES BASED ON THESE DRAWINGS MUST INCLUDE ALLOWANCES FOR THIS WITH NO LIABILITY ON CREATIVE STRUCTURES LTD AND NGACAKU ARCHITECTURE INC.
 CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE.
 CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.
 ANY MATERIAL ALTERATIONS CARRIED OUT DURING CONSTRUCTION BY THE CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WITH THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

No.	Date	Revision
4	APR 02, 2024	ISSUED FOR TENDER
3	MAR 30, 2024	ISSUED FOR COORDINATION

ISSUES/REVISION TABLE

Project:
Westoell DEVELOPMENT CORP
 1300 FANSHAWE PARK ROAD, EAST. - CRU #1-UNIT B
 1300 FANSHAWE PARK ROAD, EAST. LONDON, ON
 Drawing Title:
DOOR & WINDOW SCHEDULE
 Drawn By: D.H. Scale: AS INDICATED
 Checked By: K.N. Plot Date: APR 02, 2024
 Project Date: JAN 2024
 Project No: 2023-102
 Drawing No: Revision