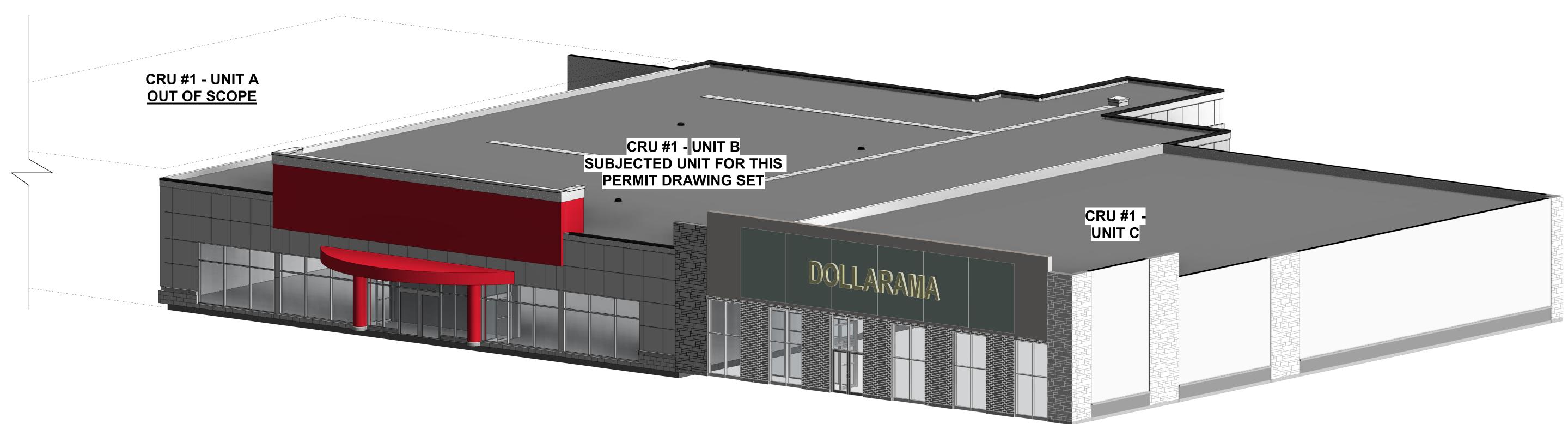
1300 FANSHAWE PARK ROAD. EAST. -CRU #1-UNIT B ARCHITECTURAL DRAWINGS

PROJECT #2023-102

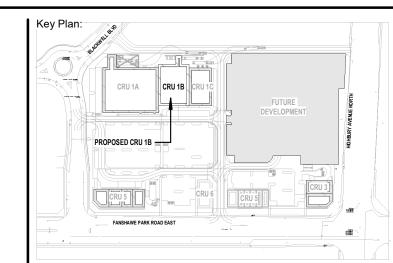
1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.



3D PERSPECTIVE VIEW

SCALE = N.T.S.

SCHEMATIC ONLY - NOT FOR CONSTRUCTION







IT IS THE RESPONSIBILITY OF THE OWNER, GENERAL AND/OR TENANT CONTRACTOR AND ALL SUB-TRADES TO BE FAMILIAR WITH THE PROJECT AS A WHOLE. ALL DISCREPANCIES AND DIMENSIONAL ERRORS ON THE PLANS AND RELATED DOCUMENTS MUST BE REPORTED TO CREATIVE STRUCTURES (CS) ORIGINAL CONSULTANTS STAMP AND SIGNATURE. ALL CONSTRUCTION AND

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STANDARDS AND BE APPROVED BY OWNER

SHOULD NOT BE USED FOR ANY OTHER WORK.

VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO CREATIVE STRUCTURES LTD. AND NGACAKU ARCHITECTURE APPROXIMATE AND SHOULD BE CONFIRMED BY OWNER AND GENERAL

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION.

STAMPED BY CREATIVE STRUCTURES LTD. OR NGACAKU ARCHITECTURE INC.
(N'AI) AND A BUILDING PERMIT HAS BEEN ISSUED AND MARKED "ISSUED FOR DRAWINGS ARE NOT COMPLETE AND ANY PRICES BASED ON THESE DRAWING MUST INCLUDE ALLOWANCES FOR THIS WITH NO LIABILITY ON CREATIVE

CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.

CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WITH THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

ı	4	APR 02, 2024	ISSUED FOR TENDER
ı	3	MAR 30, 2024	ISSUED FOR COORDINATION
ı	2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
ı	1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW
ı	No.	Date	Revision
			-

ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD.

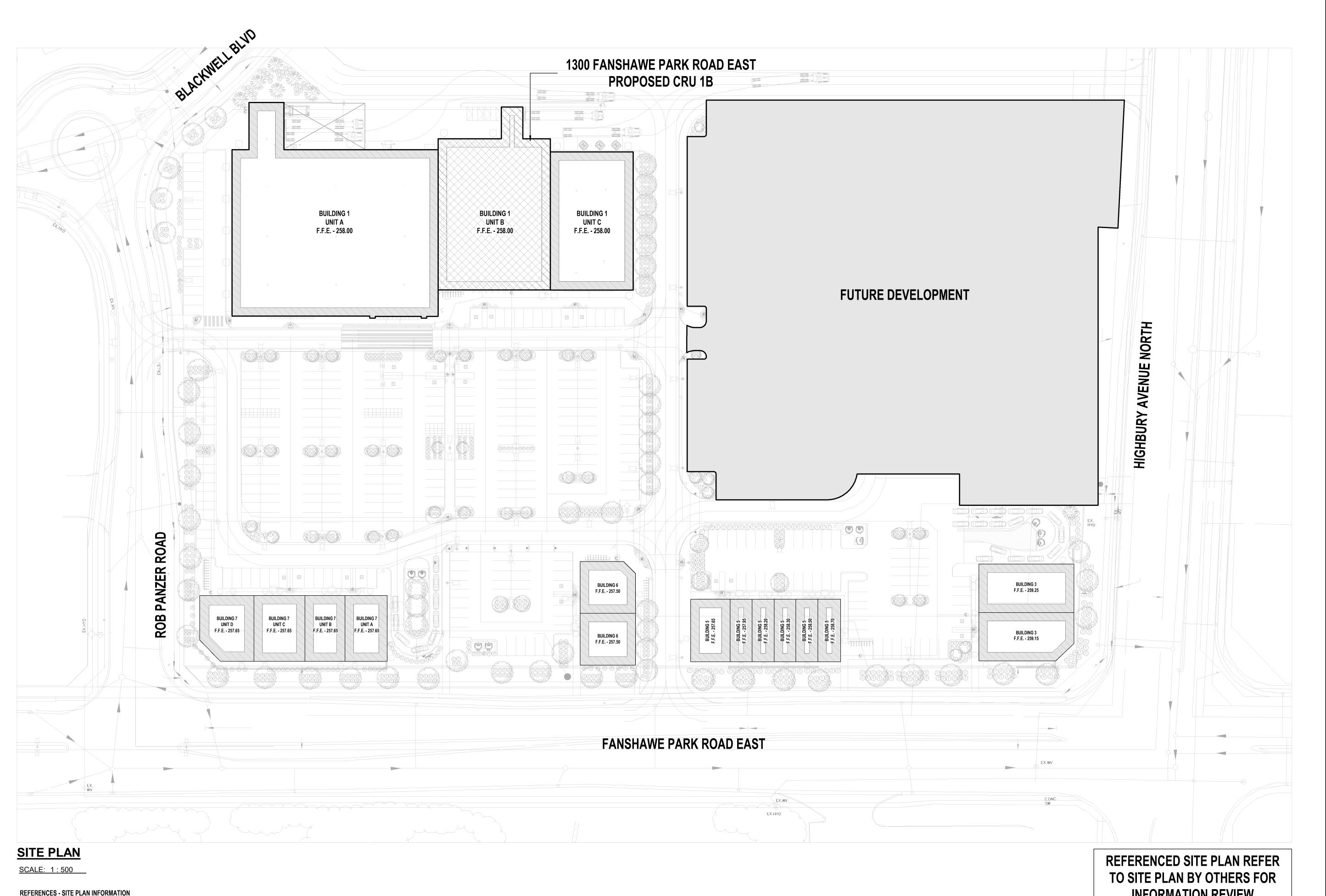
EAST. - CRU #1-UNIT B

1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

COVER SHEET

Drawn By:	D.H.	Scale: AS INDICATED
Checked By:	K.N.	Plot Date: APR 02, 2024

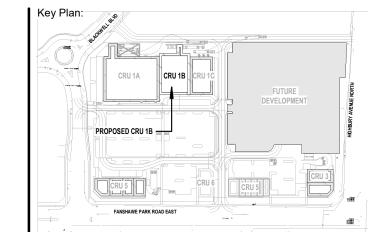
Project Date: JAN 2024



REFERENCES - SITE PLAN INFORMATION

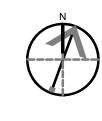
SITE PLAN INFORMATION TAKEN FROM SITE PLAN,

LEGEND, ZNONING CHART ISSUED ON NOV 02, 2023 • SITE PLAN PREPARED BY SBM DATED FEBUARY 14, 2024 **INFORMATION REVIEW**









CS@CREATIVESTR.CA

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VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR

OMISSIONS TO CREATIVE STRUCTURES LTD. AND NGACAKU ARCHITECTURE
INC. PRIOR TO COMMENCING WORK. ALL DIMENSIONS AND LEVELS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY OWNER AND GENERAL CONTRACTOR PRIOR CONSTRUCTION.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT BUILDING CODE REGULATIONS AND BYLAWS HAVING JURISDICTION.

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CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.

CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WITH THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

	APR 02, 2024	ISSUED FOR TENDER
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١.	Date	Revision

ISSUES/REVISION TABLE



EAST. - CRU #1-UNIT B

1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

SITE PLAN

	Drawn By:	D.H.	Scale: AS INDICAT
Checked By: K.N. Plot Date: APR 02, 202	Checked By:	K.N.	Plot Date: APR 02, 202

Project Date: JAN 2024

ARCHITECTURAL SPECIFICATIONS

GENERAL INSTRUCTIONS

- THE CONSTRUCTION MANAGER (CONTRACTOR) SHALL VISIT THE SITE TO VERIFY AND FAMILIARIZE HIMSELF WITH ALL EXISTING SITE CONDITIONS. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING SITE CONDITIONS TO CONSULTANT PRIOR TO BEGINNING WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR FROM EXTRA COSTS RESULTING FROM ADDITIONAL WORK.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF TOTALLY WITH ALL DRAWINGS, SPECIFICATIONS AND ADDENDUMS INDICATING THE SCOPE OF WORK OF ALL TRADES.
- SHOULD THE CONTRACTOR FAIL TO NOTIFY CONSULTANT ABOUT CONFLICTS BETWEEN THE DRAWINGS AND EXISTING SITE CONDITIONS, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, ALTER ANY COMPLETED WORK TO THE SATISFACTION OF THE
- ADDITIONAL CHARGES TO THE CONTRACT RESULTING FROM UNFORESEEN SITE CONDITIONS, CHANGES REQUIRED BY ANY
- AND ALL GOVERNING AUTHORITIES OR OTHER CHANGES REQUIRED SHALL BE SUBMITTED TO THE CONSULTANT PRIOR TO COMMENCEMENT OF WORK. CLAIMS FOR EXTRAS WITHOUT PRIOR APPROVAL WILL NOT BE ACCEPTED. ALL PERMITS PERTAINING TO THE WORK SHALL BE APPLIED AND PAID FOR BY THE CONTRACTOR OR HIS SUB-CONTRACTORS UNLESS NOTED OTHERWISE IN WRITING BY THE CONSULTANT. THE GENERAL CONTRACTOR SHALL PROVIDE A COPY OF THE
- PERMIT CERTIFICATE TO THE CONSULTANTS & POST ON SITE IN A CLEAR LEGIBLE MANNER. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS &
- ALL CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL LOCAL CODES AND AUTHORITIES HAVING JURISDICTION AND THE ONTARIO BUILDING CODE (OBC).

RECOGNIZED INDUSTRY STANDARDS, MEANING GOOD QUALITY WORKMANSHIP

- ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE PRIOR TO COMMENCING ANY WORK. INFORM THE CONSULTANT IMMEDIATELY OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS. ALL DRAWINGS REMAIN THE PROPERTY OF THE OWNER.
- CONTRACTOR SHALL MAINTAIN ONE SET OF APPROVED UNALTERED PERMIT DRAWINGS ON SITE. PROVIDE PROJECT CHANGES IN RED ON A SEPARATE AS-BUILT SET, MAINTAIN AS-BUILT SET ON SITE. PROVIDE COMPLETED SET TO
- 1.11. ORDER OF DESIGN DOCUMENT HIERARCHY: SPECIFICATIONS, CONSTRUCTION ASSEMBLIES, LARGE TO SMALL SCALE

SCOPE OF WORK

THE CONTRACTOR SHALL SUPPLY ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS. INCLUDING ALL DRAWINGS. SPECIFICATIONS. SCHEDULES AND ISSUED ADDENDUMS. PROVIDE ALL NECESSARY COOPERATION, SCHEDULING, COORDINATION AND SUPERVISION TO SUB-CONTRACTORS WHO ARE INVOLVED IN THE WORK.

CONSTRUCTION DEBRIS

- ALL CONSTRUCTION DEBRIS SHALL BE CLEANED UP ON A DAILY BASIS AND REMOVED FROM SITE OR DISCARDED INTO DISPOSAL BINS PROVIDED BY THE CONTRACTOR TO THE SITE FOR REMOVAL OF DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, PAYING FOR AND REMOVING ALL GARBAGE/RECYCLING BINS FOR THE DURATION AND AT THE
- THE LOCATION OF ANY GARBAGE BINS REQUIRED FOR THE WORK OF THIS CONTRACT SHALL BE APPROVED BY THE OWNER PRIOR TO SETTING ON SITE.

PROTECTION AND MAKING GOOD

- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL WORK COMPLETED AND TO ADJACENT PUBLIC AND PRIVATE SPACES WHERE APPLICABLE FOR THE DURATION OF THE CONTRACT.
- DAMAGED WORK AND PROPERTIES SHALL BE MADE GOOD BY THE CONTRACTOR OR HIS SUB-TRADES AT THEIR OWN EXPENSE TO THE SATISFACTION OF THE CONSULTANT/OWNER.

SECURITY AND LOCK-UP

THE CONTRACTOR SHALL LOCK-UP JOB SITE AT THE END OF EACH WORKING DAY TO PROHIBIT ENTRY OF UNAUTHORIZED PERSONNEL & MAINTAIN PUBLIC SAFETY DURING OFF-HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ARTICLES AND EQUIPMENT BOTH INSTALLED AND ON SITE FOR THE DURATION OF THE CONTRACT AND UNTIL THE OWNER/SPONSOR TAKES OVER THE SPACE.

SHOP DRAWINGS AND SUBSTITUTIONS

- THE CONTRACTOR SHALL SUBMIT DIGITAL DOCUMENTS TO THE CONSULTANT FOR REVIEW PRIOR TO ANY PURCHASE / FABRICATION. ALL COSTS FROM SHOP DRAWINGS ARE TO BE BORNE BY THE CONTRACTOR. TRADES ARE REQUIRED TO
- SATISFY THE DESIGN DOCUMENTS THRU THEIR SHOP DRAWINGS AT THEIR COST. ALL WORK PERFORMED PRIOR TO RECEIPT OF REVIEWED SHOP DRAWINGS SHALL BE AT THE CONTRACTOR'S SOLE RISK AND RESPONSIBILITY. ANY REMEDIAL WORK REQUIRED TO BE PERFORMED TO WORK ALREADY COMPLETED WITHOUT PRIOR APPROVAL BY THE CONSULTANT SHALL BE DONE AT CONTRACTOR'S OWN EXPENSE.
- WHERE A SUBSTITUTION IS REQUESTED, THE CONTRACTOR SHALL SUBMIT AN ACTUAL SAMPLE OF ALTERNATE FINISH OR PRODUCT TO THE CONSULTANT, MANUFACTURER'S SPECIFICATIONS AND TEST RESULTS OF SUCH ALTERNATES MAY ALSO BE SUBMITTED FOR APPROVAL.

PRODUCT AVAILABILITY / PROJECT SCHEDULING:

THE CONTRACTOR SHALL VERIFY AVAILABILITY AND DELIVERY TIME FOR ALL PRODUCTS AND FINISHES AS SOON AS THE PROJECT HAS BEEN AWARDED. THE CONTRACTOR SHALL NOTIFY THE CONSULTANT IMMEDIATELY WHEN THE DELIVERY TIME ON A SPECIFIED PRODUCT OR FINISH THREATENS THE PROJECT COMPLETION.

EXISTING UTILITIES AND TEMPORARY SERVICES

VIEW FOR THE DURATION OF THE CONTRACT.

- UTILITIES AND SERVICES OF RECORD ARE SHOWN ON THE DRAWINGS IN SO FAR AS IS POSSIBLE TO DO SO. HOWEVER, THEY ARE SHOWN FOR CONVENIENCE ONLY. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR IMPROPER LOCATIONS OR FAILURE TO SHOW UTILITY LOCATIONS ON THE DRAWINGS. CONFIRM ALL UTILITIES AND SERVICES ON SITE WITH SITE
- CONDITIONS & AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING AND ENGAGING ALL REQUIRED TEMPORARY SERVICES AS DEEMED NECESSARY TO PERFORM WORK (I.E. HYDRO, HEAT, TELEPHONE) AS REQUIRED BY AUTHORITIES. CO-ORDINATE WITH BUILDING OWNER

FIRE PROTECTION AND INSURANCE

- THE CONTRACTOR SHALL PROVIDE APPROVED TYPE FIRE EXTINGUISHERS AND FIRE FIGHTING EQUIPMENT ON SITE IN OPEN
- TAKE ALL NECESSARY PRECAUTIONS TO ELIMINATE FIRE HAZARDS. REFER TO SECTION 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING LIABILITY INSURANCE FOR THE DURATION OF THE CONTRACT
- UNTIL THE OWNER TAKES POSSESSION OF THE SPACE AS PER STANDARD CONSTRUCTION DOCUMENT CCDC. WORKMEN'S COMPENSATION AND EMPLOYER'S LIABILITY INSURANCE AS REQUIRED BY ANY EMPLOYEE BENEFIT ACT OR THE STATUES APPLICABLE WHERE THE WORK IS BEING PERFORMED AS WELL AS PROTECT THE CONTRACTOR FROM ANY AND ALL LIABILITY UNDER THE AFOREMENTIONED ACTS.
- BUILDER'S RISK COMPLETED VALUE FORM AFFORDING "ALL RISKS OF PHYSICAL LOSS OR DAMAGE" ON ITS WORK IN THE PREMISES AS IT RELATED TO THE BUILDING IN WHICH THE PREMISES ARE LOCATED, NAMING THE INTERESTS OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AS THEIR RESPECTIVE INTERESTS MAY APPEAR, WITHIN A RADIUS OF 100 FEET OF THE PREMISES. AMOUNT OF INSURANCE SHALL EQUAL 100% OF THE REPLACEMENT COST
- ALL SUCH INSURANCE POLICIES SHALL INCLUDE OWNER, THE CONSULTANT, THE GENERAL CONTRACTOR, SUBCONTRACTORS, AS ADDITIONAL INSUREDS: EXCEPT WORKERS' COMPENSATION INSURANCE, WHICH SHALL CONTAIN AN ENDORSEMENT WAIVING ALL RIGHTS OF SUBROGATION AGAINST THE OWNER. ITS CONSULTANT ITS GENERAL CONTRACTOR AND SUBCONTRACTORS. CERTIFICATES OF INSURANCE SHALL PROVIDE THAT SUCH INSURANCE COVERAGE SHALL NOT BE CANCELED OR ALLOWED TO EXPIRE UNTIL AT LEAST 30 DAYS PRIOR WRITTEN NOTICE HAS BEEN GIVEN TO THE CONSULTANT AND THE OWNER.

PROJECT CLOSEOUT AND CLEAN-UP

- TWO MATERIALS AND MAINTENANCE MANUALS TO INCLUDE OPERATION AND MAINTENANCE INSTRUCTIONS AND COMPLETE PARTS LISTS AS FURNISHED BY THE MANUFACTURER FOR ALL SYSTEMS, EQUIPMENT, AND FIXTURES, INCLUDE TYPEWRITTEN INDEX AND TAGGED DIVIDERS BETWEEN CATEGORIES. PROVIDE EMERGENCY CONTACT NAMES/PHONE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE SITE READY FOR OCCUPANCY INCLUDING BUT NOT LIMITED TO THE FOLLOWING ITEMS:
- 10.2.1. BROOM CLEAN, WASH, AND SEAL ALL HARD SURFACES AND RESILIENT FLOORING AS PER MANUF. 10.2.2. VACUUM ALL CARPET SURFACES.
- 10.2.3. CLEAN AND POLISH ALL SIGNS, DOORS, FRAMES, WINDOWS, WALLS, MILLWORK. THE FOLLOWING CONSTITUTES
- SUBSTANTIAL COMPLETION: ALL CONSTRUCTION TO BE COMPLETE, READY FOR USE FOR WHICH THE PROJECT WAS INTENDED.
- ALL CLEANING. VACUUMING AND DUSTING COMPLETE.

NUMBERS OF MAJOR TRADES, PROVIDE APPROVED SHOP DRAWINGS.

- ALL DEBRIS, SCAFFOLDS, LADDERS, TOOLS, AND EQUIPMENT REMOVED FROM THE JOB SITE, MECHANICAL/ELECTRICAL 10.5. 10.5.1. ALL SYSTEMS IN FUNCTIONAL, OPERATING CONDITION. ALL CONTROLS, DIFFUSERS. REGISTERS, LIGHTING W/ LAMPS & LENSES, SWITCHES COMPLETE. ALL PLUMBING SYSTEMS COMPLETE. GENERAL: ALL CONSTRUCTION
- KEYS AND DUPLICATES FOR THE SPACE HAVE BEEN TURNED OVER TO OWNER. CERTIFICATE OF OCCUPANCY OBTAINED FROM LOCAL REGULATORY AGENCIES (BUILDING DEPT.) & CONSULTANTS. ALL MANUALS ARE SUBMITTED AND ARE COMPLETE.

PLUMBING: SEE MECHANICAL SPECIFICATIONS.

12. ACOUSTICAL INSUI ATIOI4

PROVIDE AND INSTALL ACOUSTIC INSULATION AS INDICATED ON CONTRACT DOCUMENTS. ACOUSTIC INSULATION TO CONSIST OF "NOISE BARRIER BATT", ACOUSTIC BATT OR MINERAL WOOL. INSTALL BATTS BETWEEN MEMBERS COMPLETE WITH CLIPS WHERE THICKNESS OF BATT IS LESS THAN THAT OF MEMBER.

FIRESTOP PRODUCTS, SEPARATIONS AND CLOSURES SHALL BE AS PER OBC 3.1.8. & 3.1.9.. SEAL ALL FLOOR, WALL, CEILING FIRE SEPARATIONS AT PERIMETERS OF FINISHED SURFACES & 0 ALL SERVICE PENETRATIONS WITH CONSULTANT APPROVE FIRESTOP PRODUCTS. SEE M MECH DESIGN FOR FIRE DAMPERS & LOCATIONS

14. SEALANTS

- 14.1.1. PRIMER: TYPES RECOMMENDED BY SEALANT MANUFACTURER, COMPATIBLE WITH SEALANTS.
- 14.1.2. JOINT BACKING ROD: SEALTIGHT ETHAFOAM SEALANT BACKER ROD BY W.R. MEADOWS OF CANADA LTD 14.1.3. BOND BREAKER: PRESSURE SENSITIVE PLASTIC TAPE; TYPE 470 OR 481 TAPE BY 3M CANADA OR EQUAL.
- 14.1.4. JOINT CLEANER: XYLOL, METHYLETHYLEKETON (MEK) OR NON-CORROSIVE TYPE RECOMMENDED BY SEALANT

14.2. SEALANT TYPES:

- 14.2.1. TYPE A: ONE COMPONENT, ACRYLIC BASE, SOLVENT CURED, CONFORMING TO CAN/CGSB-19. 14.2.2. TYPE B: MULTI-COMPONENT, POLYURETHANE BASE, CHEMICAL CURING, CONFORMING TO CAN/CGSB-19.24 TYPE 2, CLASS B:
- 14.2.3. TYPE C: ONE COMPONENT, ELASTOMERIC BASE CHEMICAL CURING CONFORMING TO CAN/CGSB-19.13 TYPE MCG, CLASS 240; TREMCO SPECTRUM 1X SILICONE SEALANT 946-108 MCG 2-40 -A-L.

14.2.6. TYPE G: FIRE RESISTANT TYPE, ONE COMPONENT, NON-SAG. PURPOSE MADE TESTED IN ACCORDANCE WITH CAN4 -S115 AND

- 14.2.4. TYPE E: ACOUSTIC TYPE, TO CAN/CGSB 19.21; TREMCO ACOUSTICAL SELANT 931-70X 14.2.5. TYPE F: ACRYLIC/LATEX TYPE, FAST SETTING, PLIABLE, ACRYLIC EMULSION COMPOUND CONFORMING TO CAN/CGSB 19.17; TREMCO ACRYLIC LATEX CAULK 941-19X
- CAN4-S102, SIMILAR TO FRYE SHIELD BY TREMCO. 14.3. FOR INSTALLATION, APPLY SEALANT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MASK AROUND JOINTS TO PROTECT ADJACENT SURFACES, AND INSTALL BACKER ROD IN JOINTS WHERE REQUIRED TO PROVIDE PROPER

DOORS, FRAMES & GLASS

DEPTH OF SEALANT.

- PROVIDE AND INSTALL ALL DOORS AS SCHEDULED AND CONTAINED/DEPICTED IN CONTRACT DOCUMENTS. INSTALL FRAMES RIGID, PLUMB, LEVEL AND TRUE, BRACE FRAMES TO RETAIN POSITION AND CHECK ALIGNMENT DURING CONSTRUCTION AND ADJUST AS NECESSARY WITH SHIMS PRIOR TO FASTENING.
- OBTAIN TEMPLATES FROM HARDWARE MANUFACTURER AND CONFIRM TYPE, LOCATION AND SPECIAL REQUIREMENTS OF HARDWARE FOR EACH DOOR, PRIOR TO CUTTING. WHERE DOORS ARE PREFINISHED, EXERCISE DUE CARE TO PROTECT FINISHES. HANG DOOR FOR 1/8" CLEARANCE AT HEAD, 3/8" AT BOTTOM, OR OTHERWISE INDICATE TO SUIT FIRE/SMOKE RATING. ADJUST CLEARANCES REQUIRED FOR FLOORING. ENSURE ALL DOORS OPERATE FREELY, WITHOUT BINDING, AND
- WHEN CLOSED WITH MODERATE FORCE, WILL LATCH PROPERLY. ALLOWABLE CLOSURE PRESSURES ALL AS PER OBC REQUIREMENTS.
- FINISH SPECIFIED ON DOOR SCHEDULE = ALL DOOR SURFACES. UNLESS SHOWN OTHERWISE, DOOR LOCATIONS SHALL BE HINGE SIDE 3" FROM FINISH WALL. GLASS TYPES: MIN 1/4" CLEAR TEMPERED GLASS FOR ALL INTERIOR DOORS/WINDOWS; INSULATING GLASS 2 LAYERS 1/4 CLEAR
- TEMPERED IN THERMALLY SEALED UNIT W/ ARGON GAS. HINGES: MIN 3 PER DOOR. 36" BARRIER FREE DOORS SHALL C/W MCKINNEY FIVE KNUCKLE STANDARD WEIGHT SWING CLEAR SERIES, MODEL NUMBER TA2895, OR APPROVED EQUAL.

GYPSUM BOARD

- GYPSUM WALL BOARD TO BE 1/2" OR 5/8" AS INDICATED ON CONTRACT DOCUMENTS AND FIRE RATED AS INDICATED OR REQUIRED IN CONFORMANCE WITH FIRE REGULATIONS AND LOCAL AUTHORITIES. PROVIDE AQUA BOARD IN MOIST HUMID
- AREAS, PROVIDE TILE BACKER BOARD BEHIND CERAMIC/PORCELAIN TILE. PROVIDE JOINT REINFORCING TAPE, ADHESIVE, AND METAL CORNER REINFORCEMENT, STANDARD PRODUCTS AS RECOMMENDED BY THE MANUFACTURER. USE SELF-DRILLING, SELF-TAPPING COUNTERSUNK BUGLE HEAD SCREWS FOR ATTACHMENT OF WALL BOARDS TO STUDS. ALL TAPED/MUDDED JOINTS & FASTENER FINISHING SHALL BE SMOOTH AND LEVEL TO GOOD QUALITY SURFACE FINISH WITHOUT VISIBLE JOINTS/BLEMISHES ALL AS PER CGC LEVEL 4 FINISHING MATRIX. CEILING MAIN SUSPENSION RUNNERS: 16 GAUGE COLD ROLLED STEEL 1-1/2" CHANNELS. HANGING WIRE: 8 GAUGE MINIMUM,
- GAI VANIZED ANNEAI ED LOW CARBON STEEL WIRE, ASTM C754. INSTALL WALL BOARD IN MAXIMUM SIZE PANELS. ATTACH TO WALL FRAMING WITH LONG EDGES VERTICAL, USING 1-1/4" LONG SCREW FASTENERS AT MAXIMUM OF 12" O.C. IN THE FIELD AND 8" O.C. ALONG EDGES SUPPORTED ON FRAMING
- CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL EQUIPMENT REQUIRING SERVICE & DUCTS, PLUMBING AND ELECTRICAL WORK, FIRE RATED AS REQUIRED.

RESILIENT & VINYL TILE FLOORING

- INSTALL ALL MATERIALS IN SHAPE, CONFIGURATION AND PATTERN AS SHOWN ON DRAWINGS. STANDARDS TO BE IN ACCORDANCE WITH TILE COUNCIL OF AMERICA AND/OR TILE AND TERRAZZO INSTITUTE OF CANADA. PROVIDE A 1% EXTRA SUPPLY OF EACH TYPE OF FLOORING USED IN THIS PROJECT FOR FUTURE REPLACEMENT PURPOSES.
- INSTALL TRANSITION STRIP AT ALL VCT/LVT TO CARPET OR CERAMIC JUNCTIONS. CLEAN AND SEAL TILE SURFACE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- INSTALLATION OF TILE SUBSTRATE TO BE LEVEL AND FREE OF DIRT, CONTAMINANTS, ADHESIVE AND OTHER MATERIALS THAT SHOULD BE DELETERIOUS TO MORTAR ADHESION. INSTALL ALL SHEET GOOD, VINYL COMPOSITE TILE, AND VINYL BASE AS INDICATED ON DRAWINGS, INSTALL IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS, CEMENTING DIRECTLY TO SUBSTRATE UNLESS NOTED OR DETAILED
- OTHERWISE. PROTECT FLOORS FROM ROLLING LOADS FOR FORTY-EIGHT(48) HOURS AFTER INITIAL INSTALLATION. VINYL TILE COMPOSITION TO CSA A126.1 EXCEPT THAT FILLER BE NON ASBESTOS, TYPE 'A' (PLAIN OR MOTTLED SURFACE TYPE). 1/8" THICK. 12"X12" SIZE. UNIFORM DISPERSEMENT OF COLOUR AND TEXTURE THROUGHOUT TILE THICKNESS.

PROVIDE MOISTURE LIMITER ON EXISTING POURED CONCRETE FLOORS PRIOR TO NEW FLOORING ASSEMBLY. CARPET (BROADLOOM & TILES)

- INSTALL CARPET AS PER MANUFACTURES INSTALLATION INSTRUCTION.
- PREP FLOOR TO MANUFACTURES REQUIREMENTS AS SET OUT IN THE INSTALLATION INSTRUCTIONS. 18 2 18.3. PROVIDE MOISTURE LIMITER ON EXISTING POURED CONCRETE FLOORS PRIOR TO NEW FLOORING ASSEMBLY.

19. VINYL BASE

INSTALL JOHNSONITE OR EQUAL 4" VINYL BASE AROUND PERIMETER OF ALL WALLS, EXISTING AND NEW. COLOUR BY CONSULTANT USE MANUFACTURES RECOMMENDED ADHESIVE FOR DRYWALL APPLICATION. PREP BASE OF EXISTING WALLS WHERE EXISTING CARPET BASE HAS BEEN REMOVED. REMOVE ALL GLUE AND PATCH AND

REPAIR WALLS DAMAGED WHERE REQUIRED.

- APPLY PAINT AS PER STANDARD CAN.CGSB-85.100 LATEST EDITION, AND AS PER CGC LEVEL 4 PAINT FINISH STANDARDS FOR
- A STROKE-FREE, SMOOTH, EVEN, SURFACE FINISH, PRIMER TO CAN/CGSB-1.119 - PRIMER-SEALER, WALL, INTERIOR LATEX TYPE. SUBMIT LIST OF PROPOSED PAINT AND COLOURS 10 DAYS PRIOR TO APPLICATION FOR REVIEW BY CONSULTANT/OWNER.
- STORE PAINT ON SITE IN APPROVED SEALED CONTAINERS AWAY FROM ANY FLAME SOURCE OR SPARK SOURCE. PREP ALL EXISTING PAINTED SURFACES TO ACCEPT NEW PAINT FINISH WHERE APPLICABLE. CLEAN AND PATCH WALLS. SAND SMOOTH ALL ROUGH SURFACES. PRIME NEW DRYWALL SURFACES WITH PRIMER PRIOR TO PAINTING.
- APPLY MATERIALS IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS AND SPECIFICATIONS. DO NOT USE ADULTERANTS OR DILUTENTS EXCEPT AS RECOMMENDED BY MANUFACTURE FOR APPLICATION.
- CLEAN UP AND REMOVE UNUSED PRODUCTS FROM SITE ON COMPLETION OF WORK. 20.9. PAINT SHEENS: EGGSHELL WALLS; SEMI-GLOSS DOORS/FRAMES; MATT WHITE CEILINGS.

ACOUSTIC CEILINGS

- PROVIDE NEW CEILING TILE ASSEMBLY AS PER ARCH DRAWINGS. MATCH NEW PRODUCT TO EXISTING PRODUCT IN ALL AREAS WHERE APPLICABLE. REPLACE TILES DAMAGED DURING CONSTRUCTION OR EXECUTION OF WORK WITH NEW TILES.
- EXTERIOR INSULATION & FINISHING SYSTEM (EIFS)
- RAINSCREEN 10MM REAR DRAINAGE PLAIN AND VENTED. EIFS TRADE SHALL BE AN ACCREDITED DRYVIT, STO (OR EQUAL) APPLICATOR AS CERTIFIED BY THE MANUFACTURER. VALID CERTIFICATE IS REQUIRED TO BE POSTED ON SITE FOR CONSULTANT REVIEW.

THE GENERAL CONTRACTOR SHALL NOTIFY THE CONSULTANT OF THE WATER RESISTIVE BARRIER (WRB) SCHEDULED

APPLICATION FOLLOWED BY THE OUTSULATION MD INSULATION BOARD APPLICATION FOR CONSULTANT REVIEW. MEDIUM DENSITY SPRAYFOAM INSULATION:

- SHALL MEET CAN/ULC-S705.1-15 STANDARD FOR THERMAL INSULATION, AND CAN/ULC-S770-09 STANDARD TEST METHOD FOR DETERMINING LONG TERM THERMAL RESISTANCE, AND SHALL MEET THE 2021 REQUIRED LOW IMPACT HFO BLOWING TYPE AGENTS. SHALL MEET THE ONTARIO AND NATIONAL BUILDING CODE APPLICATION, COVERAGE & FIRE PROTECTION REQUIREMENTS 3.1.5. COMBUSTIBLE INSULATION & FOAMED PLASTIC INSULATION, AND SECTION 9.25.4.2.(1) VAPOUR BARRIER
- COMPLIANCE TO ASTM E96. DO NOT APPLY SPRAYFOAM IN GRETER THAN 2" LIFTS, ALLOW CURING TIME BETWEEN LIFTS AS PER MANUFACTURER
- RECOMMENDATIONS. 23.3. THE STANDARD FOR SPRAYFOAM INSULATION SHALL BE BASF WALLTITE CM01 (OR EQUAL) R5.5/1", MIN 2" THICKNESS.

ROOFING & INSULATION:

- INSTALL ROOFING ASSEMBLY AS PER MANUFACTURER'S RECOMMENDED PRODUCT TYPES, SEQUENCING AND FASTENERS/ADHESIVES.
- ONLY INSTALL IN DRY WEATHER AND ONLY INSTALL A QTY OF ROOFING AREA MANAGEABLE FOR THE DAY OF WORK, PROVIDE WATER-TIGHT SEAL PERIMETER ON UNFINISHED ROOF FOR NEXT WORK DAY CONTINUATION.
- ROOFING INSTALLATION SHALL BE AS PER CANADIAN ROOFING CONTRACTORS ASSOCIATION (CRCA) STANDARDS, INCLUDING 6" STAGGERED (EA WAY) INSULATION BOARD JOINTS & 1/4"+ WIDE JOINTS SHALL BE FILLED WITH NON-EXPANDING SPRAYFOAM INSULATION. PROVIDE A 20 YEAR UNLIMITED LABOUR AND PRODUCTS WARRANTEE. PROVIDE 3RD PARTY QUALIFIED INDEPENDENT

ROOFING CONSULTANT TO REVIEW THE ROOFING INSTALLATION TO CURRENT ROOFING INDUSTRY STANDARDS, GC SHALL

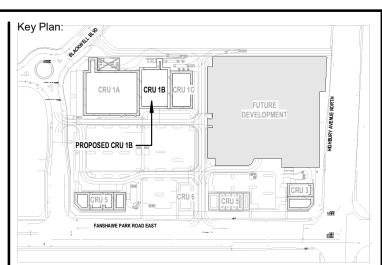
REQUIRED SUBMITTALS

FOLLOW THEIR RECOMMENDATIONS. COST FOR CONSULTANT SHALL BE BY OWNER.

THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION. SUBMIT ONE DIGITAL COPY UNLESS NOTED OTHERWISE.

-M	REQUIRED	P.ENG. STAMP	
<u>EM</u>	SUBMITTAL?	REQUIRED?	
NDOW SHOP DRAWINGS			
v CONNECTION NOTED	YES	YES	
OOR SHOP DRAWINGS			
v B.F. CLEARANCES NOTED	YES	NO	
OOR HARDWARE	YES	NO	
TEEL ERECTION DRAWINGS	YES	YES	
TEEL STUD ERECTION DRAWINGS	YES	YES	
SC. STEEL HAND/GUARD RAILS/LADDER	YES	YES	
OPED INSULATION	YES	NO	
RESTOP PRODUCTS	YES	NO	
OOFING MEMBRANE	YES	NO	
ARQUEE CANOPY DRAWINGS	YES	YES	

OBC REFERENC				LITY	CCESSIBI	TY AND A	SAFET	PANT S	, OCCUP	3 - FIRE PROTECTION	RT 3
								2/12	O.REG. 332	BUILDING CODE VERSION	3.00
[A] 1.1.		CRU #1 UNIT B					ON	STRUCTIO	NEW CONS	PROJECT TYPE	3.01
3.		USE						CY	OCCUPANO	MAJOR OCCUPANCY CLASSIFICATION	
	AIL UNIT	COMMERCIAL RETA					CANTILE	MERC		(SHELL PERMIT)	
3.2.									N/A	SUPERIMPOSED MA IOR	
										OCCUPANCIES	
[A] 1.4.		NEW	EXISTING			1.0.	ONI /LINIIT		DESCRIPTION	BUILDING AREA (m²)	3.04
	<u> </u>	3,024.00 1,446.00	-			•	•		NEW CONS	(PERMIT FOR CRU 1B ONLY)	
	·	930.00					·		NEW CONS	(I ENWITT ON ONO 1B ONET)	
	5,400.00	5,400.00	-					U 1)	TOTAL (CRU		
[A] 1.4.	V TOTAL	NEW	EXISTING					ON	DESCRIPTION	GROSS AREA (m²)	3.05
	<u> </u>	3,024.00	-						NEW CONS		
	· · · · · · · · · · · · · · · · · · ·	1,446.00	-				`		NEW CONS	(PERMIT FOR CRU 1B ONLY)	
		930.00 5,400.00	<u> </u>			10)	ON (UNIT		TOTAL (CUF		
3.2.		NEW	EXISTING					•	DESCRIPTION	MEZZANINE AREA (m²)	3.06
		-	-						N/A		
		-	-						TOTAL		
[A] 1.4.1.2	7 (m) ABOVE GRADE	5.7				OVE GRADE	REYS ABO	STORI	1	BUILDING HEIGHT	3.07
3.2.						OW GRADE	REYS BEL	STORI	0	LUCII DIIII DINO	2.00
3.:									NO	HIGH BUILDING NUMBER OF STREETS/	
3.2.2.10., 3.							EET(S)	STREE	2	FIREFIGHTER ACCESS	.2 1101
3.2.2.20				ED	S, SPRINKLER	TO 3 STOREY	UP E, UP	GROU	3.2.2.60.	BUILDING CLASSIFICATION	3.10
3.2.1		ING	ENTIRE BUILD		PROVIDED:				REQUIRED	SPRINKLER SYSTEM	
3.:	(EXISTING)	N/Δ	/PE PROVIDED						NOT REQUI	STANDPIPE SYSTEM FIRE ALARM SYSTEM	
	(EXISTINO)	11//	TETROVIDED	<u>'</u>						WATER SERVICE/	
3.2.									YES	SUPPLY IS ADEQUATE	3.14
3.2.2.2.20									BASED ON	CONSTRUCTION TYPE	3.15
3.2.		ER CONSTRUCTION	HEAVY TIMBI			ITED		NONC ON COMB	ACTUAL		
4.1.2.1.(3), T4.1.2.	N N/A	- CONSTRUCTION	-				COMB.	NONC	NORMAL	IMPORTANCE CATEGORY	3.16
	POSTED LIMIT		OCCUPANT		T. /D.F			/EL / ADE			
3.1.17., 3.1.17.1	REQUIRED	BASED ON	LOAD		TYPE	OCCUPANCY	=A	/EL / ARE	FLOOR LEV	OCCUPANT LOAD	3.18
	NO	m² PER PERSON	817		TILE (3.7m²)	E - MERCANT			UNIT 1A		
	NO	m² PER PERSON				E - MERCANT			UNIT 18	(PERMIT FOR CRU 1B ONLY)	
	NO	m² PER PERSON	251		ILE (3.7m²)	E - MERCANT			UNIT 1C TOTAL		
			1,400						YES	BARRIER-FREE DESIGN	3.19
3.1.				RANCE	ER-FREE ENTI	1 NEW BARR			1	BARRIER-FREE ENTRANCES	
3.3.1.2. & 3.3.1									NO	HAZARDOUS SUBSTANCES	3.20
3.2.2.2083., 3.2.1 3.2.1.4., 3.2.2	NONCOMB.IN LIEU OF RATING?	SUPPORTING ASSEMBLY (H)	RATING (H)				MBLY	AL ASSEN	HORIZONTA	REQUIRED FIRE RESISTANCE RATINGS	ソソコ
0.2.1.1., 0.2.2.	N/A	N/A	N/A				GRADE	BELOW GI	STOREYS B		
	N/A	N/A	N/A						FLOORS OV		
	NO	3/4	3/4						FLOORS		
	YES	3/4	3/4					E	MEZZANINE		
	NO	0	0						ROOF		
3.:	CLADDING TYPE	CONSTRUCTION TYPE	REQUIRED FRR (h)	% UPO PERMITTED / ACTUAL	L/H OR H/L	L.D. (m)	4	EBF AREA (m²)	EXPOSING BUILDING FACE	SPATIAL SEPARATION	3.22
	COMB. PERMITTED	COMB. PERMITTED	-	100 / 44	N/A	>15	180.2		NORTH *	(PERMIT FOR CRU 1B ONLY)	
	COMB. PERMITTED	COMB. PERMITTED	-	100 / 0	N/A	>11	67.0		SOUTH *	* UNIT B FIRE COMPARTMENT	
	O COMB. PERMITTED	COMB. PERMITTED	-	100 / N/A	N/A	>15	661.0		NORTH		
	COMB. PERMITTED	COMB. PERMITTED		100 / N/A	N/A	>15	285.0		WEST		
	D COMB. PERMITTED								SOUTH		
			-	100 / N/A	N/A		661.0				
3.7.4., 3.8.2.3	NONCOMB. REQ'D	COMB. PERMITTED		45.2 / N/A EPT AS NOTED	N/A E = 50:50 EXCE		216.0		EAST RATIO:	PLUMBING FIXTURE	.7 .7.5
T.3.8.2.3.A., T.3.8.2.3		D. D								REQUIREMENTS	
	UNIVERSAL WASHROOMS REQUIRED / PROVIDED	BARRIER-FREE WATER CLOSETS REQUIRED / PROVIDED	WATER CLOSETS PROVIDED	WATER CLOSETS REQUIRED	OBC SENTENCE	OCCUPANT LOAD			FLOOR LEVEL / AREA	(SHELL PERMIT FOR CRU 1B ONLY)	
			NI/A	N/A	N/A	390			UNIT 1B	J. T.	
	N/A	N/A	N/A								



Consultant:

Consultant:



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CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION. ANY MATERIAL ALTERATIONS CARRIED OUT DURING CONSTRUCTION BY THE

CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WIT THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL

3 MAR 30, 2024 ISSUED FOR COORDINATION 2 FEB 08. 2024 Date

ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD

EAST. - CRU #1-UNIT B

1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

Drawing Title:

GENERAL NOTES & OBC

Drawn By: D.H. Scale: AS INDICATED Plot Date: APR 02, 2024 Checked By: K.N.

Project Date: JAN 2024

Project No: 2023-102

WALL ASSEMBLIES SCHEDULE **GENERAL NOTES**

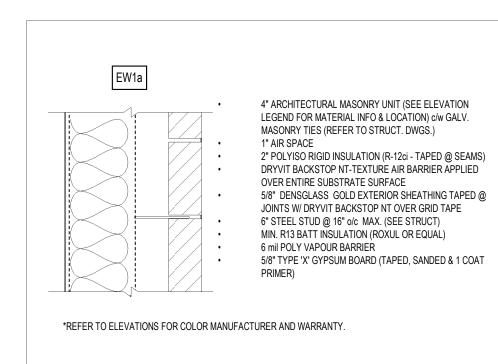
- FIRESTOP CAULKING TO SEAL JOINTS WHERE GYPSUM BOARD PARTITION ABUTTS FLOOR, u/s OF STRUCTURE, CONCRETE MASONRY UNIT (CMU) AND ALL PENETRATIONS THRU FIRE SEPARATIONS. TYP.
- REFER TO FLOOR PLANS FOR LOCATION OF WALLS BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- CONFIRM WALL THICKNESS WITH STRUCTURAL DRAWINGS.
- INTERIOR DRYWALL TO BE TAPED, SANDED AND MADE READY TO RECEIVE TENANT FINISH EGGSHELL SHEEN ON WALLS; SEMIGLOSS IN KITCHENS ABOVE COUNTER, BATHROOM WALLS, AND
- DOORS/FRAMES; FLAT SHEEN CEILINGS. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL CONCRETE WALL TYPES, MATERIALS, THICKNESS'.TYP.
- MAX 2" THICK LIFT OF SPRAYFOAM INSULATION PER PASS.
- CONC. BLOCK TOP LATERAL SUPPORT METAL CLIP ANGLES REQUIRED, REFER TO STRUCTURAL DWGS., TYP. PROVIDE SAME THICKNESS WATER RESISTANT GYPSUM BOARD BEHIND & BESIDE WATER FIXTURES TYP.
- ALL PARTITIONS SHALL BE PROVIDED WITH LATERAL STABILITY/CROSS BRACING AT TOPS OF FRAMING FOR LATERAL SECUREMENT.
- PAINT ALL STEEL EXPOSED TO VIEW. NEW STRUCTURAL STEEL SHALL BE PRIMED AND PAINTED.
- PROVIDE TILE BACKER BOARD BEHIND ALL WALL TILE.
- PROVIDE ADEQUATE BLOCKING IN WALLS/PARTITIONS TO SUPPORT/SECURE ALL ITEMS FIXED TO WALL. TYP.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS SHALL BE CONSTRUCTED UP TO U/S STRUCTURE ABOVE. FOLLOW
- TYP. DETAIL FOR FIRE RATED PARTITION FINISHING REFER TO GEOTECHNICAL REPORT FOR ALL EARTH, MOISTURE, BEARING AND METHANE GAS PROTECTION
- DESIGN RELATED INFORMATION THAT MAY AFFECT BUILDING ASSEMBLIES AND CONSTRUCTION PROCESSES. TYP. REFER TO GEOTECHNICAL REPORT FOR ALL GROUND WATER CONTROL AND WEEP TILE @ FOOTINGS

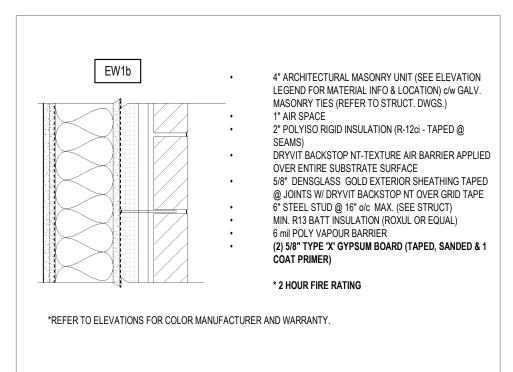
FLOOR/ROOF ASSEMBLIES SCHEDULE **GENERAL NOTES**

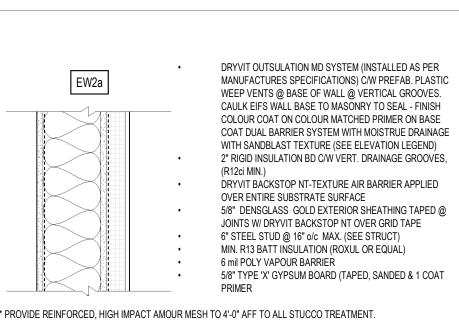
- REFER TO SECTIONS FOR LOCATION OF FLOOR/ROOF BY TYPE.
- REFER TO STRUCTURAL DRAWINGS FOR REINFORCING AT CONCRETE WALLS AND CMU.
- DISCREPANCIES TO THE ARCHITECT (IF REQUIRED).

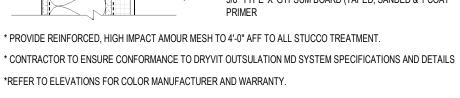
CONFIRM FLOOR/ROOF THICKNESS WITH STRUCTURAL DRAWINGS, REPORT ANY 45.0 m 45.0 m 45.0 m 45.0 m MAIN ENTRANCE BARRIER FREE,

EXTERIOR WALLS TYPE SCHEDULE

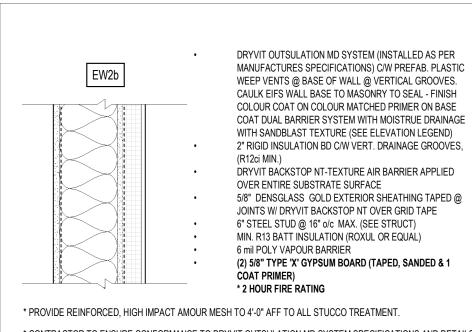




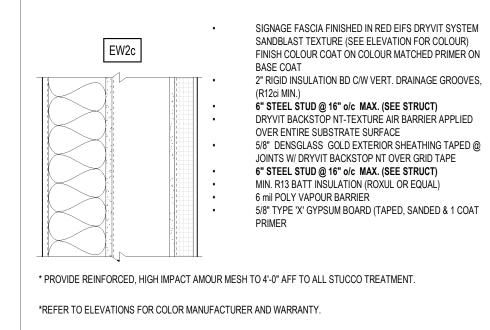




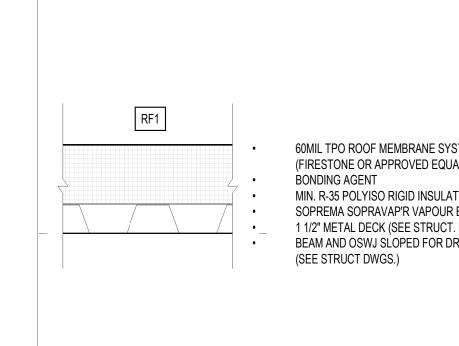
FLOOR TYPE SCHEDULE

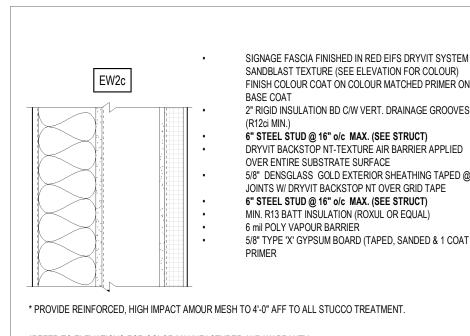


* CONTRACTOR TO ENSURE CONFORMANCE TO DRYVIT OUTSULATION MD SYSTEM SPECIFICATIONS AND DETAILS *REFER TO ELEVATIONS FOR COLOR MANUFACTURER AND WARRANTY.



ROOF TYPE SCHEDULE





LIFE SAFETY PLAN

SCALE: 1:200

FIREFIGHTERS ENT.

LIFE SAFETY LEGEND

EXIT SIGN W/ EMERGENCY LIGHT

PATH OF TRAVEL

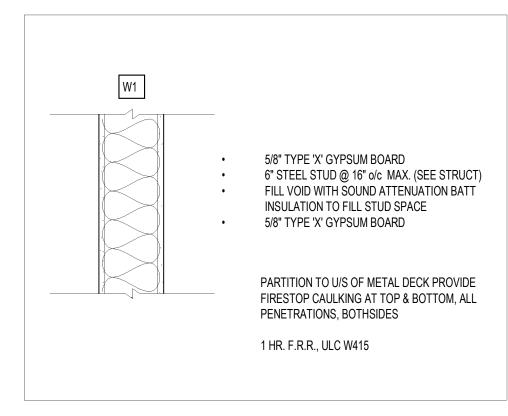
1HR FIRE RATED WALL

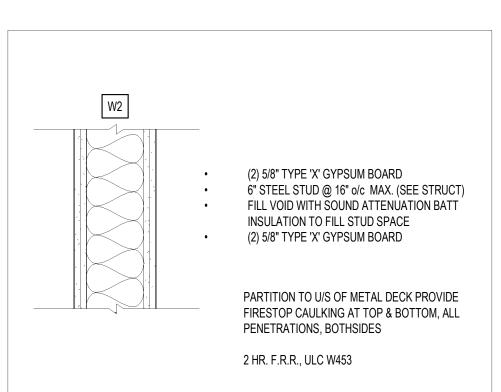
2HR FIRE RATED WALL

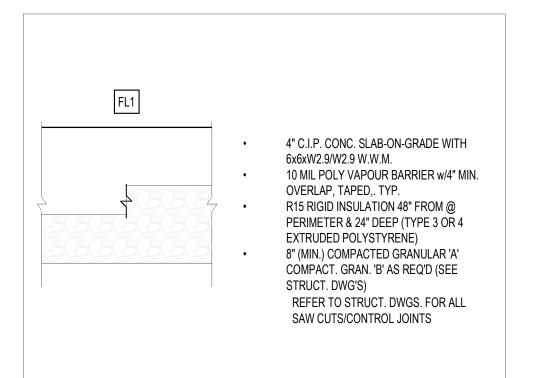
NOTE: REFER TO ELEVATIONS FOR COLOR

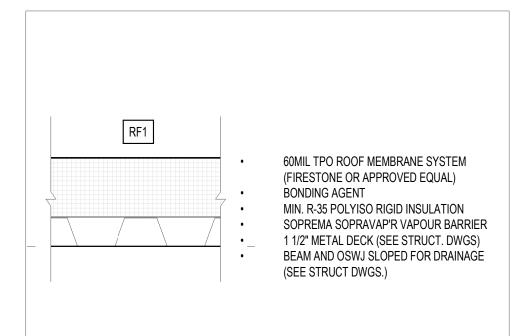
MANUFACTURER AND WARRANTY.

INTERIOR WALLS TYPE SCHEDULE





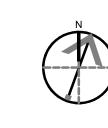




Consultant:







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General Notes

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CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING

ANY MATERIAL ALTERATIONS CARRIED OUT DURING CONSTRUCTION BY THE CONTRACTOR OR ASSOCIATED SUB-CONTRACTOR SHALL BE CONFIRMED WITH THE ENGINEER PRIOR TO INSTALL. FAILURE TO DO SO RESULTS IN FULL CONTRACTOR RESPONSIBILITY FOR SYSTEMS AFFECTED.

ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD.

EAST. - CRU #1-UNIT B 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

ASSEMBLY TYPES

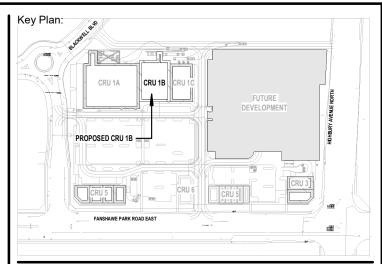
Scale: AS INDICATED Drawn By: D.H. Plot Date: APR 02, 2024 Checked By: K.N.

Project Date: JAN 2024

Project No: 2023-102

Drawing No:

100mm (4") CONCRETE SLAB-ON-GRADE WITH 6x6xW2.9/W2.9 W.W.M ON , 10MIL POLY VAPOUR BARRIER WITH 4" MIN. OVERLAP, TAPED R15 RIGID INSULATION TO 48" FROM PERIMETER & 24" DEEP (TYPE 3 OR 4 EXTRUDED POLYSTYRENE) ON 8" COMPACT. GRAN. 'A' COMPACT. GRAN. 'B' AS REQ'D (SEE STRUCT. DWGS) +-- - --- - ---REFER TO STRUCT. DWGS. FOR ALL SAW CUTS/CONTROL JOINTS, COLUMN, BEAM SIZING, AND LOCATION & SIZING OF ALL CROSS BRACING, TOP OF SLAB-ON-GRADE IS AT 0' - 0" (257.65 GEODETIC - TO BE CONFIRMED ON SITE REFER TO SITE PLAN BY SBM DATED NOV 11, 2023). REFER TO STRUCT. DWGS. FOR COLUMN & FOUNDATION INFORMATION. ALL COLUMN BASE PLATES TO BE 200mm (8") BELOW TOP OF FLOOR ELEVATION UNLESS OTHERWISE NOTED ON STRUCT. DWGS. EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE FACE -TO BE COORDINATED WITH CRU1 UNIT A OF CONCRETE. CONCRETE CONTRACTOR TO COORDINATE WITH ALL TRADES THE LOCATION OF ALL PIPE SLEEVES THROUGH FOUNDATION WALLS. PIPE SLEEVES MAY NOT BE PLACED WITHIN FOOTINGS. FOUNDATION MUST BE STEPPED DOWN TO ACCOMMODATE ELEVATION OF PIPE SLEEVES. FOR REQUIREMENTS & SPECIFIC CONDITIONS FOR THIS SITE, REFER TO SOIL REPORT. ALL FOUNDATION WORKS INCLUDING EXCAVATION, R15 RIGID INSULATION T \$\phi\$ 48" FROM R15 RIGID INSULATION TO 48" FROM BACKFILL & COMPACTION SHALL CONFORM TO PERIMETER & 24" DEEP (TYPE 3 OR PERIMETER & 24" DEEP (TYPE 3 OR RECOMMENDATIONS FROM THE SOIL REPORT. SOIL CONDITIONS & BEARING CAPACITY MUST BE 4 EXTRUDED POLYSTYRENE) 4 EXTRUDED POLYSTYRENE) APPROVED BY GEOTECH. ENGINEER LINE OF RWL ABOVE LINE OF RWL ABOVE SHOWN DASHED (TYP.); SHOWN DASHED (TYP.); REFER TO MECHANICAL REFER TO MECHANICAL DRAWINGS FOR EXACT DRAWINGS FOR EXACT LOCATION ____ LQCATION REFER TO STRUCT. DWGS. FOR ALL SAW CUTS/CONTROL JOINTS FL1 LINE OF RWL ABOVE I SHOWN DASHED (TYP.); SHOWN DASHED (TYP.); REFER TO MECHANICAL REFER TO MECHANICAL DRAWINGS FOR EXACT DRAWINGS FOR EXACT R15 RIGID INSULATION TO 48" FROM PERIMETER & 24" DEEP (TYPE 3 OR 4 EXTRUDED POLYSTYRENE) FROST SLAB TYPICAL AT ALL 100 mm 0' - 4" 100 mm 0' - 4" BARRIER FREE ENTRY DOORS SEE DETAIL & STRUCT. DWG\$. TO BE COORDINATED WITH CRU1 UNIT A **FOUNDATION PLAN - UNIT B** SCALE: 1:100



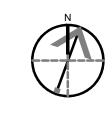
Consultant:



sultant:



Seal:



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4	APR 02, 2024	ISSUED FOR TENDER
3	MAR 30, 2024	ISSUED FOR COORDINATION
2	FEB 08, 2024	ISSUED FOR CLIENT REVIEW
1	FEB 06, 2024	60% ISSUED FOR CLIENT REVIEW
No.	Date	Revision

ISSUES/REVISION TABLE

Project:

VESTIBLE
DEVELOPMENT CORP

1300 FANSHAWE PARK ROAD.

EAST. - CRU #1-UNIT B
1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

Drawing Title:

FOUNDATION PLAN

Checked By: K.N. Scale: AS INDICATED

Plot Date: APR 02, 2024

Project Date: JAN 2024

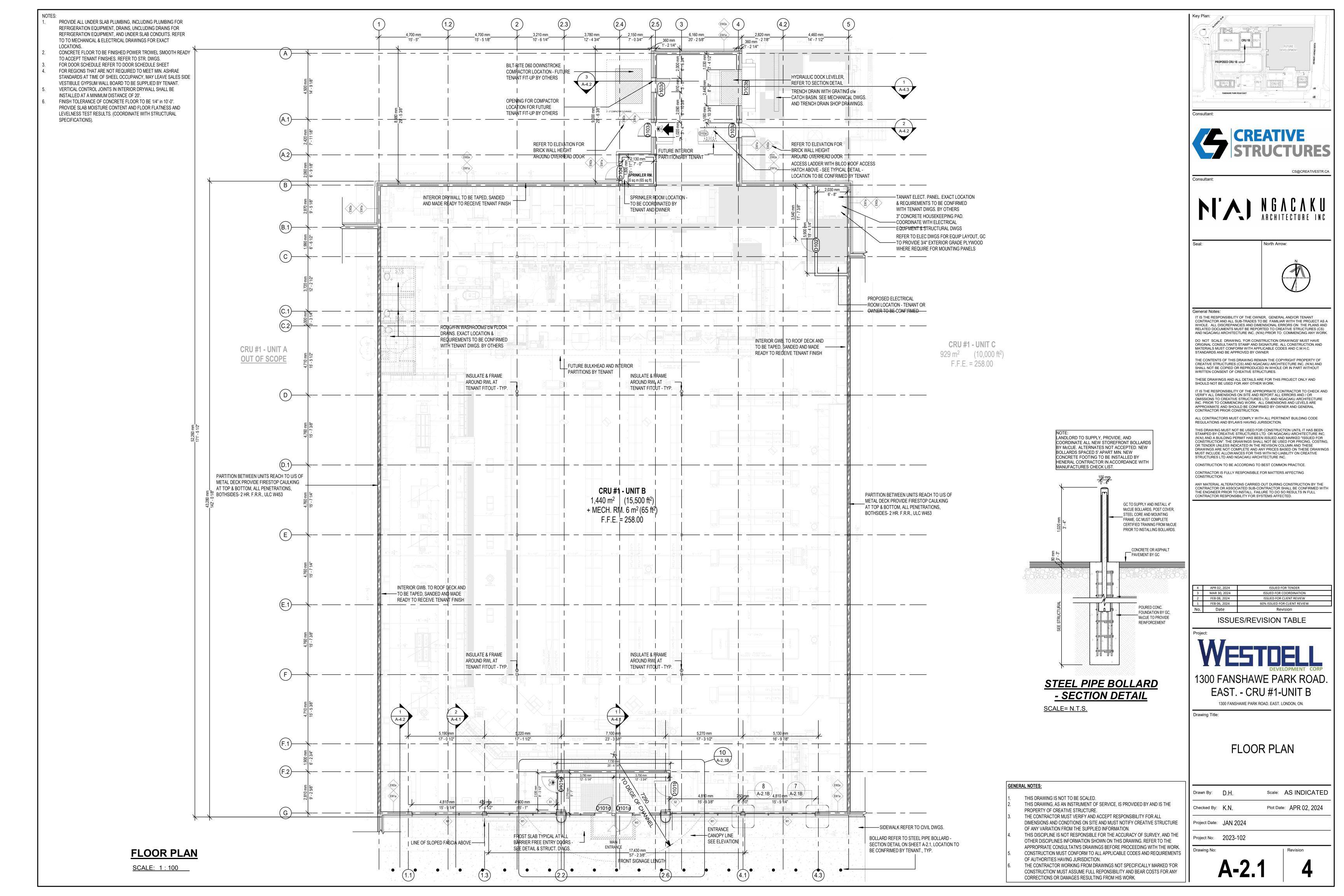
Project No: 2023-102

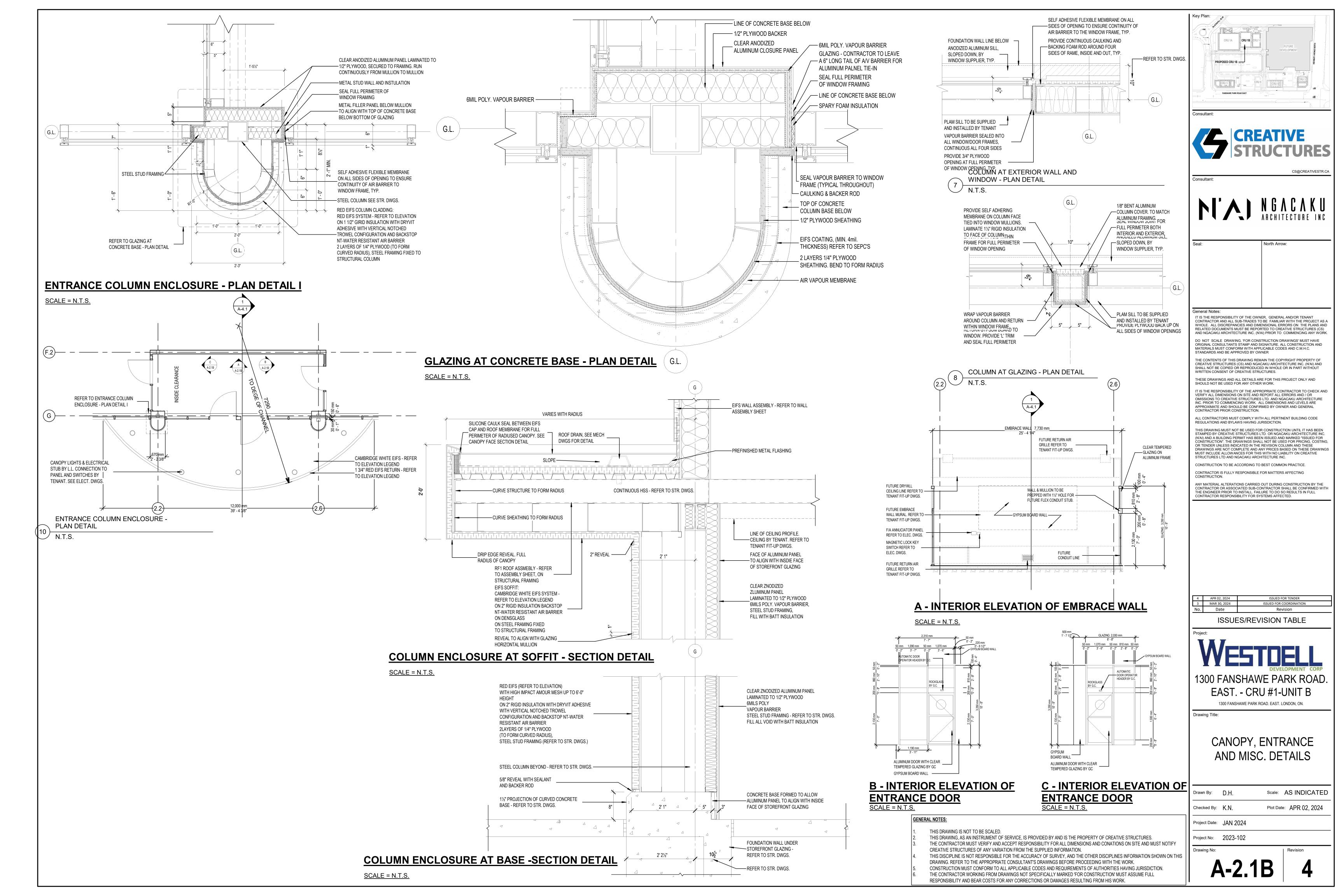
TO BE READ IN CONJUNCTION WITH THE STRUCTURAL FOUNDATION PLAN. REFER TO STRUCTURAL DWGS. FOR ALL REINFORCING, FOUNDATION WALL & PIERS SIZES & U/S OF FOOTING ELEVATIONS.

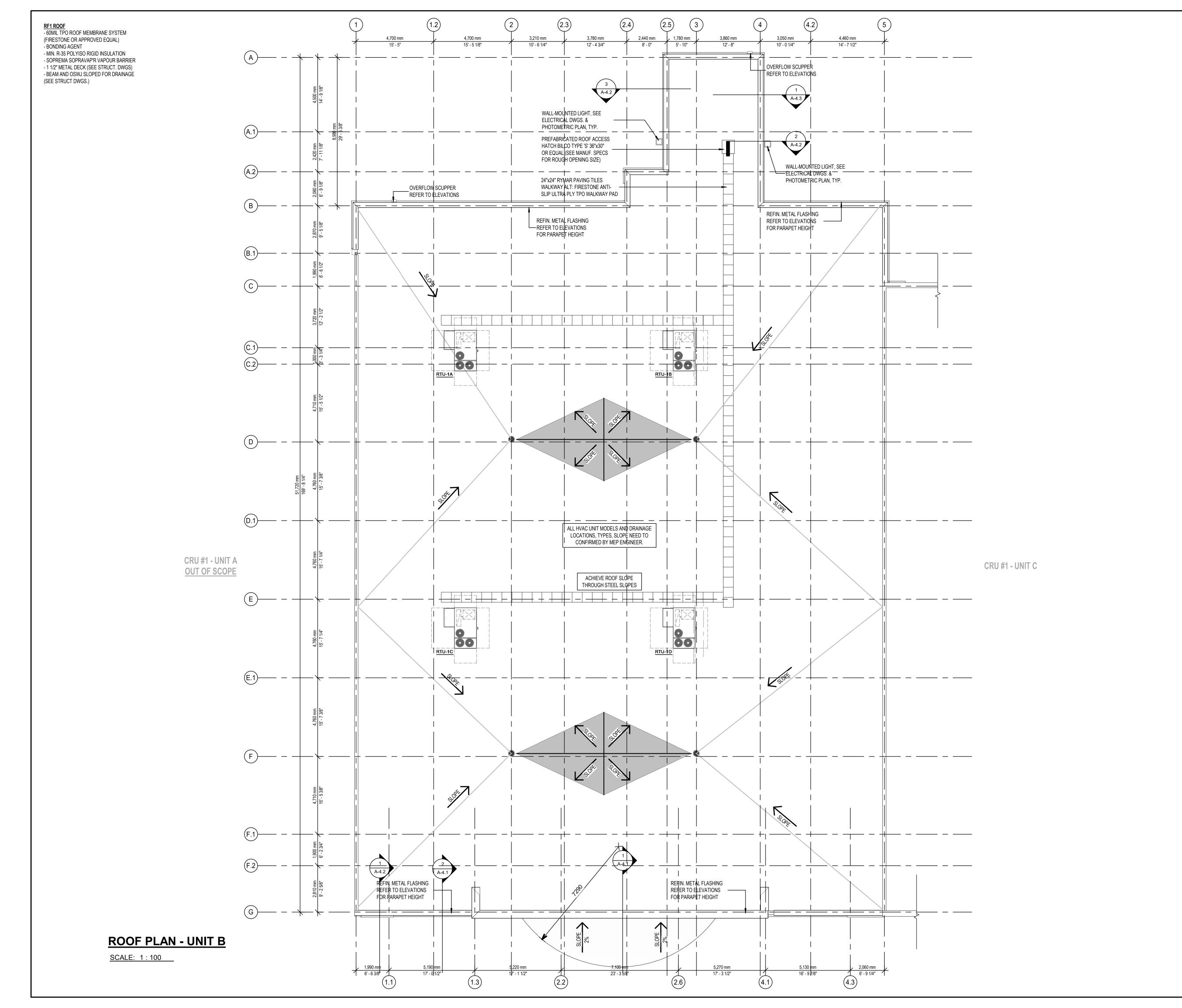
Revision

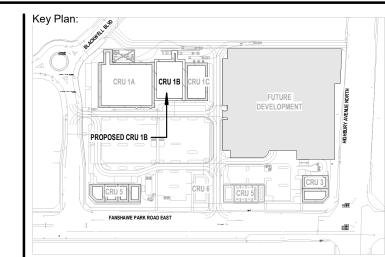
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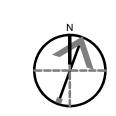












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ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD.

1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

EAST. - CRU #1-UNIT B

GENERAL NOTES:

STRUCTURE.

SUPPLIED INFORMATION.

WITH THE WORK.

THIS DRAWING IS NOT TO BE SCALED.

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF CREATIVE

THE CONTRACTOR MUST VERIFY AND ACCEPT REPONSIBILITY FOR ALL DIMENSIONS AND CONDTIONS ON SITE AND MUST NOTIFY CREATIVE

STRUCTURE OF ANY VARIATION FROM THE

THIS DISCIPLINE IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, AND THE OTHER

DISCIPLINES INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTATN'S DRAWINGS BEFORE PROCEEDING

CONSTRUCTION MUST CONFORM TO ALL

RESULTING FROM HIS WORK.

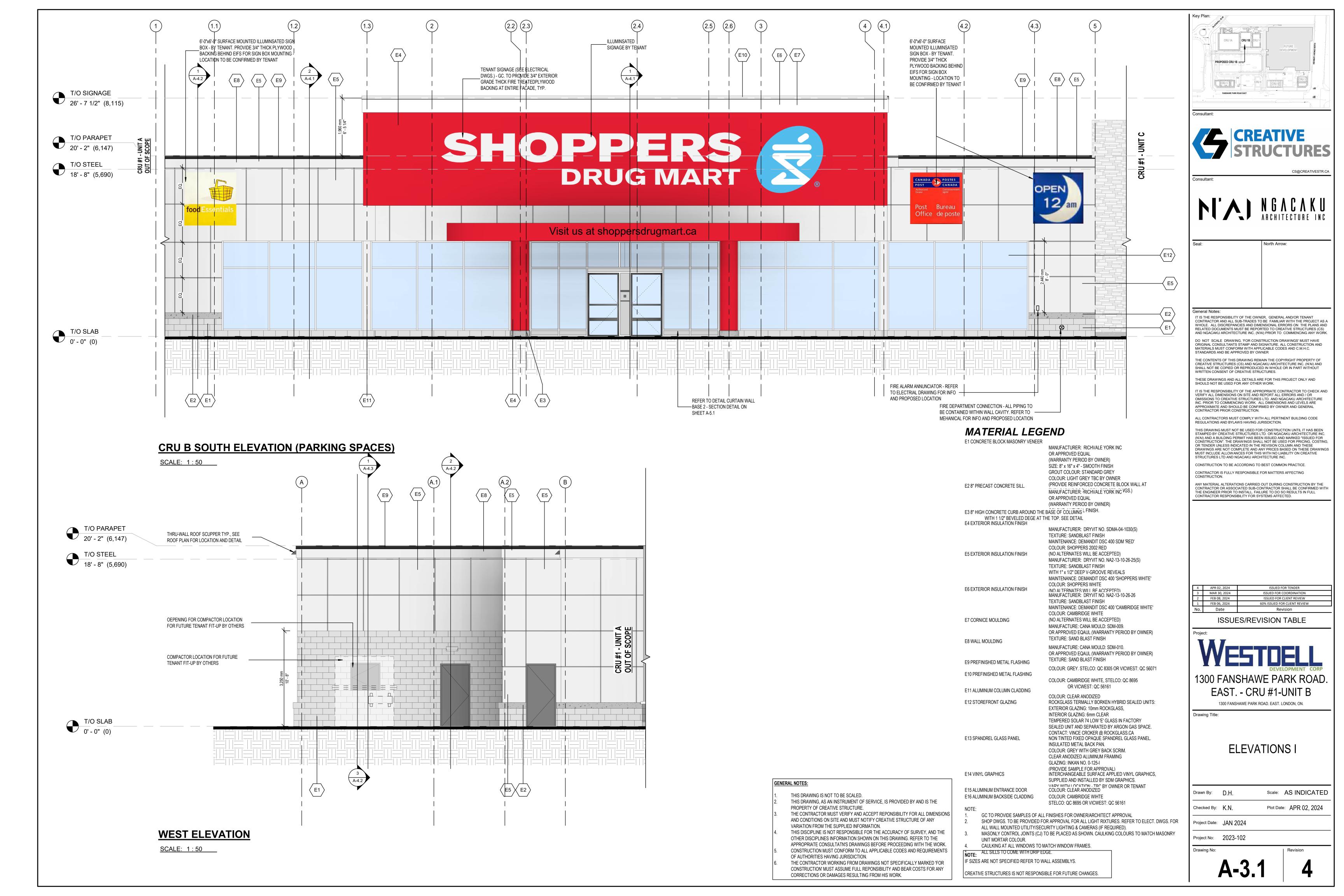
APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

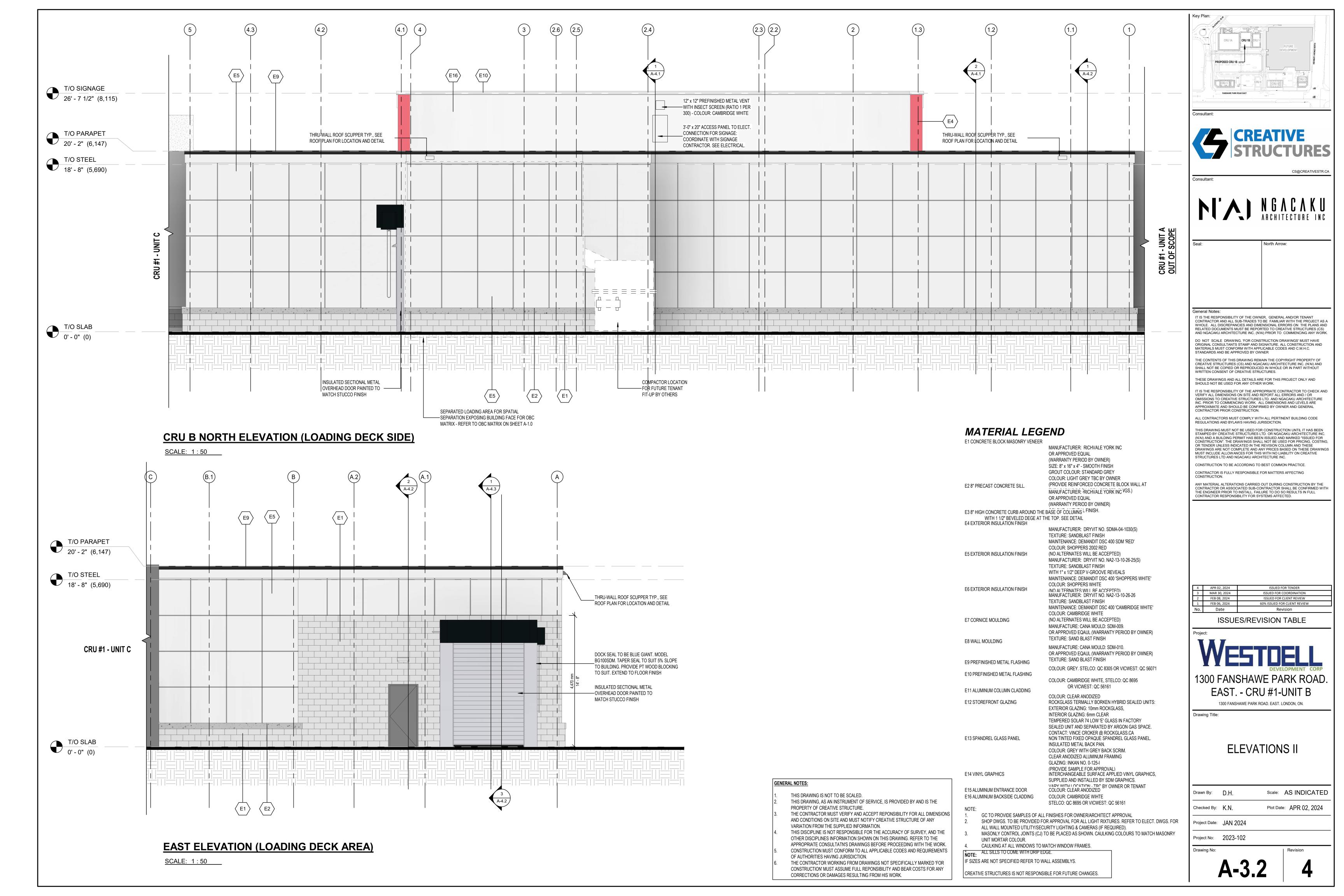
THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED 'FOR CONSTRUCTION' MUST ASSUME FULL REPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES

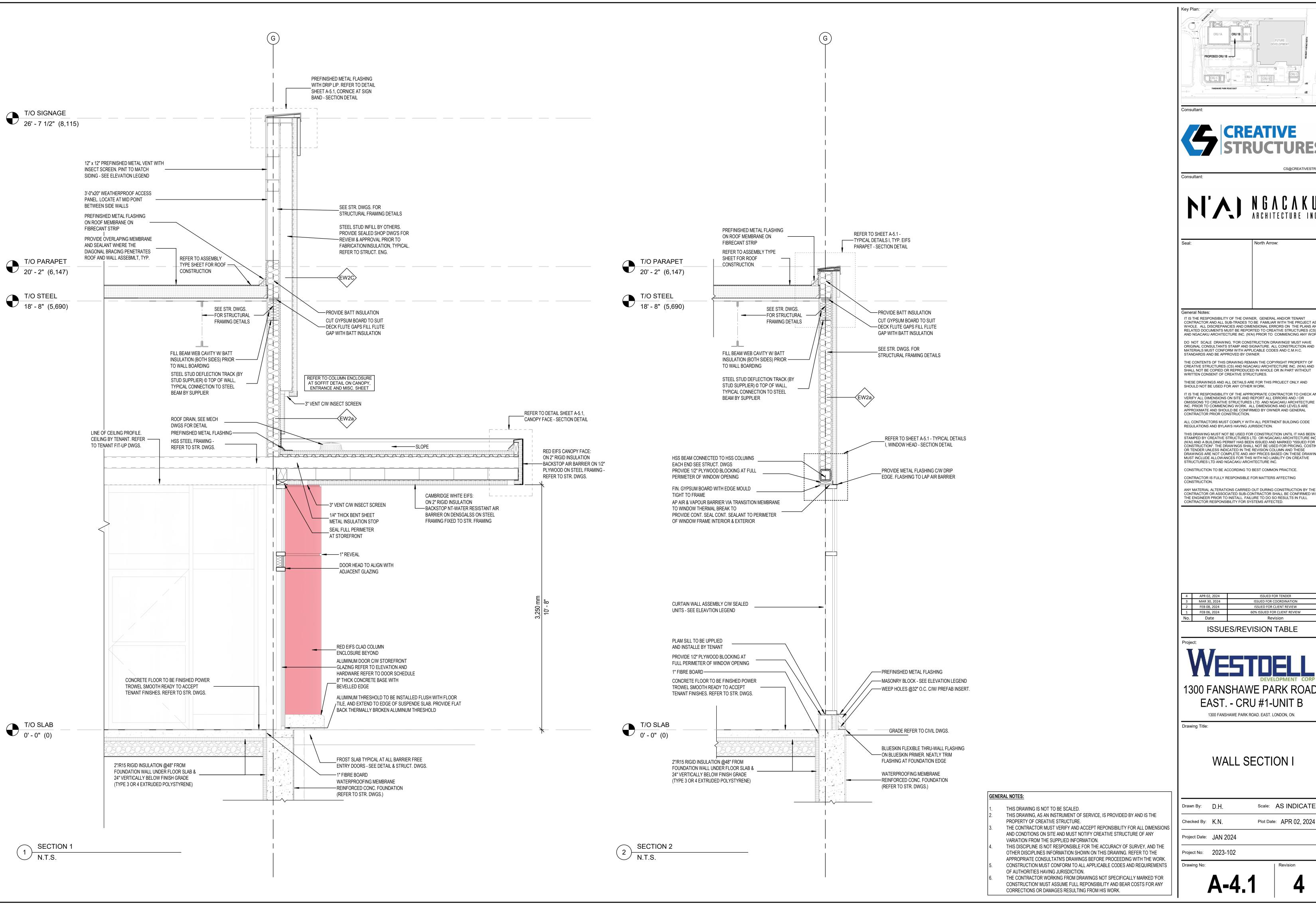
ROOF PLAN

Scale: AS INDICATED Drawn By: D.H. Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024









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ı	4	APR 02, 2024	ISSUED FOR TENDER
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ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD.

EAST. - CRU #1-UNIT B

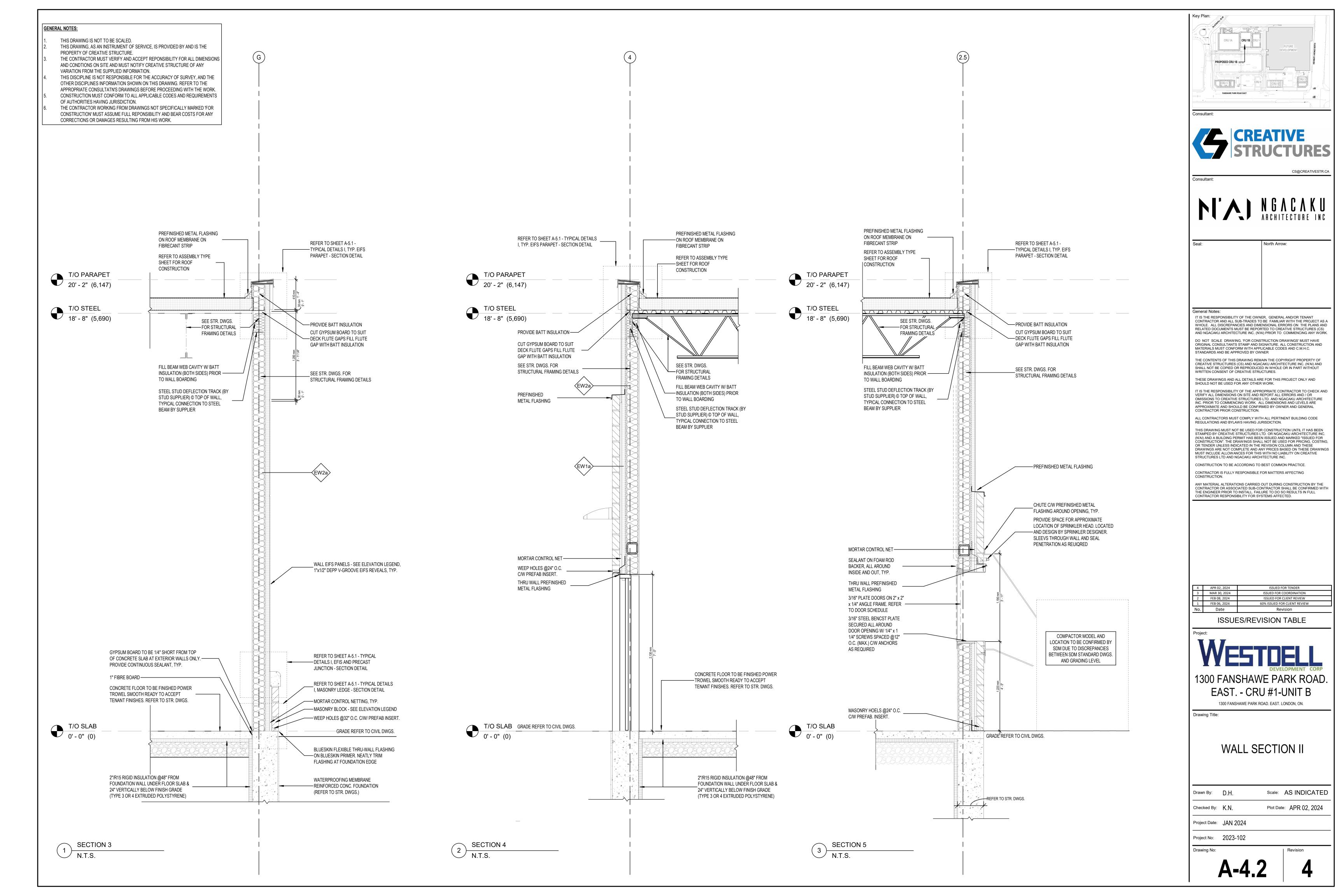
1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

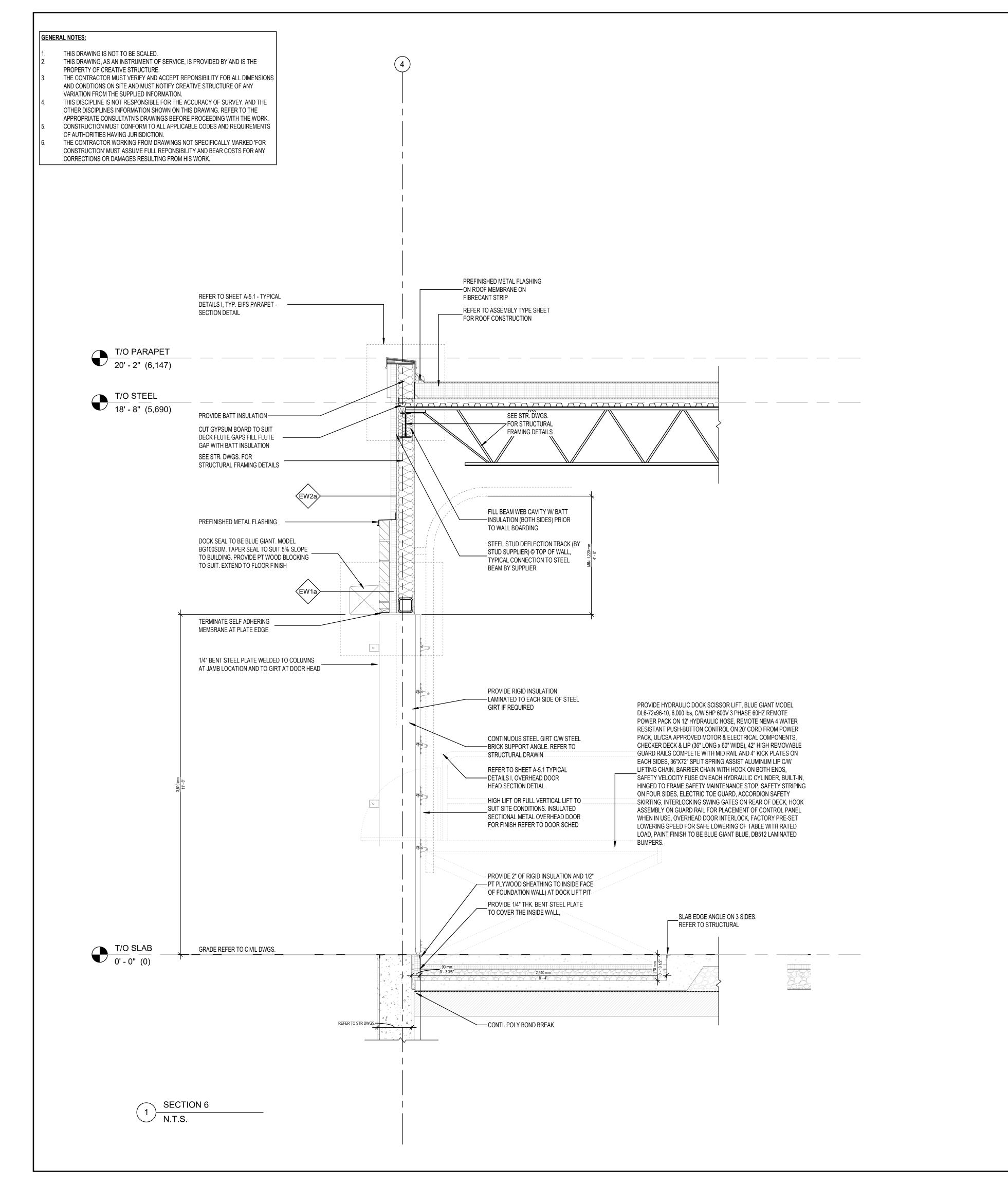
WALL SECTION I

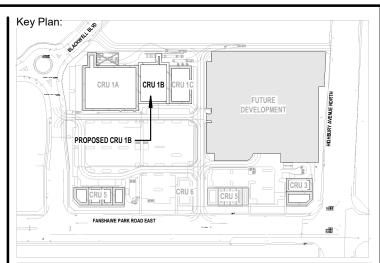
	Drawn By:	D.H.	Scale: AS INDICATE
ONS	Checked By:	K.N.	Plot Date: APR 02, 2024
0110	Project Date	IAN 2024	

oject Date: JAN 2024

Project No: 2023-102









Consultant:



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EAST. - CRU #1-UNIT B

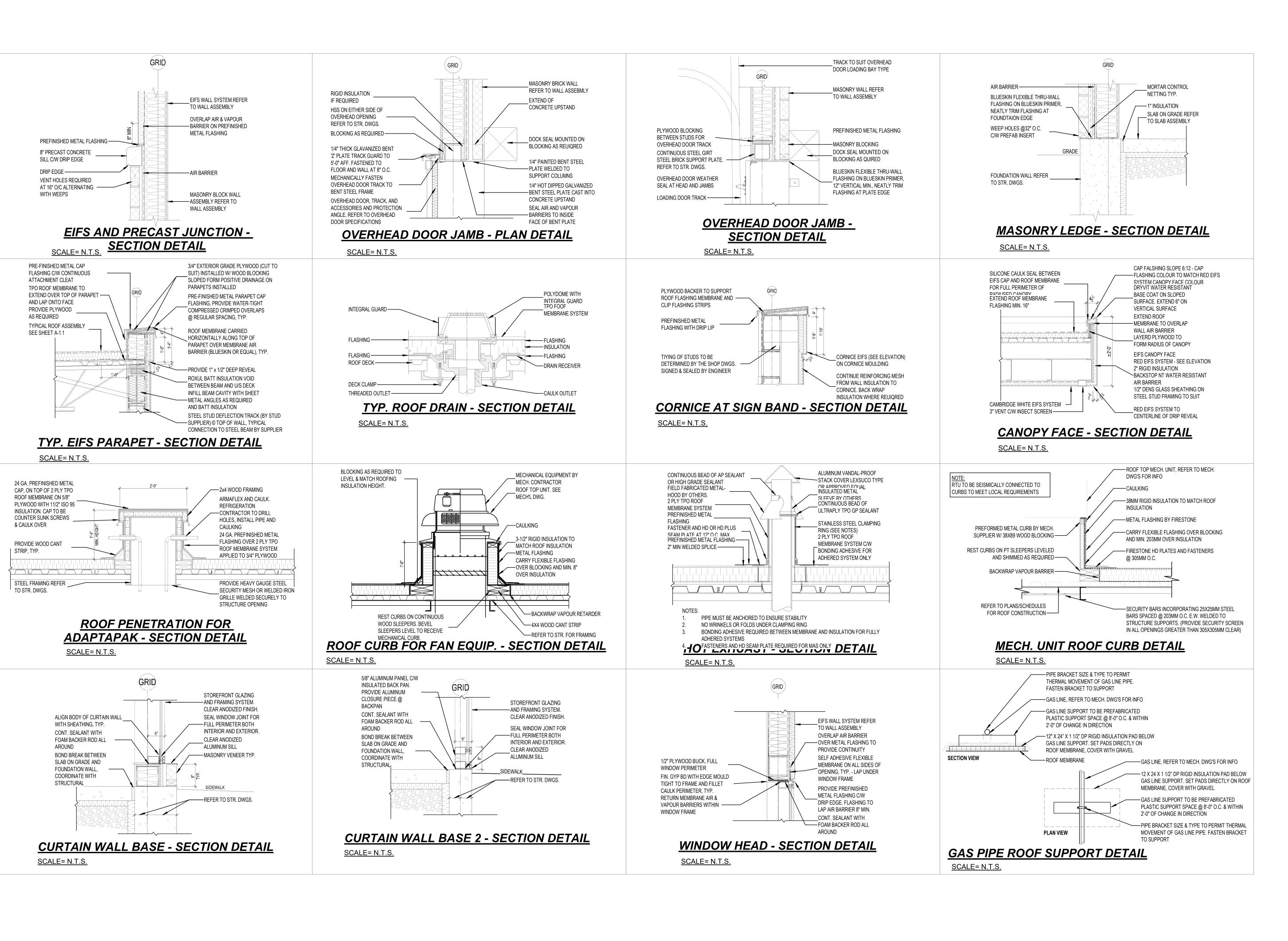
1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

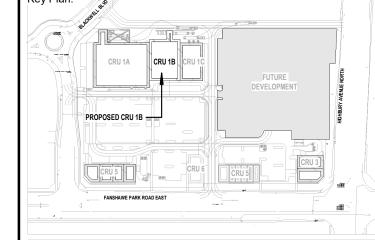
WALL SECTION III

Drawn By: D.H. Scale: AS INDICATED Plot Date: APR 02, 2024 Checked By: K.N.

Project Date: JAN 2024

Project No: 2023-102







nsultant:

NGACAKU
ARCHITECTURE INC

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al: North Arrow:

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 4
 APR 02, 2024
 ISSUED FOR TENDER

 3
 MAR 30, 2024
 ISSUED FOR COORDINATION

 No.
 Date
 Revision

ISSUES/REVISION TABLE

1300 FANSHAWE PARK ROAD.

EAST. - CRU #1-UNIT B

1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

Title:

TYPICAL DETAILS I

Drawn By: D.H. Scale: AS INDICATED

Checked By: K.N. Plot Date: APR 02, 2024

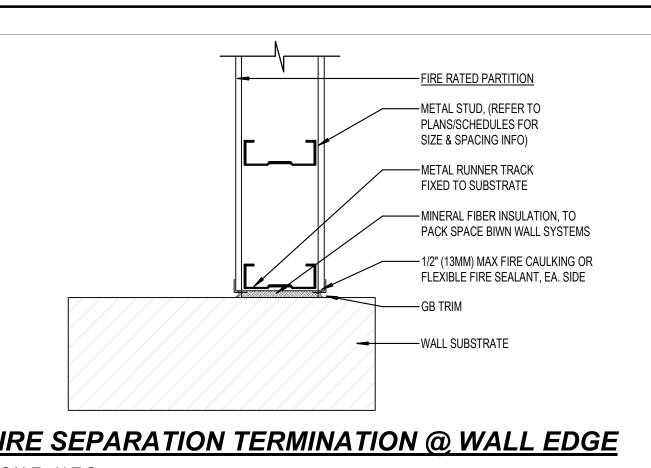
Project Date: JAN 2024

Project No: 2023-102

Drawing No:

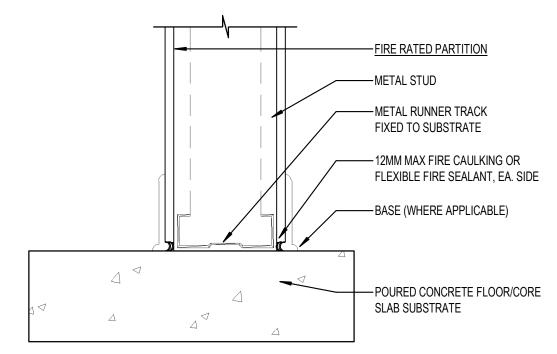
4-5.1

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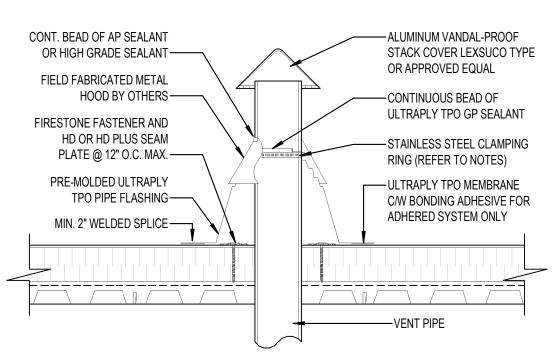
FIRE SEPARATION TERMINATION @ WALL EDGE

SCALE= N.T.S.



FIRE SEPARATION TERMINATION @ **WALL BASE**

SCALE= N.T.S.



1. PIPE MUST BE ANCHORED TO ENSURE STABILITY 2. PRE-MOLDED PIPEFLASHING MAY BE CUT TO HEIGHT, BUT NO LOWER THAN REINFORCING RING (ENSURE NO WRINKLES OR FOLDS UNDER CLAMPING RING) 3. APPLY GP SEALANT BETWEEN PENETRATION AND PRE-MOLDED PIPE FLASHING PRIOR TO INSTALLATION OF CLAMPING RING 4. LARGE PRE-MOLDED PIPE FLASHING FITS 4" TO 6" PENETRATIONS SIZES 5. DO NOT USE WHEN SERVICE LINE TEMPERATURE EXCEEDS 180. FAHRENHEIT 6. FIRESTONE FASTENERS AND HD SEAM PLATE REQUIRED FOR MAS ONLY

VENT STACK DETAIL

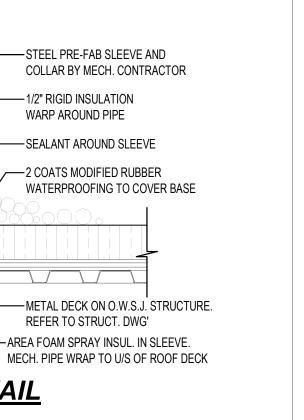
SCALE= N.T.S.

VENT PIPE DETAIL

SCALE= N.T.S.

VENT PIPE AS PER MECH. DWG'S-

GRAVEL TO SPECIFICATION —



-STEEL PRE-FAB SLEEVE AND

-1/2" RIGID INSULATION

WARP AROUND PIPE

—SEALANT AROUND SLEEVE

-2 COATS MODIFIED RUBBER

REFER TO STRUCT. DWG'

FLEXIBLE FIRE SEALANT, EA. SIDE MINERAL FIBER INSULATION PACKED INTO VOID IN METAL DECK PROFILE -METAL STUD -FIRE RATED PARTITION

FIRE SEPARATION TERMINATION @ WALL BASE SCALE= N.T.S.

-4" x 4" PREFINISHED METAL SCUPPER cw/ NAILING FLANGE —ROOF MEMBRANE SYSTEM FULLY ADHERED THRU-WALL -FLASHING CONTINUOUS AROUND OPENING FOR SCUPPER

SCUPPER DETAIL

SCALE = N.T.S

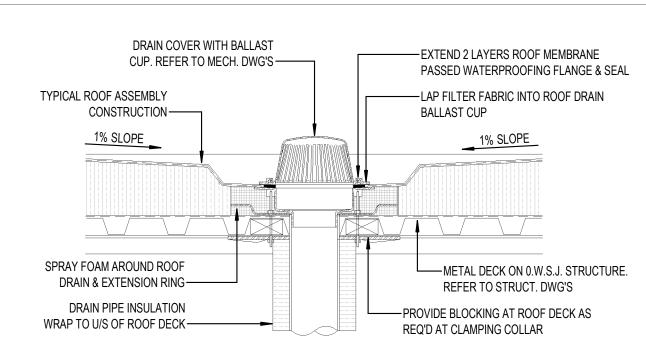
PREFIN. ALUM. FLASHING OVER FULLY

DRIP CONTINUOUS AROUND OPENING

BACKER ROD &

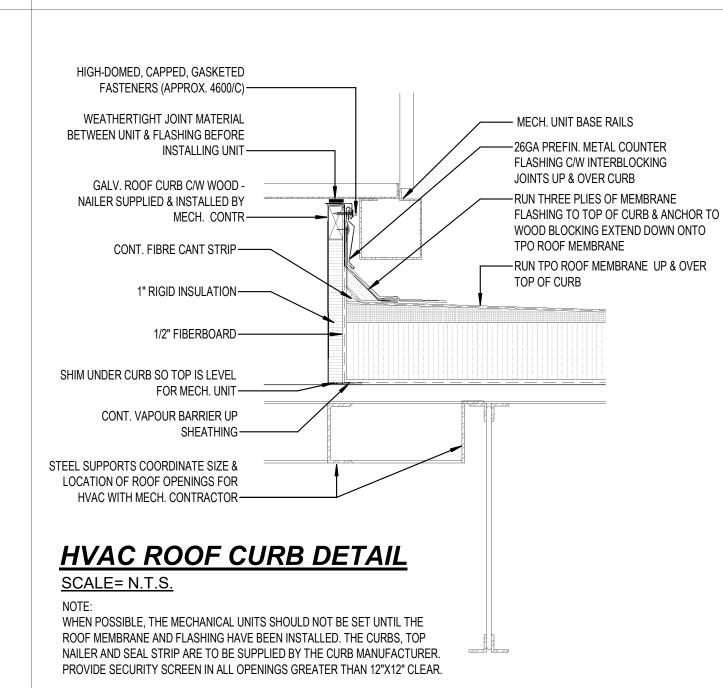
SEALANT CONTINUOUS

ADHERED THRU-WALL FLASHING w/



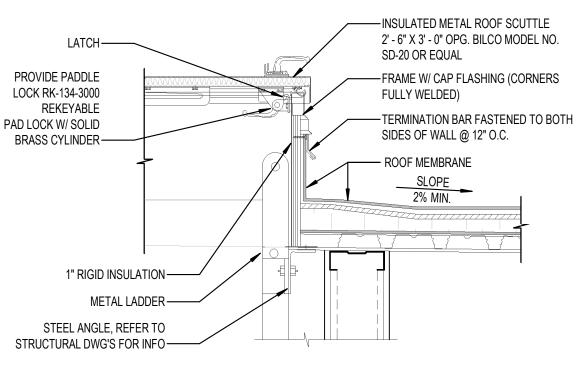
ROOF DRAIN DETAIL SCALE= N.T.S.

REFER TO MECH. DWGS. FOR LOCATION & EXTENT OF ROOF DRAINS. REFER TO ROOF DRAIN MANUF. SPEC. FOR ALL INSTALLATION INSTRUCTIONS.

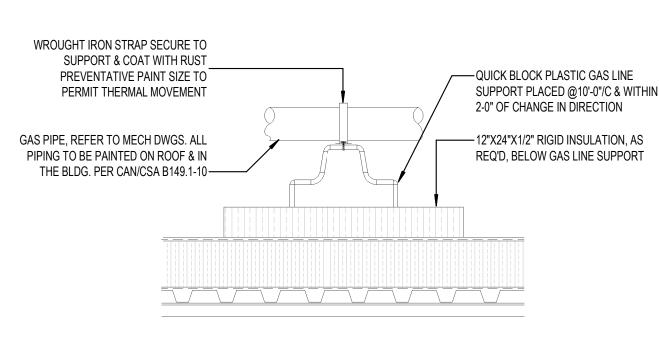


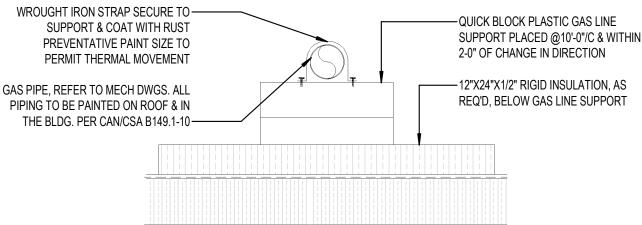
-1/2" (13MM) MAX FIRE CAULKING OR

REFER TO PLANS/ REFER TO PLANS/ FLOOR ATTACHMENT REFER TO DETAIL -METAL STUD A-001D FOR INFO FIRE RESISTANT ASSEMBLIES **PARTITION SECTION**



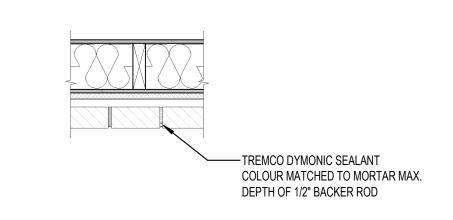
ROOF ACCESS HATCH CURB DETAIL SCALE= N.T.S.





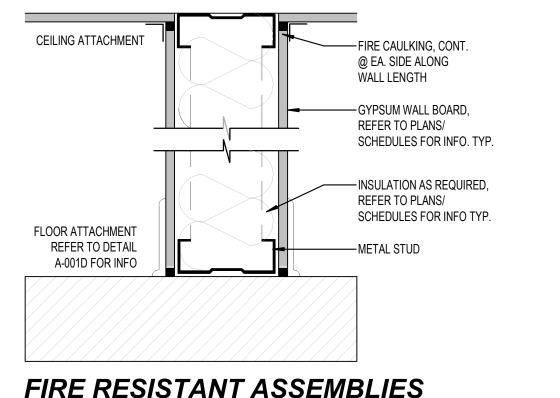
GAS PIPE ROOF SUPPORT DETAIL

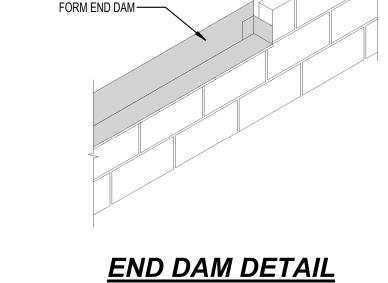
SCALE= N.T.S. CONFIRM WITH MECH. DWGS.



CONTROL JOINT (CJ) SCALE= N.T.S.

TYPICAL CONTROL JOINT IN FACE BRICK & MASONRY VENEERS





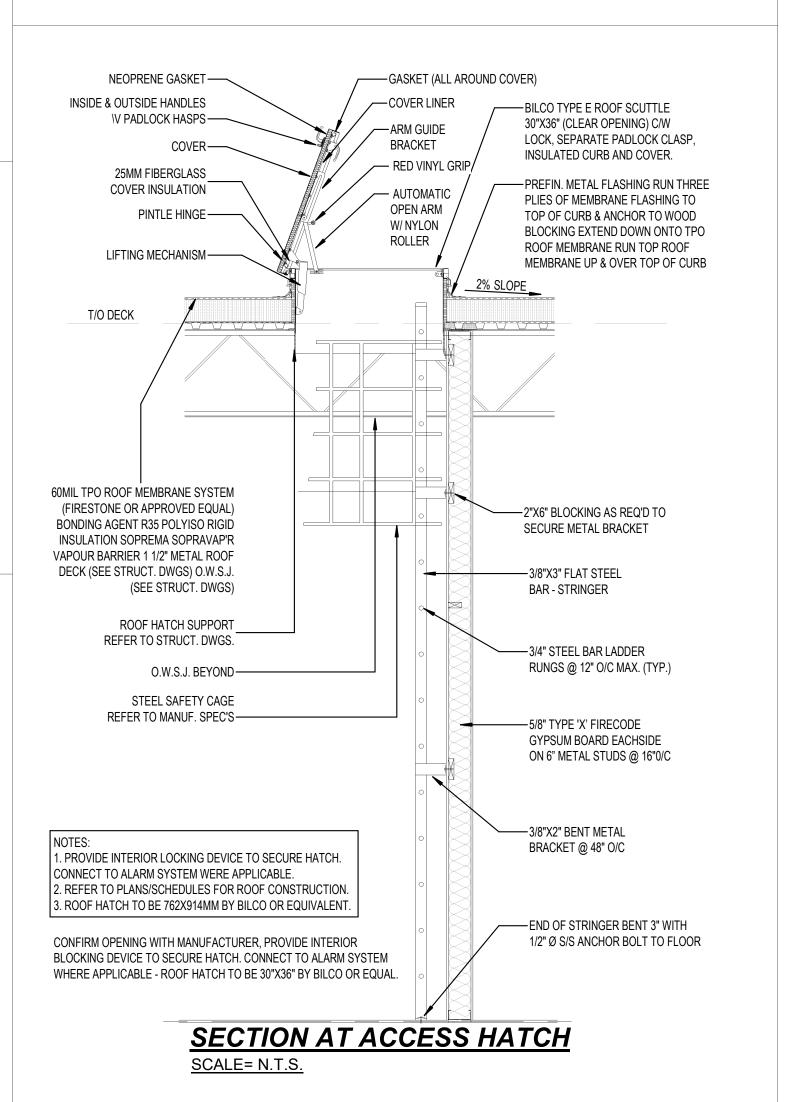
THRU-WALL FLASHING TO

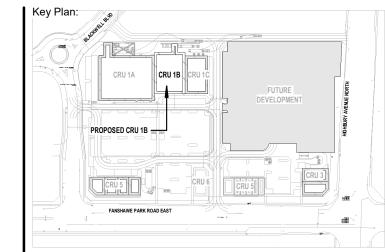
SCALE= N.T.S.

LOW EXPANSION SPRAYFOAM INSULATION FILL AROUND STEEL BRACKET, FOR DEPTH OF EIFS INSULATION. SEAL EXTERIOR FACE —CONTINUOUS 10 MIL POLY VAPOUR W/ ACRYLIC CAULKING, TYP. BARRIER @ INTERIOR. TUCK TAPED @ SEAMS & DEVICE PENETRATIONS 1Y2"X1Y2" 18GO GALV. METAL ANGLE FASTENED TO STEEL STUD W/ SELF TAPPING SCREWS HSS, REFER TO STRUCT. DWG'S 8" O.C & %" PLYWOOD FOR —FOR INFO. CONNECTION TO STEEL WINDOW FRAME ATTACHMENT STUD BY STEEL STUD SUPPLIER -3/4" PLYWOOD FOR WINDOW FRAME ATTACHMENT (SEE STRUC. DWG'S FOR INFO.) - DRYVIT AQUA FLASH SYSTEM LAPPED @ EXTERIOR & LAPPED W/ VAPOUR BARRIER @ INTERIOR JAMB WRAP PLYWOOD SILL TO EXT. SHEATHING GYPSUM HEAD C/W BACKER WITH THRU-WALL MEMBRANE FLASHING ROD & SILICONE CALUKING @ TO AIR/MOISTURE SEAL. PROVIDE MIN. 3" PERIMETER OF WINDOW FRAME OVERLAPPED JOINTS, TYP. PRE-FIN. ALUM. THERMAL WINDOW, CONTINUOUS FOAM BACKER-C/W NON-EXPANDING FOAM INSUL. @ ROD & SILICONE CAULKING PERIMETER OF WINDOW FRAME (FULL PERIMETER OF WINDOW FRAME DEPTH) & PT WOOD SHIMS TO FACILITATE INSTALLATION/LEVELUNG OF WINDOW FRAME

WINDOW HEAD FLASHING DETAIL

SCALE= N.T.S.





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Seneral Notes

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MUST INCLUDE ALLOWANCES FOR THIS WITH NO LIABILITY ON CREATIVE

CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE CONTRACTOR IS FULLY RESPONSIBLE FOR MATTERS AFFECTING CONSTRUCTION.

STRUCTURES LTD AND NGACAKU ARCHITECTURE INC.

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4 APR 02, 2024 3 MAR 30, 2024

ISSUES/REVISION TABLE



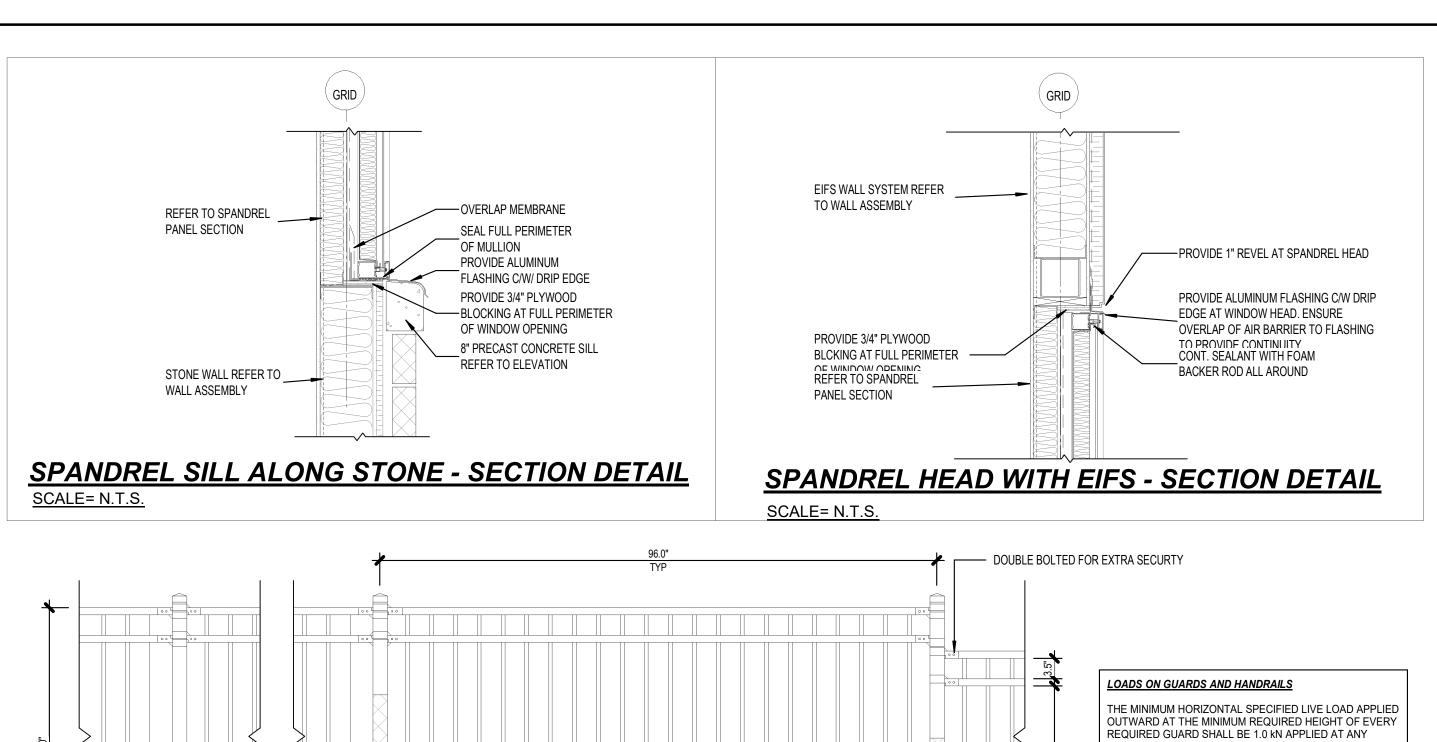
EAST. - CRU #1-UNIT B 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

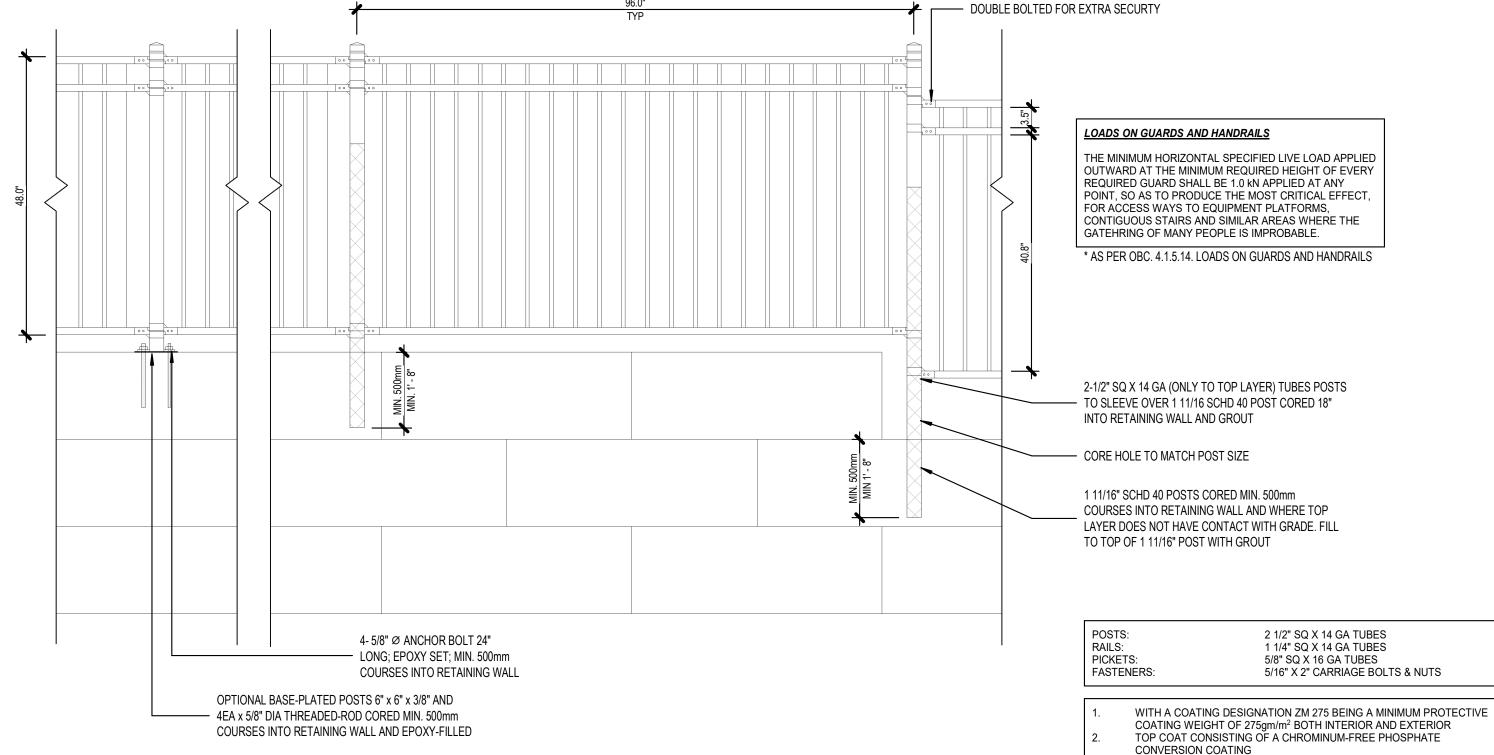
TYPICAL DETAILS II

Scale: AS INDICATED Drawn By: D.H. Plot Date: APR 02, 2024 Checked By: K.N.

Project Date: JAN 2024 Project No: 2023-102

Drawing No:





COATING CONFORMING TO ASTM A 1046 FOR HOT DIP COATINGS

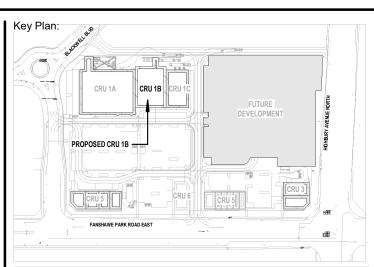
ERW TUBE CONFORMING TO ASTM 4787 TYPE 6
YIELD STRENGTH 400 MPa AND TENSILE STRENGTH 400 MPa

COMPRISING OF ZINC, ALUMINUM AND MAGNESEIUM

WELD SEAMS MILL RE-METALIZED

GUARDRAIL DETAIL

SCALE: 1:7



Consultant:



CS@CREATIVESTR.CA



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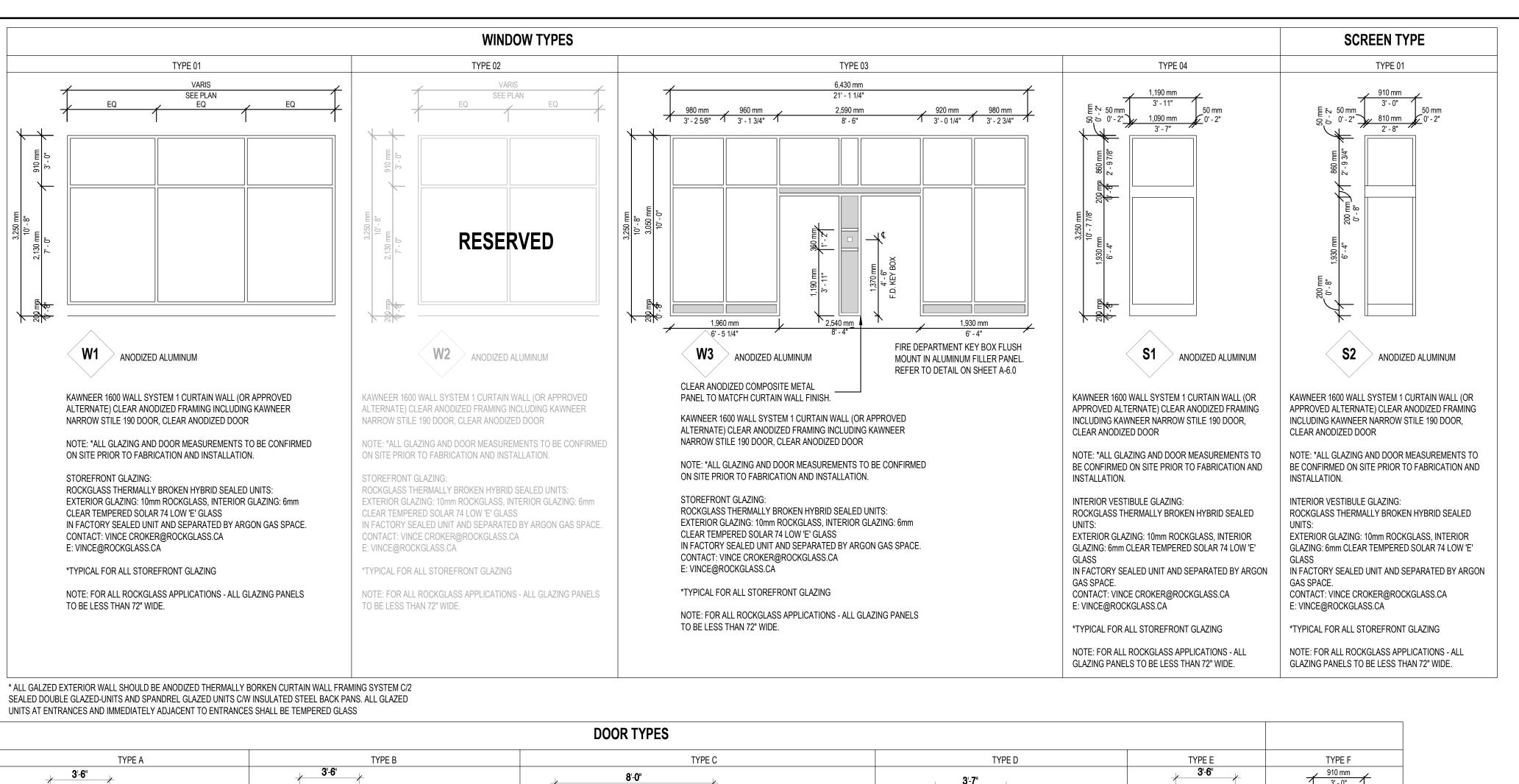
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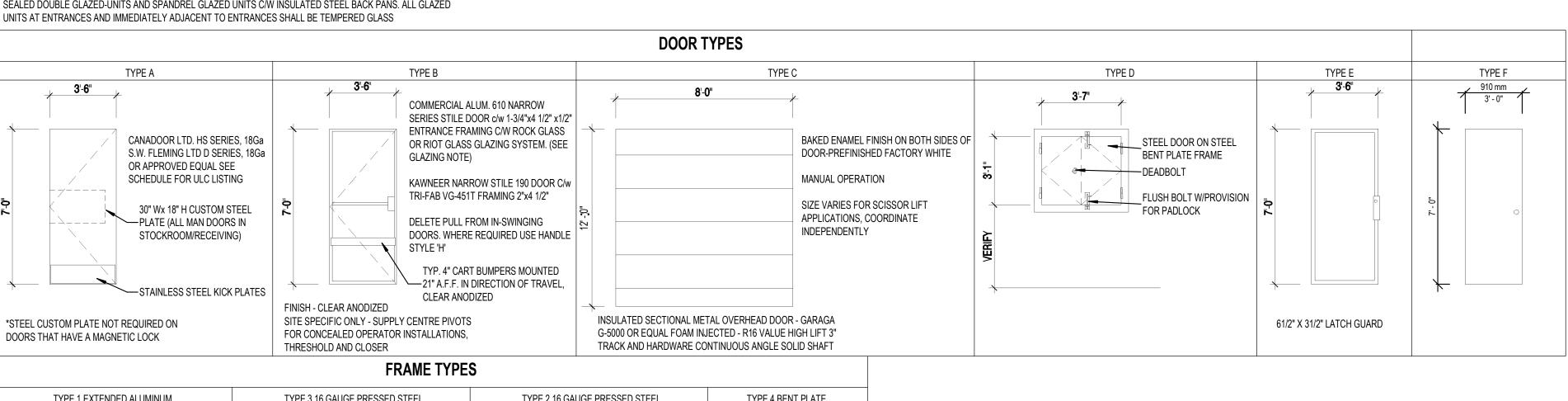
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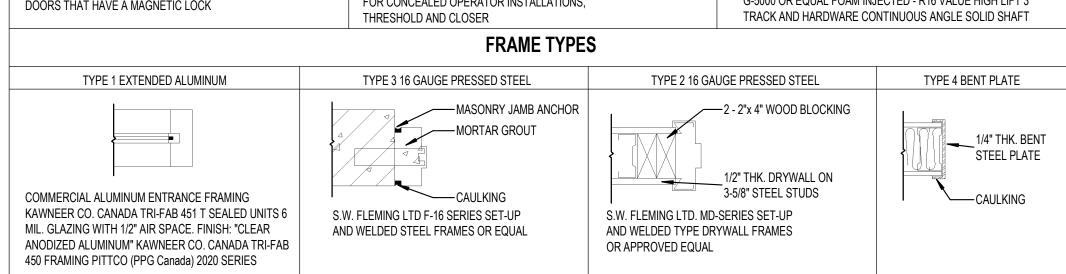
TYPICAL DETAILS III

Drawn By: D.H. Scale: AS INDICATED Plot Date: APR 02, 2024 Checked By: K.N.

Project Date: JAN 2024







ALL ELEAVTION AND SECTIONS ARE N.T.S.

	ROOM	NAME	I	DOOR				FRAMES			HARDW	ARE	REMARKS
DOOR No.	FROM ROOM	TO ROOM	DOOR SIZES	MATERIAL	FINISH	ТҮРЕ	MATERIAL	FINISH	TYPE	GROUP	ULCLABEL	LP LOCK FUCNTION	
D101a	EXTERIOR	MAIN ENT.	3'-6" x 7'-0" x 1 3/4"	ALUM	-	В	ALUM	-	1	1a	-	-	-TANLEY & NABCO ARE ACCEPTABLE ALTERNATES.SUBMIT HARDWARE PROPOSAL TO ARCHITECT FOR REVIEW AND APPROVALBALANCE HARDWARE BY DOOR SUPPLIER DOOR OPERATORS TO BE SET TO MAX. OPENING AND CLOSING SPEED WHILE MAINTAINING ANS1156.10-2005 STANDARD -CONTRACTOR TO SUPPLY TEMPORARY CONSTRUCTION CYLINDER
D101b	VESTIBULE	SALES AREA	3'-6" x 7'-0" x 1 3/4"	ALUM	-	В	ALUM	-	1	1b	-	-	-ENSURE THAT THE STOPS ARE PINCHED INTO THE DOOR AND EMBED THE PERIMETER OF THE POLYCARBONATE INTO A NEUTRAL CURE SILICONED101a & D101d - THRESHOLD TO BE INSTALLED WITH FLAT BACK FOR LEVEL TRANSITION/ TO ACCEPT CERAMIC FLOORING.
D101c	SALES AREA	VESTIBULE	3'-6" x 7'-0" x 1 3/4"	ALUM	-	В	ALUM	-	1	1b	-	-	CONTACT: FAHIM UMAID KEY ACCOUNTS BUSINESS MANAGER KEY ACCOUNTS BUSINESS MANAGER
D101d	VESTIBULE	EXTERIOR	3'-6" x 7'-0" x 1 3/4"	ALUM	-	В	ALUM	-	1	1a	-	-	4020B SLADEVIEW CRESCENT (UNIT 3 AND 4), MISSISSAUGA, ONTARIO L5L 6B1 T:1-905-569-5221 C:(416) 452-7447 E: FAHIM UMAID@ASSAABLOY.COM
D102	FUTURE CORRIDOR	ELECTRICAL ROOM	3'-2" x 7'-0" x 1 3/4"	НМ	PT-12	А	PS	PT-12	2	2	45MIN.	STOREROOM LEVER	
D103a	FUTURE RECEIVING	EXTERIOR	3'-6" x 7'-0" x 1 3/4"	IHM	PT-15	А	PS	PT-15	2	3	-	-	STEEL PLATE CONTACT: JAY&JAY, 165 C LINE, UNIT #8, ORANGEVILLE, ONTARIO L9W 3V2 T.519-941-75490:844-313-7549 E:JAYJAYBUSINESSSERVICES@SYMPATICO.CA
D103b	FUTURE RECEIVING	EXTERIOR	12'-0" x 8'-0" x 1 3/4"	IHM	-	С	-	-	-	-	-	-	
D103c	COMPACTOR DOOR	EXTERIOR	3'-7" x 3'-1" x 1 3/4"	IHM	PT-15	D	BEND PLATE	PT-15	2	4	-	-	FLUSH BOLTS TO HAVE PROVISIONS FOR PAD LOCKS BY SDM
D103d	FUTURE RECEIVING ROOF HATCH	EXTERIOR	2'-6" x 3'-0" x 1 3/4"	IHM	-	-	-	-	-	-	-	-	SPECIFICATION - BILCO S-20 SINGLE LEAF SCUTTLE
D104	MECH. RM.	EXTERIOR	3'-0" x 7'-0" x 1 3/4"	IHM	PAINT	А	PS	PAINT	2	3b	-	-	MECH. RM. DOOR - DETAILED ITEMS TO BE CONFIRMED BY TENANT

GROUP 1a 3 BUTT HINGES

1 CYLINDER 1 AUTOMATIC DOOR OPENER (BY ASSA ABLOY)

1 SURFACE MOUNTED DOOR ARM ASSEMBLY (BY ASSA ABLOY)

1 AUTOMATIC DOOR PRESENCE SENSOR (BY ASSA ABLOY)

1 MOTION SENSOR (BY ASSA ABLOY) 1 SURFACE MOUNTED HEADERS (BY ASSA ABLOY) 1 ON / OFF SWITCH / HOLD OPEN (BY ASSA ABLOY)

1 PUSH/PULL 1 CART BUMPER (EXTERIOR ONLY) 1 DOOR SWEEP

1 THRESHOLD 1 WEATHER STRIP

3 BUTT HINGES

1 DEADLOCK 1 THUMBTURN CYLINDER

1 CYLINDER 1 AUTOMATIC DOOR OPENER (BY ASSA ABLOY)

1 SURFACE MOUNTED DOOR ARM ASSEMBLY (BY ASSA ABLOY)

1 AUTOMATIC DOOR PRESENCE SENSOR (BY ASSA ABLOY) 1 MOTION SENSOR (BY ASSA ABLOY) 1 SURFACE MOUNTED HEADERS (BY ASSA ABLOY) 1 ON / OFF SWITCH / HOLD OPEN (BY ASSA ABLOY) 1 PUSH/PULL GROUP 2

C26D ST 3 HINGES CB1900R4 1/2" X 4" 1 ENTRY LOCKSET BEST 7KC 37D14 626 BE 1 CLOSER 1703 BC COV 689 NO 1 KICK PLATE K10A 10"x34.5" 32D SM 1 KICK PLATE K10A 10"x35" 32D SM 1 OH DOOR STOP 105S x 630

4 1/2" x 4" CB1960R US32D 454 NRP BEST IC CYLINDER COMPATIBLE WITH 7-PIN IC CORE ASSA ABLOY SW200i FULL ENERGY SWING OPERATOR ASSEMBLY (OR APPROVED ALTERNATE - SUBMIT TO ARCHITECT FOR APPROVAL) INCLUDED WITH ASSA ABLOY SW200i (OR APPROVED ALTERNATE - SUBMIT TO ARCHITECT FOR APPROVAL) BEA PARALLAX PACKAGE (1) BODYGUARD & (2) SUPERSCANS I ADAPT FLEX A102

INCLUDED WITH ASSA ABLOY SW200i SM KAWNEER C09 / CP2 PUSH/PULL PACKAGE @ MIDLINE

4" CART BUMPER MOUNTED AT 21" AFF

W24S ALUM

CT10 ALUM

W13ALUM

4 1/2" x 4" CB1960R US32D 454 NRP MS1850S ADAMS RITE DEADLOCK 4066 ADAMS RITE MORTISE CYLINDER 628 BEST IC CYLINDER COMPATIBLE WITH 7-PIN IC CORE ASSA ABLOY SW200i FULL ENERGY SWING OPERATOR ASSEMBLY

(OR APPROVED ALTERNATE - SUBMIT TO ARCHITECT FOR APPROVAL) INCLUDED WITH ASSA ABLOY SW200i (OR APPROVED ALTERNATE - SUBMIT TO ARCHITECT FOR APPROVAL) BEA PARALLAX PACKAGE (1) BODYGUARD & (2) SUPERSCANS I ADAPT FLEX A102 INCLUDED WITH ASSA ABLOY SW200i

KAWNEER C09 / CP2 PUSH/PULL PACKAGE @ MIDLINE

*GENERAL - DOOR LOCKS ARE TO BEST 7 PIN IC CORE COMPATIBLE CYLINDER

GENERAL DOOR NOTES

- DOOR & FRAME SUPPLIER (HOLLOW METAL & ALUMINUM) SHALL PROVIDE ALL REQUIRED CLOSURE TRIM FOR ALL EXTERIOR FRAMES TO SUIT CORRESPONDING OPENINGS.
 - PROVIDE WEATHERSTRIPPING TO ALL EXTERIOR & FIRE RATED DOORS.
- EXTERIOR HOLLOW METAL DOORS & FRAMES TO BE 18g AND HAVE G90 GALVANIZED FINISH OR APPROVED EQUAL.
- PROVIDE CAULKING AROUND ALL EXTERIOR HOLLOW METAL &
- ALUMINUM DOOR FRAMES INSIDE & OUT. CAULKING COLOUR TO
- MATCH COLOUR OF FRAMES. ALL COLOURS TO BE CHOSEN BY OWNER.
- ALUMINUM DOOR SUPPLIER SHALL PROVIDE REQUIRED HARDWARE AS LISTED ON THE DOOR SCHEDULE FOR ALUMINUM DOORS. EXTERIOR AND INTERIOR DOOR SUPPLIERS SHALL SITE MEASURE
- CONTRACTOR MUST CONFIRM ALL DOOR TYPES, MATERIAL & FINISHES WITH OWNER PRIOR TO CONSTRUCTION.

AND CONFIRM OPENINGS PRIOR TO FABRICATION AND INSTALLATION.

- GLASS IN ALL DOORS SHALL BE 1/4" CLEAR TEMPERED OR LAMINATED SAFETY GLASS.
- ALL HARDWARE TO BE MEDIDM DOTY, COMMERCIAL GRADE.
- DOOR CLOSER TO BE MOUNTED ON DOOR FRAME.
- PROVIDE 3 KEYS PER LOCKSET
- BARRIER FREE DOOR ACCESS PADDLES MOUNTED ON WINDOW OR DOORS MULLIONS ARE TO BE REMOTELY CONNECTED TO DOOR OPERATOR B/F DOOR PADDLE MOUNTED ON INTERIOR WALL TO BE
- FLUSH MOUNTED IN WALL & HARDWIRED TO DOOR OPERATOR. 14. ALL HARDWARE TO BE SUPPLIED WITH ALL REQUIRED ACCESSORIES

GENERAL WINDOW NOTES

WINDOW SUPPLIER SHALL SITE MEASURE ALL OPENINGS % REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO WINDOW FABRICATION.

WINDOW SCHEDULE ARE NOMINAL.

- OPENINGS DIMENSIONED ON FLOOR PLANS, SECTIONS, DETAILS &
- WINDOW SUPPLIER SHALL PROVIDE PREFINISHED ALUMINUM CLOSURE TRIM TO SUIT OPENINGS AS REQUIRED. COLOUR OF TRIM TO MATCH COLOUR OF WINDOW FRAMES.
- PROVIDE CAULKING AROUND ALUMINUM WINDOW FRAMES INSIDE & OUT. CAULKING COLOUR TO MATCH COLOUR OF FRAMES.
- LOW E GLAZING TO MEET ALL REQUIREMENTS FOR ENERGY
- EFFICIENCY OF SB-10, ASHRAE 9.01. WINDOW FRAME FINISH & GLASS TINT TO BE CONFIRMED BY OWNER PRIOR TO ORDERING.

SUBMIT SHOP DRAWINGS AS REQUIRED BY THIS WORK, THE CONSULTANTS OR BY AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR SHALL CHECK, SIGN AND MAKE NOTATIONS HE CONSIDERS NECESSARY ON SHOP DRAWINGS BEFORE EACH SUBMISSION TO CONSULTANTS. SHOP DRAWING REVIEW BY CONSULTANTS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT AND IS A PRECAUTION

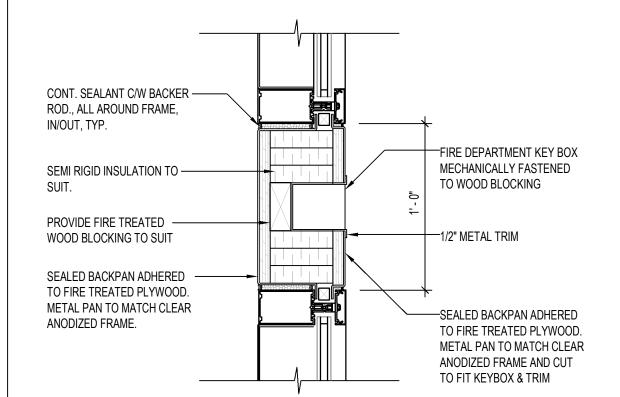
AGAINST OVERSIGHT OR ERROR. THIS REVIEW SHALL NOT MEAN THAT THE CONSULTANT APPROVES THE DETAIL DESIGN INHERENT IN THE SHOP DRAWINGS, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS, OMISSIONS OR MEETING ALL THE

GL: DENOTES GLAZING

REQUIREMENTS OF THIS CONTRACT.

DENOTES GLASS SPANDREL

AC: DENOTES PREFIN. ALUM. CLOSURE FINISH TO MATCH WINDOW FRAME



FILLER PANEL W/ KEY BOX - SECTION DETAIL

SCALE = N.T.S.

3 HINGES

1 ENTRY LOCKSET

1 DOOR CLOSER

1 DOOR VIEWER

1 WEATHER STRIP

1 DOOR SWEEP

1 THRESHOLD

1 STEEL PLATE

1 PRY SHIELD

1 ENTRY LOCKSET

1 DOOR SWEEP

1 WEATHER STRIP

1 THRESHOLD

1 STEEL PLATE

1 PRY SHIELD

4 BUTT HINGES

1 DEADBOLT

2 FLUSH BOLT

1 DOOR PULL

1 DOOR SEAL

GROUP 5

3 HINGES

1 EXIT DEVICE

1 MAGNETIC LOCK

1 DOOR CLOSER

1 WEATHER STRIP

1 OH DOOR STOP 104S x 630

1 DOOR SWEEP

1 PRY SHIELD

1 THRESHOLD

GROUP 4

GROUP 3b

3 HINGES

CB1960R 5" x4" NRP

ML 16 x 180 DEG 626

CB1960R 5" x4" NRP

18" x 30" CUSTOM - SEE REMARKS

18" x 30" CUSTOM - SEE REMARKS

4040XP

W24S ALUM

CT10 ALUM

W13 ALUM

LB 92 SS

W24S ALUM

CT10 ALUM

W13 ALUM

LB 92 SS

CB191 4-1/2" X 4"

4612-2 xTB MTG

CB1960R 4 1/2" x 4" NRP

BY TENANT - PREP FRAME

*DOOR AND FRAME TO BE PREPPED TO RECEIVE MAGNETIC LOCK BY TENANT.

8T-3-7-L STK

W-1 X 14'

1703 BC COV

CT10 ALUM

W-13S

W-24S

401

1 ENGLISH DECALARM-A-DOR A101-029-003

C26D

ARM-A-DOR SERIES 7RO-A104-001 C/W BEST COMPATIBLE CYLINDER PHI

ARM-A-DOR SERIES 7RO-A104-001 C/W BEST COMPATIBLE CYLINDER PHI

626 ST

626 IVE

630 GA

C26D

ARM-A-DOR SERIES 7R0-A104-001 C/W BEST COMPATIBLE CYLINDER PHI

C26D ST

FF PE

US32D

CS@CREATIVESTR.CA

Consultant:

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4 APR 02, 2024 3 MAR 30, 2024

Date

ISSUES/REVISION TABLE

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EAST. - CRU #1-UNIT B 1300 FANSHAWE PARK ROAD. EAST. LONDON, ON.

DOOR & WINDOW **SCHEDULE**

Scale: AS INDICATED Drawn By: D.H. Checked By: K.N. Plot Date: APR 02, 2024

Project Date: JAN 2024

Project No: 2023-102

Drawing No:

KNC

KNC

KNC